



City of Lake Geneva, 626 Geneva St, Lake Geneva, WI 53147- 262.248.3673- www.cityoflakegeneva.gov

**PLAN COMMISSION AGENDA
MONDAY, SEPTEMBER 15, 2025 - 6:00 PM
COUNCIL CHAMBERS, CITY HALL**

Members:

Chair - Mayor Todd Krause; Alderperson Joel Hoiland, Commissioners: John Gibbs, Doug Skates, Jeremy Nafziger, Kyle Cary, and Ann Esarco

1. Call to Order
2. Roll Call
3. Approve Minutes of the August 18, 2025, Plan Commission meeting as distributed.
4. Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will be limited to five (5) minutes.
5. Acknowledgment of Correspondence.
6. Downtown Design Review:
 - a. **Continuation of** Discussion/Action on Resolution PC-032 for a Downtown Project Review Application filed by **Shadi Qattawi**, 25420 W Cedar Crest Lane, Lake Villa, IL, for property located at **140 Broad Street**, Tax Key No. ZOP 00331
 - b. Discussion/Action on Resolution PC-041 for a Downtown Design Review Application filed by **Emily Kornak**, 918 W Main Street, Lake Geneva, WI, for a proposed mural on building façade located at **918 W Main Street**, Tax Key No. ZOP 00348
 - c. Discussion/Action on Resolution PC-045 for a Downtown Design Review Application files by **Emily Kornak**, 918 W Main Street, Lake Geneva, WI, for a proposed building façade improvement located at **918 W Main Street**, Tax Key No. ZOP 00348
7. Extra Territorial Land Division Review
 - a. Discussion/Action on Resolution PC 042 for a Certified Survey Map application filed by **Megan Theune-Baillargeon**, 5000 S Towne Drive, Suite 160, New Berlin, WI, to divide Tax Key No **JA432800004** into two (2) lots located along Snake Road
8. Public Hearing, Review, and Recommendation
 - a. **Continuation of** Public Hearing for a Conditional Use Permit application to allow the operation of an indoor entertainment facility on the first floor and expansion of the commercial apartment on the second floor of the building located at **140 Broad Street**, Tax Key No. ZOP 00331 filed by **Shadi Qattawi**, 25420 W Cedar Crest Lane, Lake Villa, IL.

- b. Continuation of Discussion/Action on Resolution PC-035 for a Conditional Use Permit application to allow the operation of an indoor entertainment facility on the first floor and expansion of the commercial apartment on the second floor of the building located at **140 Broad Street**, Tax Key No. ZOP 00331 filed by **Shadi Qattawi**, 25420 W Cedar Crest Lane, Lake Villa, IL.**

9. Adjournment

*A quorum of the Council may be present; however, no official Council action will be taken.
Requests from persons with disabilities who need assistance to participate in this meeting should be made to the City Clerk's office in advance so that the appropriate accommodations can be made.*

**CITY OF LAKE GENEVA PLAN COMMISSION MINUTES
MONDAY, AUGUST 18, 2025 - 6:00 PM
COUNCIL CHAMBERS, CITY HALL**

Members: Chair - Mayor Todd Krause; Alderperson Joel Hoiland, Commissioners: John Gibbs, Doug Skates, Jeremy Nafziger, Kyle Cary, and Ann Esarco

Call to Order

Mayor Krause called the meeting to order at 6:00 p.m.

Roll Call

Present: Krause, Hoiland, Nafziger, Skates, Gibbs

Absent: Cary, Esarco

Approve Minutes of the July 21, 2025 Plan Commission meeting as distributed

Motion by Skates to approve, second by Hoiland. Motion carried: 5-0

Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will be limited to five (5) minutes

Aletha Salgado, 146 Broad Street: Spoke regarding Agenda Item #6, a concern was raised about potential roof runoff damaging the adjacent property.

Cindy Yager, 1284 Edgewood Drive: Spoke regarding Agenda Item #9, expressed the desire for mixed-use development and increased spacing between buildings. Also, spoke in favor regarding Agenda Item #10b.

Sherri Ames, 603 Center Street: Spoke in opposition to Agenda Item #9. Also, spoke in favor regarding Agenda Item #10b.

Ray Ames, 603 Center Street: Spoke in opposition to Agenda Item #9.

Candy Kirchberg, 917 Marshall Street: Spoke in opposition to Agenda Item #9.

Cathy Stoodley, 919 Carey Street: Spoke in reference to Agenda Items #9 and #10 and would like to see "Community Focused Housing."

Acknowledgment of Correspondence

No correspondence was received.

Downtown Design Review—Shadi Quattaw

Discussion/Action on Resolution PC-032 for a Downtown Project Review Application filed by Shadi Qattawi, 25420 W Cedar Crest Lane, Lake Villa, IL, for property located at 140 Broad Street, Tax Key No. ZOP 00331.

Building & Zoning Director Hanlon and the applicant presented a Downtown Project Review Application for property located at 140 Broad Street. The commission requested precise color specifications for the project.

Motion by Krause to continue; second by Skates.

Motion carried: 5-0

Public Hearing, Review, and Recommendation – Shadi Qattaw

Building & Zoning Director Hanlon and the applicant presented a Conditional Use Application to allow the operation of an indoor entertainment facility on the first floor and expansion of the commercial apartment on the second floor of the building located at 140 Broad Street. The Commission and City Attorney Draper discussed the parking requirements for the conditional use permit. City Attorney Draper stated the standard is one parking spot per bedroom. City Planner Mich noted the inconsistent application of this requirement across different projects. It was also noted that if the conditions of the proposal are not met and the motion fails, the applicant would have to wait one year to re-submit their application.

Motion by Krause to continue; second by Skates.

Motion carried: 5-0

Public Hearing for a Conditional Use Permit application to allow the operation of an indoor entertainment facility on the first floor and expansion of the commercial apartment on the second floor of the building located at 140 Broad Street, Tax Key No. ZOP 00331 filed by Shadi Qattawi, 25420 W Cedar Crest Lane, Lake Villa, IL.

Discussion/Action on Resolution PC-035 for a Conditional Use Permit application to allow the operation of an indoor entertainment facility on the first floor and expansion of the commercial apartment on the second floor of the building located at 140 Broad Street, Tax Key No. ZOP 00331 filed by Shadi Qattawi, 25420 W Cedar Crest Lane, Lake Villa, IL.

Public Hearing, Review, and Recommendation – Bailey Freeman

Public Hearing for an Amended Planned Development- Amended General Development Plan and Precise Implementation Plan to allow the expansion of the building located at 148 W Main Street, Tax Key No. ZOP 00385 filed by Bailey Freeman, 601 Black Hawk Drive, Burlington, WI.

Building & Zoning Director Hanlon, Engineer Rauch and the applicant presented an Amended Planned Development — Amended General Development Plan and Precise Implementation Plan to allow the expansion of the building located at 148 W Main Street.

No comments were received from the public.

Motion by Hoiland to close the Public Hearing; second by Gibbs.

Motion carried: 5-0

Discussion/Action on Resolution PC-029 for an Amended Planned Development- Amended General Development Plan and Precise Implementation Plan to allow the expansion of the building located at 148 W Main Street, Tax Key No. ZOP 00385 filed by Bailey Freeman, 601 Black Hawk Drive, Burlington, WI.

Motion by Krause to approve; second by Hoiland.

Motion carried: 5-0

Planned Development Concept Plan Review – Jeff Leeson

Discussion on Planned Development Concept Plan application filed by Jeff Leeson on behalf of Robert Jeffreys 18 LLC, 1554 W Main Street, Lake Geneva, WI, to develop the property located at the southwest corner of North Street & Center Street with two and three-family residential dwellings.

Building & Zoning Director Hanlon and the applicant presented a Planned Development Concept Plan application, to develop the property located at the Southwest corner of North Street & Center Street with two and three-family residential dwellings. Most Plan Commission members expressed a preference for mixed-use development, with commercial on first floor and residential above.

No action was taken.

Comprehensive Plan Amendment – Jackie Mich

City Attorney Draper informed the Plan Commission that an email regarding a possible expansion of city facilities had been circulated among members. He clarified that this email cannot be included in their consideration of the comprehensive plan amendments.

Request to change the future land use recommendation for parcels at the northwest corner of Interchange North (STH 120) and US 12) from “Planned Neighborhood” or “Planned Mixed Use”.

The Commission heard a presentation from City Planner Mich and the applicant regarding a request to change the future land use recommendation for parcels at the northwest corner of Interchange North (STH 120) and US 12) from “Planned Neighborhood” or “Planned Mixed Use.”

Request to change the future land use recommendation for parcels located at 1336, 1340,1342, and 1350 Elkhorn Rd from “Institutional” to “Mixed Residential” or “Planned Mixed Use”.

The Commission heard a presentation from City Planner Mich and the applicant regarding a request to change the future land use recommendation for parcels located at 1336, 1340,1342, and 1350 Elkhorn Rd from “Institutional” to “Multifamily Residential” or “Planned Mixed Use”.

Adjournment

Motion by Skates to adjourn, second by Gibbs.

Motion Carried; 5-0.
The meeting adjourned at 8:14pm.

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: September 15, 2025

Agenda Item #6a

Applicant:
Shadi Qattawi
25420 W Cedar Crest Lane
Lake Villa, IL

Request:
140 Broad Street
Downtown Design Review of Façade Remodel
and Expansion of Second Floor

Please note that the applicant did not submit revised or additional information for consideration prior to the continued discussion.

Attachments are from previous agenda.

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: August 18, 2025

Agenda Item #6a

Applicant:

Shadi Qattaw
25420 W Cedar Crest Lane
Lake Villa, IL

Request:

140 Broad Street
Downtown Design Review of Façade Remodel
and Expansion of Second Floor

Description:

The applicant proposes making the following changes to the building at 140 Broad Street:

- The existing storefront will be demolished and remodeled with new doors, windows, siding, and foundation treatment. The existing entry is recessed from the sidewalk; the proposal is to bring the entry flush with the rest of the façade.
- The second floor will be expanded toward the rear of the building. This expansion will add an additional window to the alley side of the building.

Finish Materials:

The applicant proposes the following building finishes:

- The building will be finished with new LP white siding.
- All trim will be painted red. The applicant has not provided a color swatch for this trim paint. The applicant provided Pantone values. In putting those values staff has identified the color as a reddish brown or burgundy color.
- All windows will be replaced with black aluminum clad windows.
- According to the Building Plans the foundation will be covered with a thin stone veneer; however, the Façade Rendering shows the thin stone veneer with a paint color. The applicant must address this discrepancy during the meeting.
- According to the Building Plans the existing roof shingles will remain, and the addition roof will be shingled to match the existing.

Staff Recommendations:

Staff was not presented specific material samples or paint colors. For that reason, Staff cannot determine whether the proposed improvements meet the requirements of the Downtown Design Overlay Zoning district (98- 913). Staff have questions about the proposal; however, they have no major concerns.

If the Plan Commission finds that the requirements of Section 98-913 have been met, Staff recommends *approval* with the following conditions:

1. Substantial conformance to the submitted Front Elevation W/Renovation Plan and Renovation Plan drawn by Midwest Design Group dated 11-22-25 revised 4-22-25.
2. The applicant shall secure a sign permit prior to installation of any signage.

3. The applicant shall secure a zoning permit prior to installation of any exterior lighting.
4. Exterior paint must be flat or satin finishes.



City of Lake Geneva
Building and Zoning
626 Geneva Street
Lake Geneva, WI 53147

APPLICATION FOR DOWNTOWN DESIGN REVIEW

Site Address & Parcel No.:
140 Broad St., Lake Geneva WI 53147
ZOP 00331

Name & Address of Current Building Owner:
Constance M. Brunk
7220 Aldrich Ave. Richfield, MN 55423

Telephone Number of Current Building Owner: 262-745-9611
Email Address: major@majorreo.com
Owner Signature: *Constance M Brunk*

Name & Address of Applicant:
Shadi Qattawi
25420 W. Cedar Crest Ln., Lake Villa, IL 60046

Telephone Number of Applicant: 773-759-9009
Email Address: shattawi@yahoo.com

Proposed Design Change:
The proposed design changes are detailed in the attached pdf blueprints. The lower level will be transformed into a restaurant, while the upper level will be remodeled into an apartment unit. Replacing siding, roof, windows.

Zoning District: Lake Geneva

Names & Address of Architect, Engineer, and/or Contractor of Project:
Midwest Design Group/ Michael J. McGee A-7250
Huntley, FL 60142 Elgin, IL (Architect)
Office# 224-800-3030 adam.mdg@gmail.com
License# 184-004261

Description of Project:
Same as above/please review prints pdf or let me know if you need me to print it out.
* Demo and disposal can be done at off hours based on busy season.

Date: 05/May 2025
02/27/2025

Signature of Applicant: *[Handwritten Signature]*

Alex Manettas 140 broad Street Lake Geneva, Wisconsin Cost Recovery # 25-450
 Petitioner Name Project Address AR 3785
 OFFICE USE ONLY Description of Request DDR

Agreement for Services

REIMBURSABLE BY THE PETITIONER / APPLICANT. The city may retain the services of the professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City’s review of a proposals coming before the Plan commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any financing charges that may accrue. The City applies the charges for these services to the Petitioner. The City Administrator at any time may require an applicant to submit an advance deposit of **\$500 to \$5,000 depending on the complexity and anticipated involvement of the City’s consultants** or continuing advance deposits against future billings by the City for recovery of costs provide by this ordinance 98-935(4). **An advanced deposit shall be required for the application related to Extraterritorial matters.** Surplus deposits shall be returned to the Applicant at the conclusion of the project.

_____ , as applicant/petitioner for

Project: Rehab of lower and upper level, lower level will be commercial kitchen with restaurant upper level residence
 Project Address: 140 Broad St Lake Geneva WI 53147
 Parcel No. ZOP 00331
 Name: Shadi Qattawi
 Address: 25420 W Cedar Crest Ln Lake Villa IL 60046

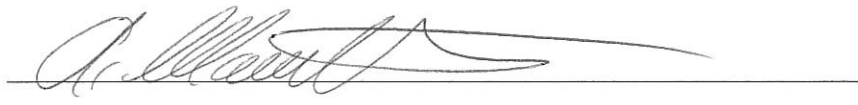
Cell Phone: (847) - 830 - 4445 Phone: (773) - 759 - 9009

Email: Shqattawi@yahoo.com / alex@architektonllc.com

Dated this June Day of 09 , 20 25

Alex Manettas

Printed Name of Applicant / Petitioner



Signature of Applicant/Petitioner

Applicant/Petitioner agrees that in addition to those normal costs payable by an applicant/petitioner (e.g., filing or permit fees, publication expenses, recording fees, etc.), that in the event the action applied or petitioned for requires the City of Lake Geneva, in the judgment of its staff, to obtain additional professional service(s), (e.g., engineering, surveying, planning, legal) than would be routinely available "in house" to enable the City to properly address, take appropriate action on, or determine the same, applicant/petitioner shall reimburse the City for the costs thereof

Section 98-935 Fees:

(1) Fees for Procedures or Permits Requested by a Private Party: The fees for the procedures and permits established by this Chapter shall be established by resolution of the Common Council of the City of Lake Geneva

(2) Fees for Procedures Requested by the City of Lake Geneva: There shall be no fee in the case of applications filed in the public interest by the Common Council or the Plan Commission, other agency, or official of the City of Lake Geneva.

(3) Payment of Fees: Fees shall be payable at the time applications are filed with the appropriate officer of the City (per the requirements of this Chapter), and are not refundable.

(4) Professional Consultant Review Services: The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposal coming before the Plan Commission. The City may apply the charges for these services to the Petitioner. The City will require the Petitioner to sign a professional consultant review services form. The City Administrator at any time may require an applicant to submit an advance deposit of \$500 to \$5,000 depending on the complexity and anticipated involvement of the City's consultants or continuing advance deposits against future billings by the City for recovery of costs provide by this ordinance 98-935(4). **An advanced deposit shall be required for the application related to Extraterritorial matters.** The City may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until such fees are paid by the Petitioner. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal. Review fees which are applied to a Petitioner, but which are not paid, may be assigned by the City as a special assessment to the subject property.

PERMIT CONDITIONS NOTES:

EACH PANE OF SAFETY GLAZING SHALL BE PERMANENTLY LABELED BY THE MANUFACTURER SPECIFYING THE MANUFACTURER'S NAME, AND THAT IT COMPLIES WITH TEST STANDARDS CPSC 16 CFR 1201.

CARPET SHALL MEET ILLINOIS ACCESSIBILITY CODE REQUIREMENTS, BE SECURELY ATTACHED, TEXTURE TYPE, FIRM CUSHION PAD OR BACKING, OR NO CUSHION PAD OR BACKING, MAX. 1/2" THICK PILE, AND TRIM ALONG EXPOSED EDGES THAT MEETS CHANGE OF LEVEL REQUIREMENTS.

OBTAIN SEPARATE PERMIT FOR ALL FREESTANDING AND WALL SIGNS. ALL SIGNS SHALL COMPLY WITH THE CITY OF ELGIN SIGN ORDINANCE REQUIREMENTS. INCLUDE SIGN PERMIT APPLICATION, SIGN PLAN, ELEVATIONS, AND DETAILS AND ALL DESIGNS, COLOR, AND ILLUMINATION DETAILS WITH SUBMITTAL. INDICATE THE EXACT LOCATION OF THE SIGN AND ALL EASEMENTS ON THE SITE PLAN.

INSTALLATION OR ALTERATIONS TO A FIRE ALARM SYSTEM REQUIRES A SEPARATE SUBMITTAL AND PERMIT. WORK SHALL BE COMPLETED BY STATE LICENSED CONTRACTOR. PLAN APPROVAL AND PERMIT IS REQUIRED PRIOR TO START OF WORK AND BEFORE THE ABOVE CEILING INSPECTION.

INSTALLATION OF A SPRINKLER SYSTEM REQUIRES A SEPARATE SUBMITTAL AND PERMIT. WORK SHALL BE COMPLETED STATE LICENSED CONTRACTOR. PLAN APPROVAL AND PERMIT IS REQUIRED PRIOR TO START OF WORK, AND BEFORE THE ABOVE CEILING INSPECTION.

UNIT MUST BE ADDRESSED FRONT AN REAR. ADDRESS MUST BE READABLE FROM THE STREET/ACCESS ROAD.

INSTALL FIRE EXTINGUISHERS PER NFPA 13 AND ACCESSIBILITY REQUIREMENTS DURING DEMOLITION, CONSTRUCTION, AND UPON OCCUPANCY APPROVAL. (48" FRONT REACH, 54" SIDE REACH.)

KEYS FOR THE EXISTING KNOX BOX ARE REQUIRED AT OCCUPANCY.

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES AND ORDINANCES AND ALL AUTHORITIES HAVING JURISDICTION AND IN A PROFESSIONAL MANNER. ALL INTERIOR PARTITION DIMENSIONS ON PLAN SHEETS ARE NOMINAL DIMENSIONS. THE GENERAL CONTRACTOR IS TO COORDINATE BETWEEN TRADES AFFECTED BY THE WORK AS PART OF THEIR INSTALLATION LAYOUT. ALL EXTERIOR WALLS ARE DIMENSIONED TO INTERIOR FACE OF STUDS AND EXTERIOR FACE OF SHEATHING. FINISHED DIMENSIONS AT CRITICAL AREAS SUCH AS CLOSETS, BATHUBS, ETC. MUST BE MAINTAINED.

THE SUB-CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH WORK AND NOTIFY THE SUPERINTENDENT AT ONCE OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK. CONTACT THE ARCHITECT IMMEDIATELY FOR CLARIFICATION. DO NOT SCALE DRAWINGS FOR DIMENSIONS. NOTIFY THE ARCHITECT IF QUESTIONS OR DISCREPANCIES ARISE.

LOCATIONS AND ROUTING FOR ALL PLUMBING, MECHANICAL, AND ELECTRICAL WORK ARE TO BE COORDINATED BETWEEN TRADES AFFECTED BY THE WORK AS PART OF THEIR INSTALLATION LAYOUT. NO PLUMBING, MECHANICAL, OR ELECTRICAL INFORMATION IS TO BE SCALED FROM THE DRAWINGS. ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF EACH SUB-CONTRACTOR.

EACH CONTRACTOR SHALL INCLUDE LABOR, MATERIALS, TOOLS, EQUIPMENT, ETC. AS REQUIRED TO COMPLETE THEIR WORK.

EACH CONTRACTOR IS TO CLEAN CONSTRUCTION DEBRIS THROUGHOUT THE BUILDING SITE THAT HAS BEEN GENERATED BY THEIR SCOPE OF WORK.

SUB-CONTRACTORS SHALL AMEND AND MAKE GOOD AT THEIR OWN EXPENSE ANY DEFECTS OR FAULTS IN WORKMANSHIP CAUSED BY THEIR WORK FOR A PERIOD OF ONE YEAR FROM DATE OF OCCUPANCY.

THE ARCHITECT IS NOT SUPERVISING THE CONSTRUCTION OF THIS BUILDING. THE USE OF THESE DRAWINGS BY ANY CONTRACTOR, SUB-CONTRACTOR, BUILDER, TRADESMAN, OR WORKMAN SHALL CONSTITUTE A HOLD HARMLESS AGREEMENT BETWEEN THE DRAWING USER AND THE ARCHITECT. THE USER SHALL IN FACT AGREE TO HOLD THE ARCHITECT HARMLESS FOR ANY RESPONSIBILITY IN REGARDS TO THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES AND FOR ANY SAFETY PRECAUTIONS OR PROGRAMS IN CONNECTION WITH THE WORK. THE ARCHITECT SHALL BE HELD HARMLESS FOR ANY RESPONSIBILITY ARISING FROM NEGLIGENCE OF THE CONTRACTOR(S) OR THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR RETAINS THE RIGHT TO LOCATE AND/OR RE-LOCATE ANY MECHANICAL AND/OR ELECTRICAL SYSTEMS AND INDIVIDUAL COMPONENTS OF SUCH SYSTEMS IN ACCORDANCE WITH ACCEPTABLE STANDARDS OF APPLICABLE BUILDING TRADES AS TO THE SAFETY AND EFFICIENCY OF OPERATION AS DETERMINED BY THE GENERAL CONTRACTOR. LOCATION OF MECHANICAL EQUIPMENT IS TO BE VERIFIED IN FIELD BASED UPON LAYOUT AND EQUIPMENT REQUIREMENTS. VERIFY EXACT LOCATIONS WITH GENERAL CONTRACTOR PRIOR TO INSTALLATION.

THE FILING OF REGISTERED ARCHITECT'S PLANS WITH THE BUILDING DEPARTMENT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, TENANT OR OWNER. THIS SHALL BE AGREED BEFOREHAND AND INCORPORATED INTO THE LEASE, SUCH PARTY PAYING ALL FEES INCURRED.

THE CONTRACTOR SHALL COMPLY WITH ALL STATE AND VILLAGE LAWS, ORDINANCES, RULES AND REGULATIONS PERTAINING TO THE CONSTRUCTION OF THIS OFFICE. HE SHALL ALSO FILE NECESSARY PLANS AND APPLICATIONS WITH THE CITY DEPARTMENTS AND PAY FOR, AND OBTAIN, ALL CERTIFICATES OF APPROVAL. DIMENSIONS ARE FROM EXISTING DRYWALLED WALLS TO ROUGH FLOORS, WALLS AND CEILINGS. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR ACCURACY OF FIELD MEASUREMENTS AND CONDITIONS. WRITTEN SPECIFICATIONS SHALL HAVE PRECEDENCE OVER SCALED DRAWINGS.

ALL PLUMBING AND ELECTRICAL LINES ARE TO BE CONCEALED, UNLESS OTHERWISE SPECIFIED.

THE CONTRACTOR SHALL REMOVE RUBBISH AND DO ALL PATCHING AFTER ROUGHING IN IS COMPLETED.

PER 2018 IBC 803.5 BASE BOARD TRIM AROUND OPENINGS SHALL NOT EXCEED 10% OF THE AGGREGATE WALL & CEILING AREA & SHALL BE OF CLASS I, II, OR III MATERIALS.

PER 2018 IBC 803.3.2 INTERIOR WALL & CEILING FINISH MATERIALS SHALL HAVE A FLAME SPREAD RATING NOT GREATER THAN CLASS II FOR ANY CORRIDOR PROVIDING EXIT ACCESS OR CLASS III FOR ROOMS OR ENCLOSED SPACES WHEN TESTED IN ACCORDANCE WITH ASTM E 84 (SEE 803.6-2).

FINISHED DRYWALL AND ALL SUSPENDED CEILING TILES HEIGHTS TO BE AS NOTED. ALL SUSPENDED CEILING TILES SHALL BE AS NOTED.

THE CONTRACTOR SHALL SUBMIT A LISTED FIRESTOP SYSTEM NUMBER, AND CUT SHEET FOR EACH TYPE OF PENETRATION PRIOR TO INSTALLATION OF THE FIRESTOPPING.

GENERAL NOTES

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES AND ORDINANCES AND ALL AUTHORITIES HAVING JURISDICTION AND IN A PROFESSIONAL MANNER.

ALL INTERIOR PARTITION DIMENSIONS ON PLAN SHEETS ARE NOMINAL DIMENSIONS. THE GENERAL CONTRACTOR IS TO COORDINATE BETWEEN TRADES AFFECTED BY THE WORK AS PART OF THEIR INSTALLATION LAYOUT. ALL EXTERIOR WALLS ARE DIMENSIONED TO INTERIOR FACE OF STUDS AND EXTERIOR FACE OF SHEATHING. FINISHED DIMENSIONS AT CRITICAL AREAS SUCH AS CLOSETS, BATHUBS, ETC. MUST BE MAINTAINED.

THE SUB-CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH WORK AND NOTIFY THE SUPERINTENDENT AT ONCE OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK. CONTACT THE ARCHITECT IMMEDIATELY FOR CLARIFICATION. DO NOT SCALE DRAWINGS FOR DIMENSIONS. NOTIFY THE ARCHITECT IF QUESTIONS OR DISCREPANCIES ARISE.

ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF EACH SUB-CONTRACTOR.

EACH CONTRACTOR SHALL INCLUDE LABOR, MATERIALS, TOOLS, EQUIPMENT, ETC. AS REQUIRED TO COMPLETE THEIR WORK.

EACH CONTRACTOR IS TO CLEAN CONSTRUCTION DEBRIS THROUGHOUT THE BUILDING SITE THAT HAS BEEN GENERATED BY THEIR SCOPE OF WORK.

SUB-CONTRACTORS SHALL AMEND AND MAKE GOOD AT THEIR OWN EXPENSE ANY DEFECTS OR FAULTS IN WORKMANSHIP CAUSED BY THEIR WORK FOR A PERIOD OF ONE YEAR FROM DATE OF OCCUPANCY.

THE ARCHITECT IS NOT SUPERVISING THE CONSTRUCTION OF THIS BUILDING. THE USE OF THESE DRAWINGS BY ANY CONTRACTOR, SUB-CONTRACTOR, BUILDER, TRADESMAN, OR WORKMAN SHALL CONSTITUTE A HOLD HARMLESS AGREEMENT BETWEEN THE DRAWING USER AND THE ARCHITECT. THE USER SHALL IN FACT AGREE TO HOLD THE ARCHITECT HARMLESS FOR ANY RESPONSIBILITY IN REGARDS TO THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES AND FOR ANY SAFETY PRECAUTIONS OR PROGRAMS IN CONNECTION WITH THE WORK. THE ARCHITECT SHALL BE HELD HARMLESS FOR ANY RESPONSIBILITY ARISING FROM NEGLIGENCE OF THE CONTRACTOR(S) OR WORKERS ON THIS PROJECT.

THE GENERAL CONTRACTOR RETAINS THE RIGHT TO LOCATE AND/OR RE-LOCATE ANY MECHANICAL AND/OR ELECTRICAL SYSTEMS AND INDIVIDUAL COMPONENTS OF SUCH SYSTEMS IN ACCORDANCE WITH ACCEPTABLE STANDARDS OF APPLICABLE BUILDING TRADES AS TO THE SAFETY AND EFFICIENCY OF OPERATION AS DETERMINED BY THE GENERAL CONTRACTOR.

LOCATION OF MECHANICAL EQUIPMENT IS TO BE VERIFIED IN FIELD BASED UPON LAYOUT AND EQUIPMENT REQUIREMENTS. VERIFY EXACT LOCATIONS WITH GENERAL CONTRACTOR PRIOR TO INSTALLATION.

THE FILING OF REGISTERED ARCHITECT'S PLANS WITH THE BUILDING DEPARTMENT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, TENANT OR OWNER. THIS SHALL BE AGREED BEFOREHAND AND INCORPORATED INTO THE LEASE, SUCH PARTY PAYING ALL FEES INCURRED.

THE CONTRACTOR SHALL COMPLY WITH ALL STATE AND VILLAGE LAWS, ORDINANCES, RULES AND REGULATIONS PERTAINING TO THE CONSTRUCTION OF THIS OFFICE. HE SHALL ALSO FILE NECESSARY PLANS AND APPLICATIONS WITH THE CITY DEPARTMENTS AND PAY FOR, AND OBTAIN, ALL CERTIFICATES OF APPROVAL. DIMENSIONS ARE FROM EXISTING DRYWALLED WALLS TO ROUGH FLOORS, WALLS AND CEILINGS. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR ACCURACY OF FIELD MEASUREMENTS AND CONDITIONS. WRITTEN SPECIFICATIONS SHALL HAVE PRECEDENCE OVER SCALED DRAWINGS.

ALL ELECTRICAL LINES ARE TO BE CONCEALED, UNLESS OTHERWISE SPECIFIED.

THE CONTRACTOR SHALL REMOVE RUBBISH AND DO ALL PATCHING AFTER ROUGHING IN IS COMPLETED.

PER IBC 803.5 TRIM AROUND OPENINGS AND BASE BDS. SHALL NOT EXCEED 10% OF THE AGGREGATE WALL & CEILING AREA & SHALL BE OF CLASS I, II, OR III MATERIALS. PER IBC 803.3.2 INTERIOR WALL & CEILING FINISH MATERIALS SHALL HAVE A FLAME SPREAD RATING NOT GREATER THAN CLASS II FOR ANY CORRIDOR PROVIDING EXIT ACCESS OR CLASS III FOR ROOMS OR ENCLOSED SPACES WHEN TESTED IN ACCORDANCE WITH ASTM E 84 (SEE 803.6-2).

THE CONTRACTOR SHALL SUBMIT A LISTED FIRESTOP SYSTEM NUMBER AND CUT SHEET FOR EACH TYPE OF PENETRATION PRIOR TO INSTALLATION OF THE FIRESTOPPING.

CONTRACTOR RETAINS THE RIGHT TO LOCATE AND OR RELOCATE ANY MECHANICAL SYSTEMS AND INDIVIDUAL COMPONENTS OF SUCH SYSTEMS IN ACCORDANCE WITH ACCEPTABLE STANDARDS OF THE APPLICABLE BUILDING TRADES AS TO THE SAFETY AND EFFICIENCY OF OPERATION AS DETERMINED BY CONTRACTOR.

LOCATION OF MECHANICAL EQUIPMENT IS TO BE VERIFIED IN FIELD BASED UPON LAYOUT AND EQUIPMENT REQUIREMENTS. VERIFY EXACT LOCATIONS WITH BUILDER PRIOR TO INSTALLATION.

THE CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND FIELD CONDITIONS PRIOR TO PROCEEDING WITH THEIR WORK. NOTIFY SUPERINTENDENT AND ARCHITECT IF DISCREPANCIES ARE FOUND. DO NOT PROCEED WITH THE WORK UNTIL ALL DISCREPANCIES ARE CORRECTED.

IECC COMPLIANCE STATEMENT

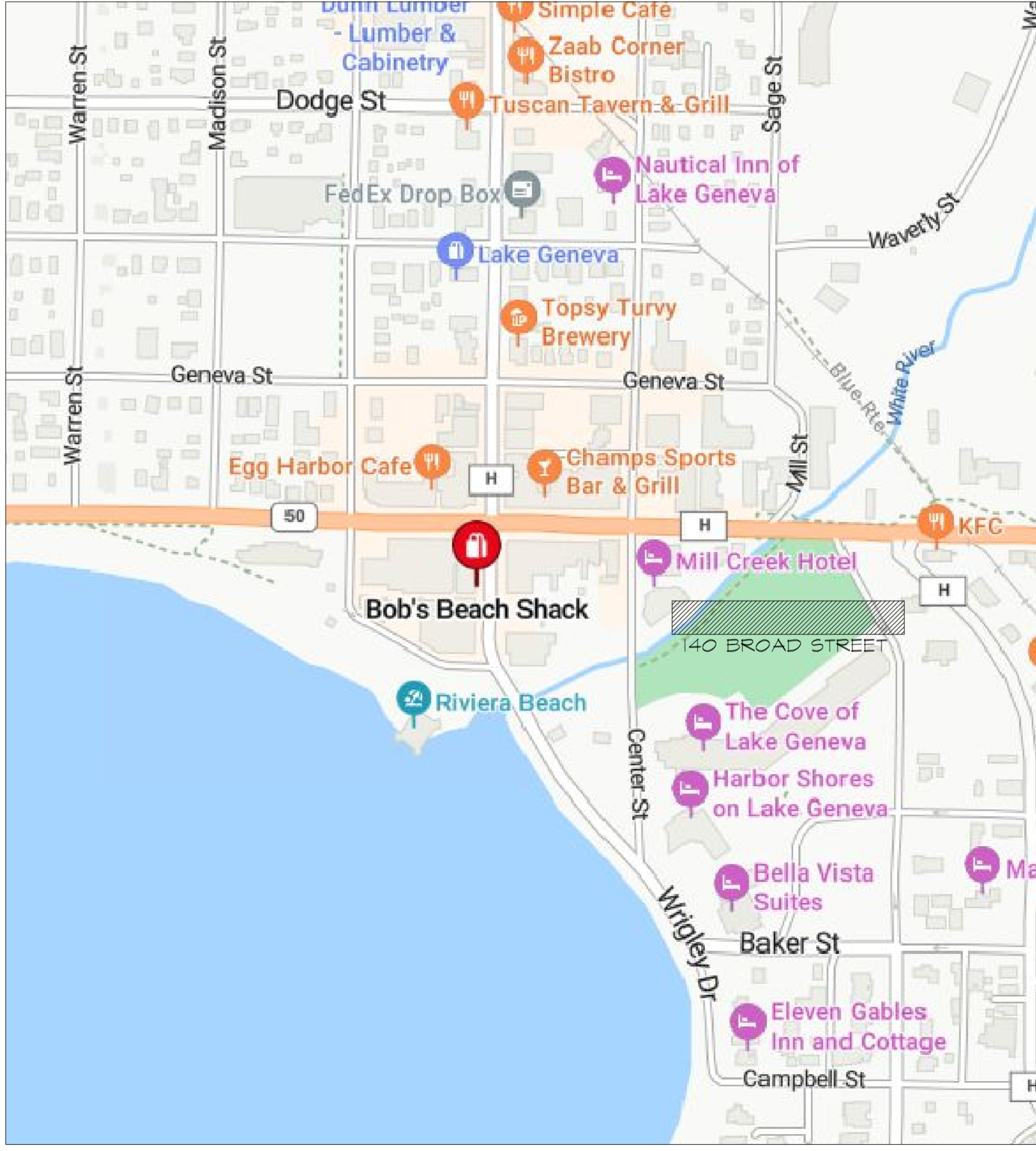
THESE PLANS HAVE BEEN PREPARED UNDER MY DIRECT SUPERVISION, THE IF USED FOR COMPLIANCE WITH SECTION R402.3.5 ENERGY PATHWAY THAT WILL BE FOLLOWED IS "UA TRADE OFF"

ATTACHED PLANS AND SPECIFICATIONS AND STATE THAT, TO THE BEST OF MY KNOWLEDGE OF MY CONTRACTUAL OBLIGATION, THEY ARE IN COMPLIANCE WITH THE INTERNATIONAL ENERGY CODE.

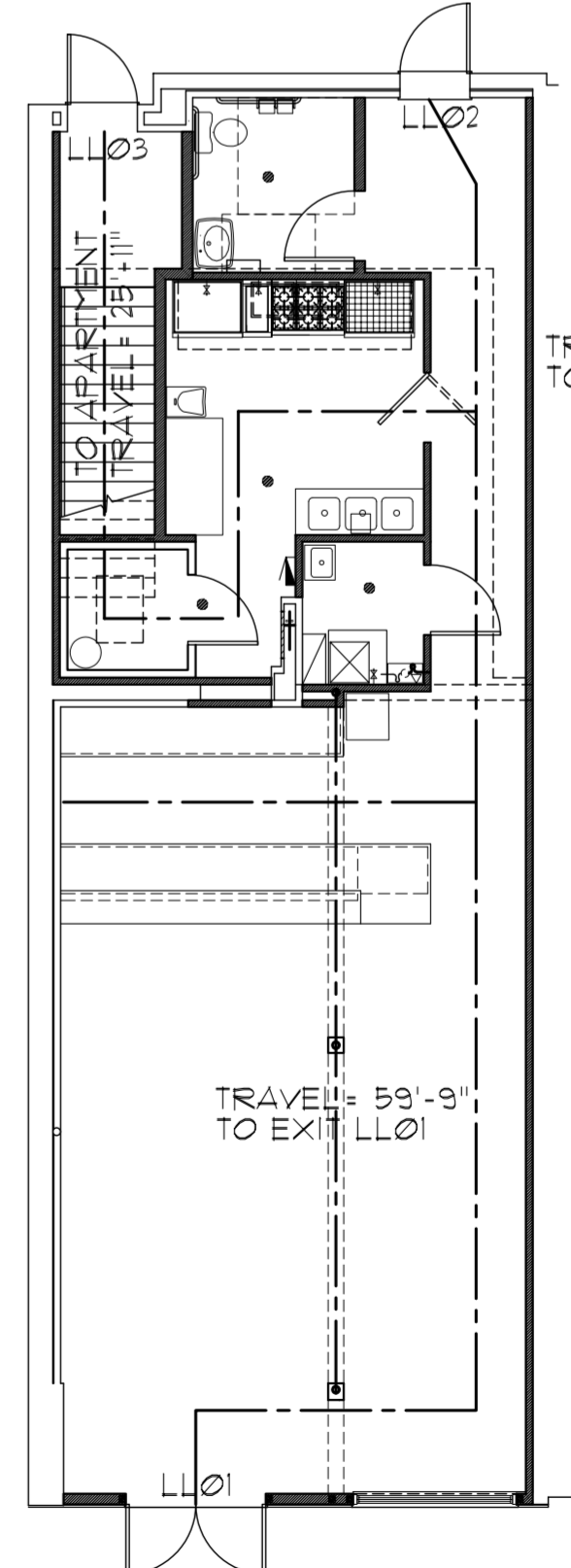
THE ARCHITECT HAS CHOSEN TO CONFORM TO THE PRESCRIPTIVE METHOD AS ALLOWED FOR IN IECC CHAPTER 1

THESE PLANS STATE CERTAIN APPLICABLE ASPECTS OF THE ENERGY CODE AND ARE NOT INTENDED TO RESTATE THE ENTIRE CODE OR ACT AS A REPLACEMENT TO THE CODE. ALL CONTRACTORS ARE TO FAMILIARIZE THEMSELVES WITH THE CODE AND FOLLOW THOSE REQUIREMENTS TO THEIR RELATED PARTICULAR TRADE AND ARE RESPONSIBLE FOR THE SAME.

BUILDING STATISTICS	BUILDING AUTHORITY & CODES	DRAWING INDEX
CLIENT - SITE LOCATION	CITY OF LAKE GENEVA, BUILDING DEPARTMENT 626 GENEVA STREET LAKE GENEVA WI 53141 PH: 262-248-3911	00 BUILDING STATISTICS, GENERAL NOTES, SITE MAP. A1 FIRST, SECOND, & FOUNDATION PLANS W/ DEMO. A2. ELEVATIONS W/ DEMO, EXIST. BUILDING CROSS SECTION W/ DEMO. B1 PROPOSED RETAIL SPACE FLOOR PLAN, PROPOSED SECOND FLOOR APARTMENT PLAN, APARTMENT LIGHT & VENT SCHEDULE. B2 EXIST. FOUNDATION PLAN W/ RENOVATION, PROPOSED ROOF PLAN W/ RENOVATION, EGRESS DISTANCE PLAN, STAIR DETAIL, EXIT CAPACITY SCHEDULE, EQUIPMENT AND ROOM FINISH SCHEDULES. B3. UNI-SEX TOILET ROOM DETAILS, RETAIL SPACE DOOR TYPES & NOTES, RETAIL SPACE INT. WALL TYPES, KITCHEN HOOD DETAILS. E1 ELECTRICAL PLANS, GENERAL NOTES & SPECIFICATIONS. M1 COMMERCIAL SPACE HVAC PLANS. P1 COMMERCIAL SPACE PLUMBING PLANS, GENERAL NOTES. P2 PLUMBING DIAGRAMS, GREASE INTERCEPTOR DET. Y1 BUILDING CROSS SECTIONS "A", RAFTER TIE DETAIL, WALL FRAMING DETAILS, WINDOW INSTALL DETS. Y2 CROSS SECTION "B" Z1 SPECIFICATIONS AND NOTES.
CONST. TYPE: TYPE V B SQUARE FEET: CONDITIONED SPACE: COMMERCIAL: 1022 SF APARTMENT: 808 SF	BUILDING: 2015 INTERNATIONAL BUILDING CODE ELECTRICAL: 2018 WISCONSIN UNIFORM COMMERCIAL CODE PLUMBING: 2018 WISCONSIN UNIFORM COMMERCIAL CODE MECHANICAL: 2015 INTERNATIONAL MECHANICAL CODE FIRE CODE: 2015 INTERNATIONAL FIRE CODE NFPA: NFPA 2013 ENERGY: 2021 INTERNATIONAL ENERGY CODE	
FIRE PROTECTION: NONE FIRE SUPPRESSION: NONE FIRE DETECTION: NEW FIRE ALARM INSTALLED	ACCESSIBILITY: 2018 WISCONSIN UNIFORM COMMERCIAL CODE	
ARCHITECT OF RECORD	COMPLIANCE STATEMENT	
MIDWEST DESIGN GROUP INC. 11445 HILLSBORO DRIVE HUNTLEY IL 60142 224-800-3030 EMAIL: adammdg@gmail.com	I HAVE PREPARED, OR CAUSED TO BE PREPARED UNDER MY DIRECT SUPERVISION, THE ATTACHED PLANS AND SPECIFICATIONS AND STATE THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF AND TO THE EXTENT OF MY CONTRACTUAL OBLIGATION, THEY ARE IN COMPLIANCE WITH THE 2018 WISCONSIN UNIFORM COMMERCIAL BUILDING CODE, AND 2015 IBC	



SITE MAP



**EGRESS
DISTANCE PLAN**
SCALE: 1/8" = 1'-0"

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WISCONSIN ARCHITECT
MICHAEL J. MOFFET
4-28-25
EXP: 7-30-26

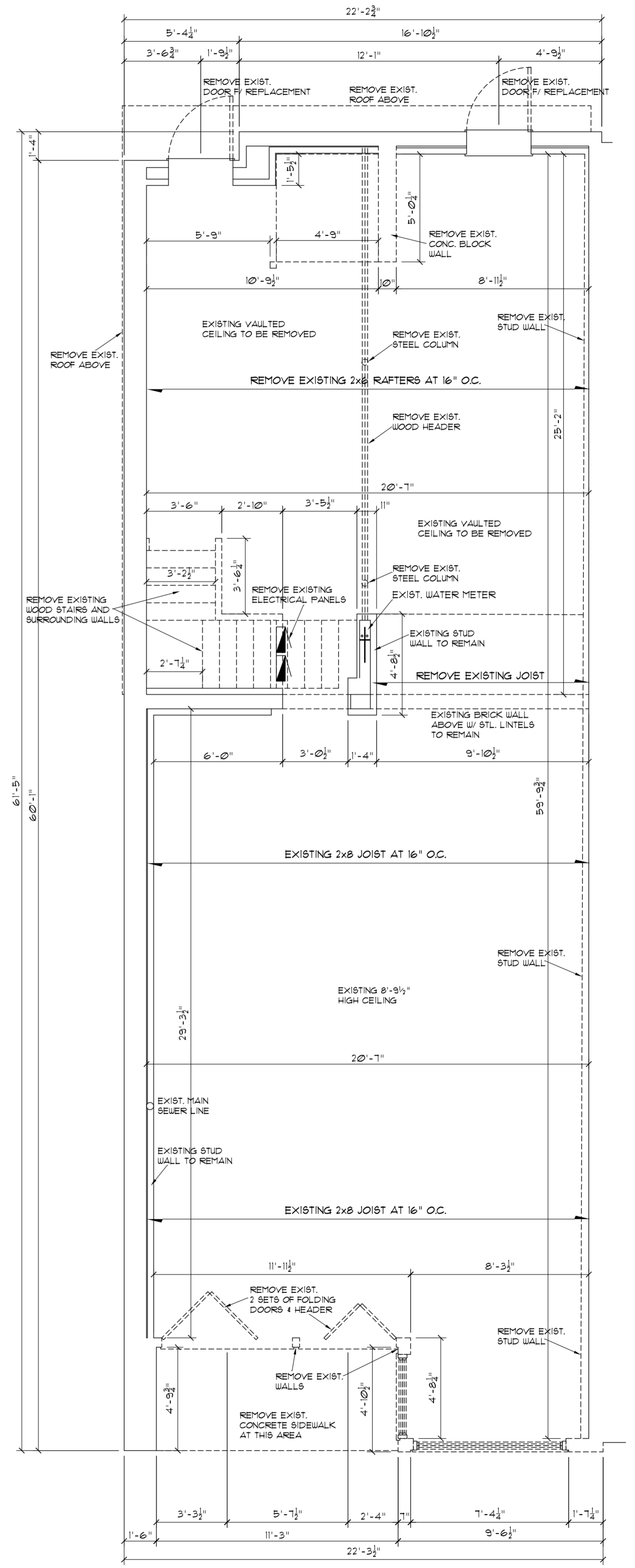
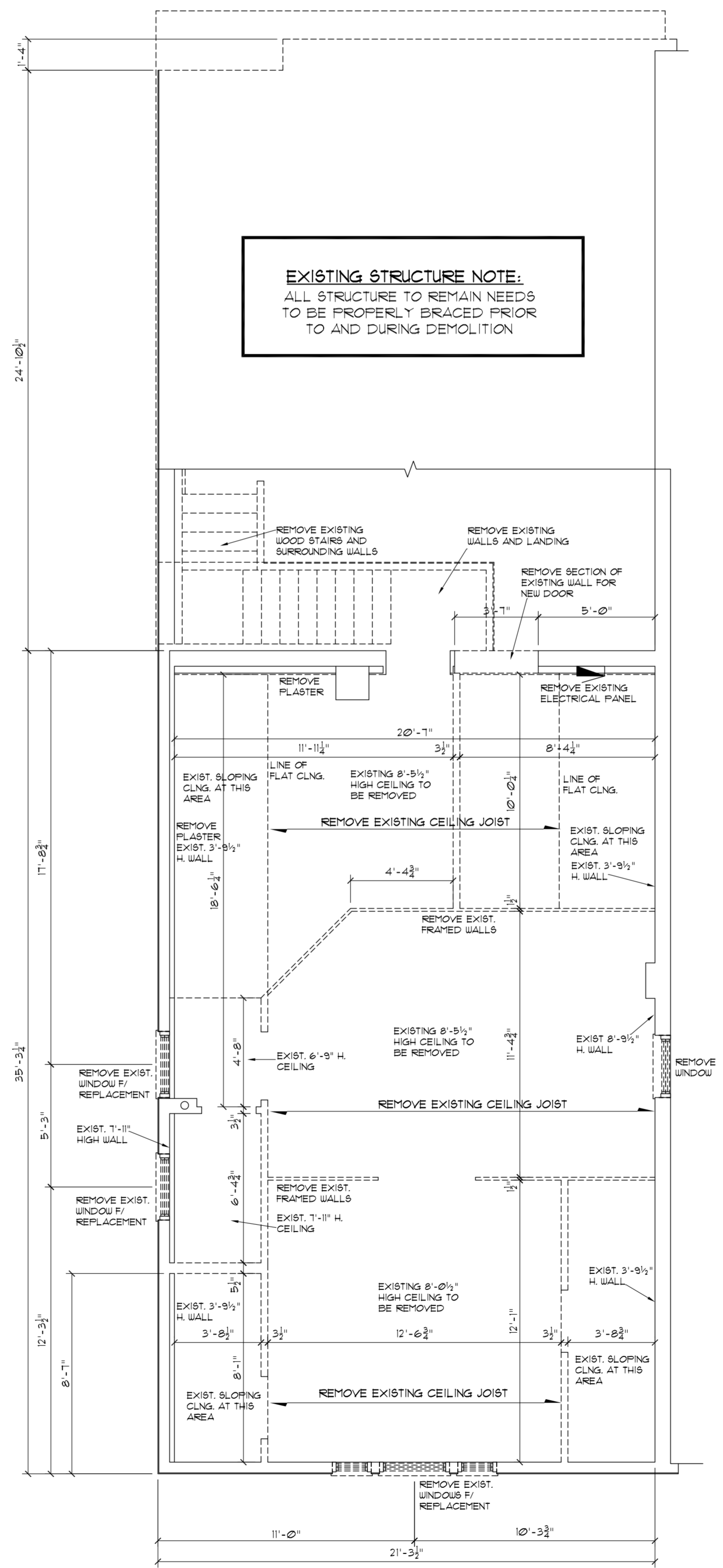
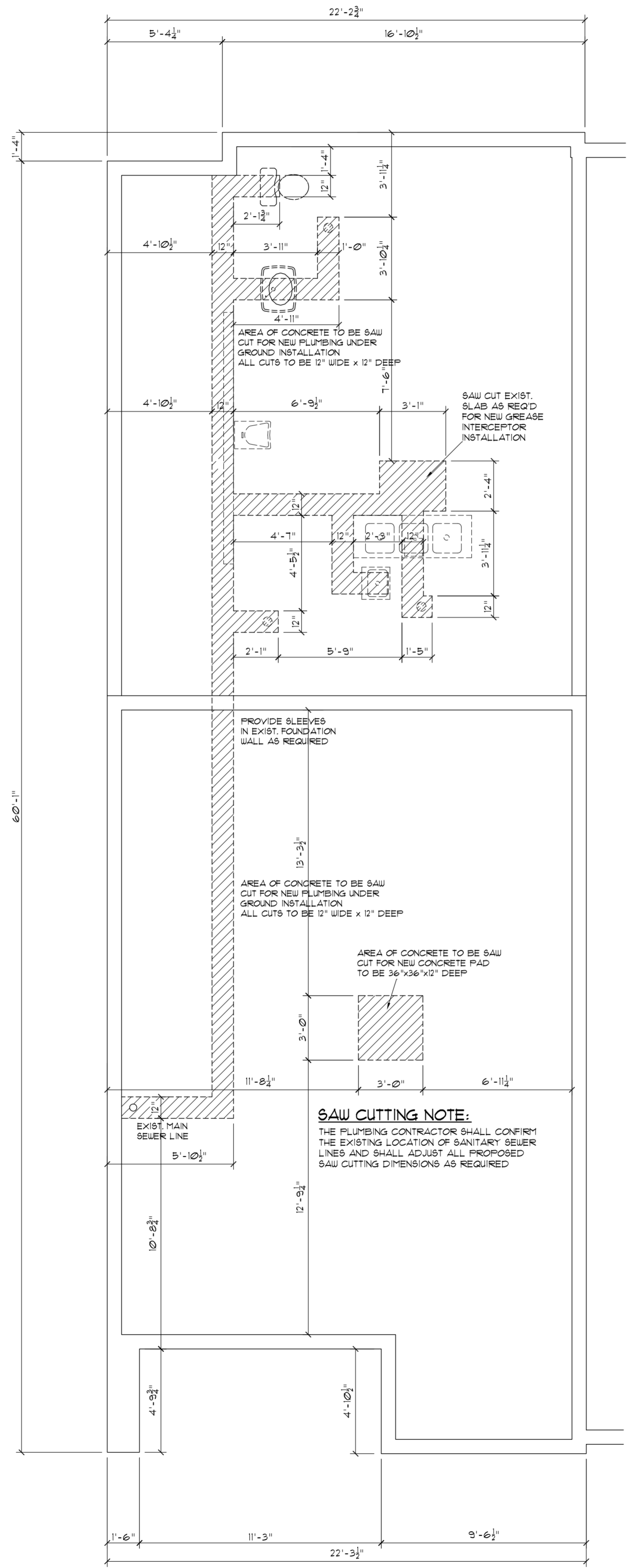
DATE	DESCRIPTION OF REVISION
11-22-24	1 PRELIMINARY PLAN FOR REVIEW
12-23-24	2 PHASE 1 PLANS FOR BIDDING ONLY
4-22-25	3 PHASE 2 FINAL PLANS FOR PERMIT

X-140 BROAD STREET.dwg

DATE	DESCRIPTION OF REVISION
11-22-24	1 PRELIMINARY PLAN FOR REVIEW
12-23-24	2 PHASE 1 PLANS FOR BIDDING ONLY
4-22-25	3 PHASE 2 FINAL PLANS FOR PERMIT

DEMOLITION NOTES

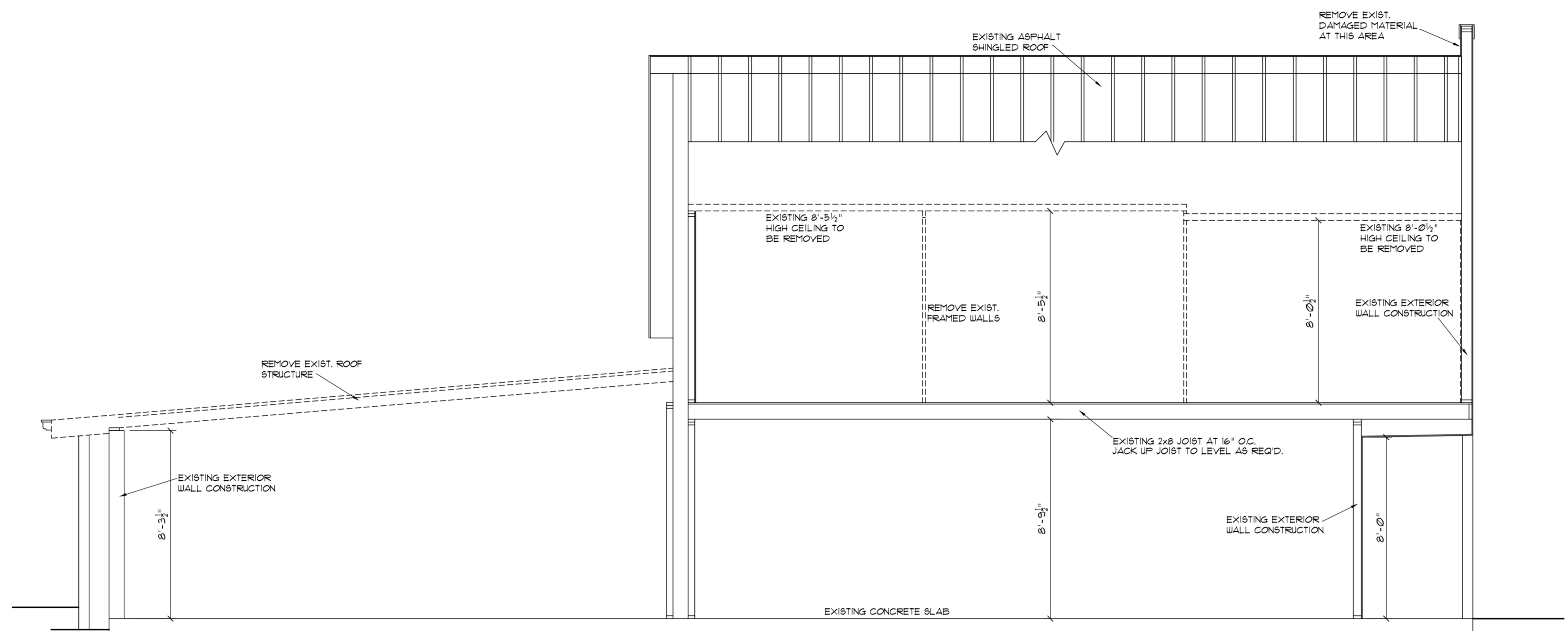
- A. G.C. TO FAMILIARIZE THEMSELVES W/ ALL EXISTING CONDITIONS PRIOR TO PROCEEDING W/ ANY WORK.
- B. G.C. SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AND SHALL REPORT ALL DISCREPANCIES TO THE ARCHITECT PRIOR TO COMMENCING WORK.
- C. PRIOR TO AND DURING DEMOLITION CONTRACTOR SHALL MAINTAIN ALL LIFE SAFETY AND EXIT DEVICES AS REQUIRED BY CITY ORDINANCES. NOTIFY BUILDING OWNER PRIOR TO MOVING OR TAMPERING WITH DEVICES. PROTECT ALL SMOKE DETECTORS FROM CONSTRUCTION DUST AND DEBRIS.
- D. ALL DEBRIS, EXCESS MATERIAL ECT. TO BE REMOVED BY THE CONTRACTOR BY THE END OF THE DAY. THE JOB IS TO BE LEFT SUFFICIENTLY CLEAN AS TO WARRANTY OWNER'S APPROVAL. DEMOLISH EXISTING CONSTRUCTION ONLY TO THE EXTENT NECESSARY TO COMPLETE THE INSTALLATION OF NEW WORK. ALL REMAINING EXISTING SURFACES TO BE SQUARE, LEVEL AND PLUMB.
- F. CAREFULLY REVIEW PLANS AND DETERMINE UTILITIES THAT ARE REQUIRED TO BE DISCONNECTED AND THOSE THAT WILL REMAIN FUNCTIONAL. COORDINATE WORK WITH THE APPROPRIATE UTILITY PROVIDER. SCHEDULE WORK FOR A MINIMUM OF INTERRUPTION.
- G. REMOVE AND SECURE ALL GAS, PLUMBING, ELECTRICAL, AND OTHER UTILITIES ASSOCIATED WITH EQUIPMENT REMOVED FROM SITE. INSTALL REQUIRED MATERIALS TO SECURE AND MAKE SAFE ALL UTILITIES TO REMAIN.
- H. G.C. TO CAP OFF ALL ABANDONED PLUMBING, ELECTRICAL, HVAC, AND GAS TO SOURCE IF POSSIBLE AND AS REQUIRED.
- I. PROTECT ALL PUBLIC AREAS FROM CONSTRUCTION DEBRIS, DUST, ECT.
- J. PREVENT PUBLIC ACCESS TO THE WORK AREA. INSTALL BARRIERS AND SIGNAGE TO ALERT THE GENERAL PUBLIC, EMPLOYEES, AND CONTRACTORS OF DANGERS.
- K. ALL ITEMS THAT ARE MARKED OR SHOWN AS EXISTING TO REMAIN ARE TO BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION.
- L. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING SHEETS FOR ADDITIONAL DEMOLITION WORK NOTES AND INFORMATION.
- M. ALL UNUSED DRAINS, VENTS AND WATER WILL BE CAPPED WITHIN 24" OF ORIGIN. (NO DEAD ENDS).



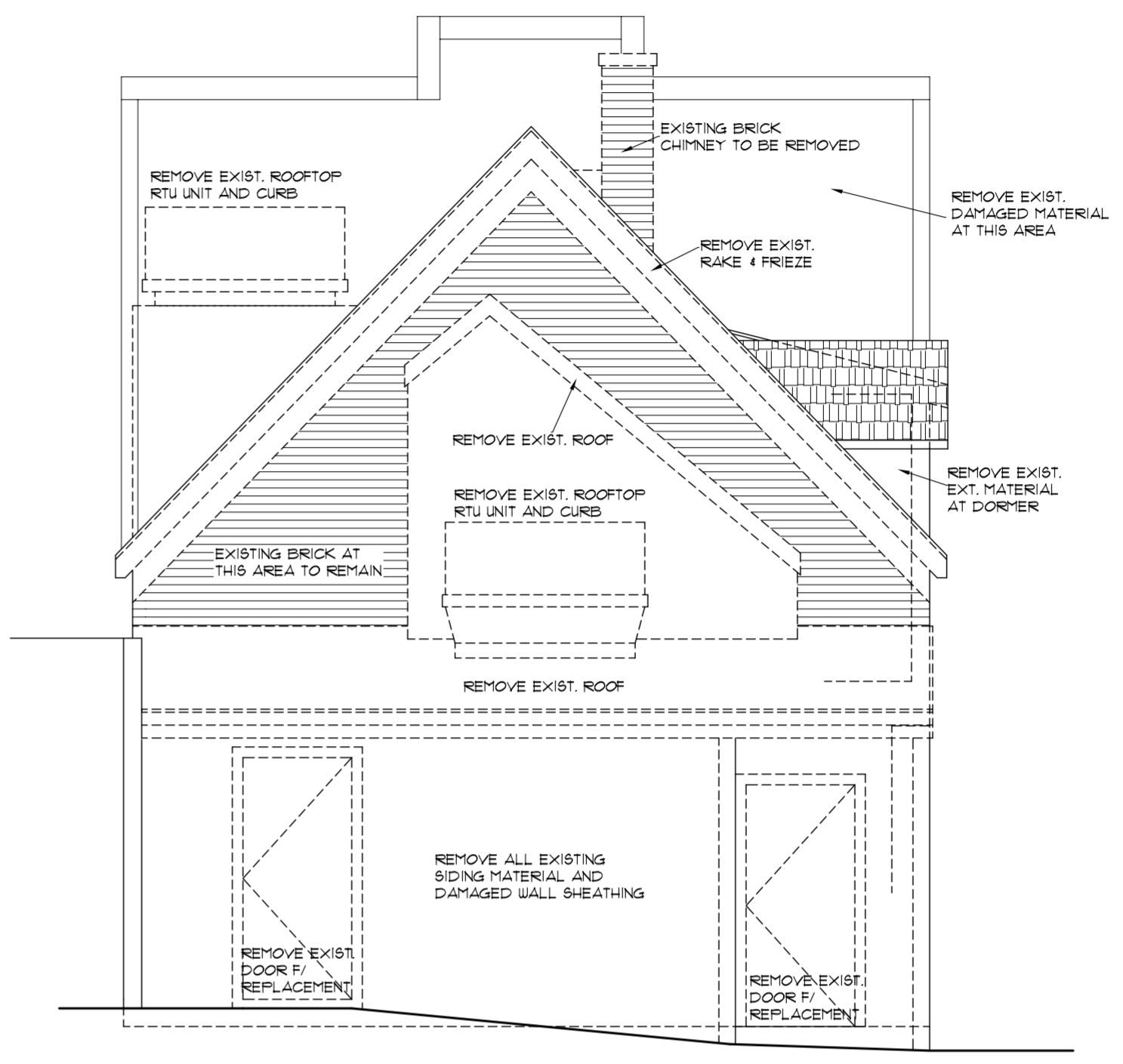
EXISTING STRUCTURE NOTE:
ALL STRUCTURE TO REMAIN NEEDS TO BE PROPERLY BRACED PRIOR TO AND DURING DEMOLITION

SAW CUTTING NOTE:
THE PLUMBING CONTRACTOR SHALL CONFIRM THE EXISTING LOCATION OF SANITARY SEWER LINES AND SHALL ADJUST ALL PROPOSED SAW CUTTING DIMENSIONS AS REQUIRED

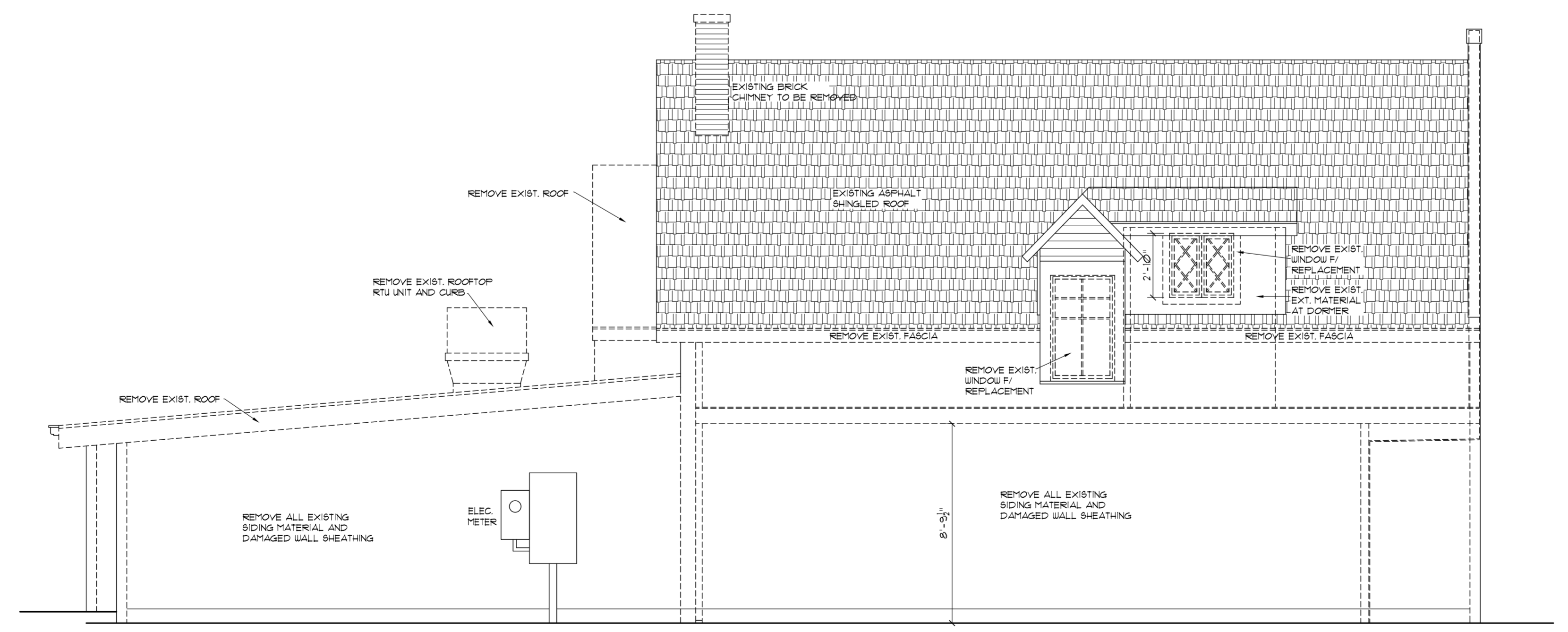
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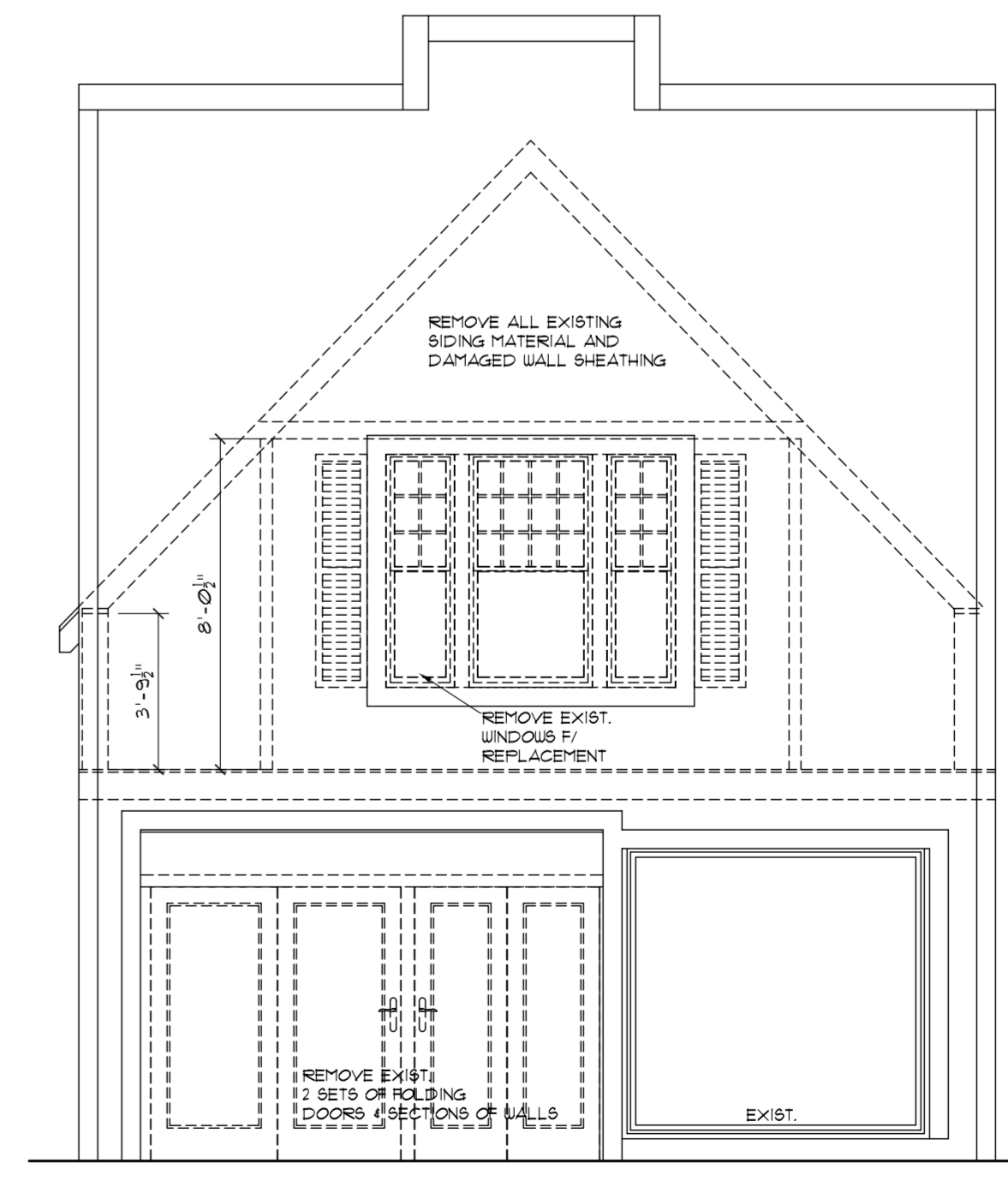
EXISTING BUILDING SECTION W/ DEMO.
 SCALE: 1/4" = 1'-0"



REAR ELEVATION W/ DEMO.
 SCALE: 1/4" = 1'-0"

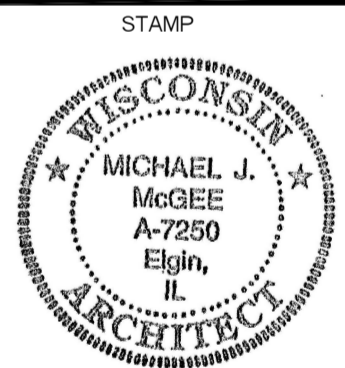


LEFT SIDE ELEVATION W/ DEMO.
 SCALE: 1/4" = 1'-0"



FRONT ELEVATION W/ DEMO.
 SCALE: 1/4" = 1'-0"

RENOVATION TO:
140 BROAD STREET
LAKE GENEVA WI 53147



DATE	REV#	DESCRIPTION OF REVISION
11-22-24	1	PRELIMINARY PLAN FOR REVIEW
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APARTMENT LIGHT AND VENT SCHEDULE

ROOM NAME	AREA	LIGHT (SF.)		VENT	
		REQ	ACT	REQ	ACT
GREAT RM.-KITCHEN	316	25.28	**15.0	12.64	**7.5
BEDROOM 1	160	12.80	15.0	6.40	7.5
BEDROOM 2	137	10.96	15.0	5.48	7.5
BATH	48	3.84	8.0	**48CFM	6.4

REQ'D. LIGHT - 8% OF HABITABLE ROOM AREA
7% OF KITCHEN AREA
8% OF BATHROOM AREA (MIN. 3 SF.)
* BATHROOM/WATERCLOSET - ARTIFICIAL LIGHT

REQ'D. VENTIL. - 4% OF HABITABLE ROOM AREA
3.5% OF KITCHEN AREA
OR 1 AIR CHANGE EVERY 30 MINUTES
4% OF UTILITY RM AREA
** BATHROOM/WATER CLOSET INDICATES MECH. VENTIL.
1 CFM/SF. FOR INTERMITTENT

MECHANICAL ROOM NOTE:
VINYL FLANK W/ FLOOR PAN & DRAIN TO SANITARY 5/8" FIRECODE DW ALL WALLS & CLG. 94% HI-EFF. FURNACE (2) FIRE SYSTEM FOR SUPPLY & VENT OF COMBUSTION AIR & EXHAUST

BRACING NOTE:
WALLS ARE REQUIRED TO BE BRACED AT A MAX. OF 15'-0" O.C. (BUT NOT TO BE LESS THAN 16% OF THE WALL LENGTH) WITH 48" WIDE BID THE HEIGHT OF THE STORY WITH STRUCTURAL PANEL SHEATHING.

ENERGY CODE NOTES:
ALL WINDOWS AND GLAZED DOORS SHALL FOLLOW THE NOTED MAXIMUM "U" FACTORS, AND REQUIREMENTS NOTED BELOW.
MAXIMUM "U" FACTOR FOR WINDOWS AND GLAZED DOORS: 0.30
MAXIMUM "U" FACTOR FOR SKYLITES: 0.85
ALL NEW WINDOWS AND GLAZED DOORS MUST BEAR THE MANUFACTURER'S STICKERS SO COMPLIANCE CAN BE CONFIRMED.
BUILDING FRAMING CANNOT BE USED AS AIR SUPPLY DUCTS.
A MINIMUM OF 50% OF ALL LAMPS IN PERMANENTLY INSTALLED LIGHT FIXTURES TO BE HIGH EFFICIENCY.
BLOWER DOOR TEST REQUIRED PER SECTION R402.412

GENERAL NOTES:
PROVIDE PERMANENT IDENTIFICATION COMPLETED AND POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL LISTING THE FREQUENT R-W VALUES OF INSULATION INSTALLED. WINDOW U-FACTOR EQUIPMENT EFFICIENCY DATA SYSTEMS, AND AIR LEAKAGE PER IECG R403.

ENVELOPE NOTES:
THE BUILDING THERMAL ENVELOPE SHALL BE DURABLE SEALED TO LIMIT INFILTRATION WITH A SUITABLE SOLID WEATHERING RUBBER AND SHOWERS ON EXTERIOR WALLS.

PENETRATION NOTE:
PENETRATIONS BETWEEN STORIES AND THE ROOF SPACE SHALL BE FIRESTOPPED AS WELL AS SOFFITS, DROPPED CEILING, ECT.

DESIGN LOADS
WIND SPEED LOAD: ONE HUNDRED FIFTEEN (15) MILES PER HOUR
ROOF SNOW LOAD / LIVE LOAD: THIRTY (30) PSF.
FLOOR LIVE LOADS FOR SLEEPING, AND NON SLEEPING ROOM ARE LISTED THIRTY (30) PSF, AND FOURTY (40) PSF.

STRUCTURAL FRAMING LUMBER
FLOOR JOISTS, CEILING JOISTS, HEADERS AND RAFTERS IN-GRADE BASE VALUE AS DETERMINED BY WESTERN WOOD PRODUCTS ASSOCIATION (USE NO MULTIPLIER AGAINST BASE VALUE)

ENGINEERED WOOD PRODUCTS
MANUFACTURED STRUCTURAL WOOD PRODUCTS SUCH AS HEADERS AND BEAMS HAVE BEEN DESIGNED BASED UPON MICRROLAMBS AND PARALLAMBS AS MANUFACTURED BY TRUS-JOIST WEYERHAEUSER

1B MICRROLAMBS Pb = 2600 psi E = 1,800,000
2D PARALLAMBS Pb = 2900 psi E = 2,000,000

ENERGY CODE NOTES:
GLAZED DOORS SHALL FOLLOW THE NOTED MAXIMUM "U" FACTORS, AND REQUIREMENTS NOTED BELOW.
MAXIMUM "U" FACTOR FOR GLAZED DOORS: 0.30

BRACING NOTE:
WALLS ARE REQUIRED TO BE BRACED AT A MAX. OF 25'-0" O.C. (BUT NOT TO BE LESS THAN 16% OF THE WALL LENGTH) WITH 48" WIDE BID THE HEIGHT OF THE STORY WITH STRUCTURAL PANEL SHEATHING.

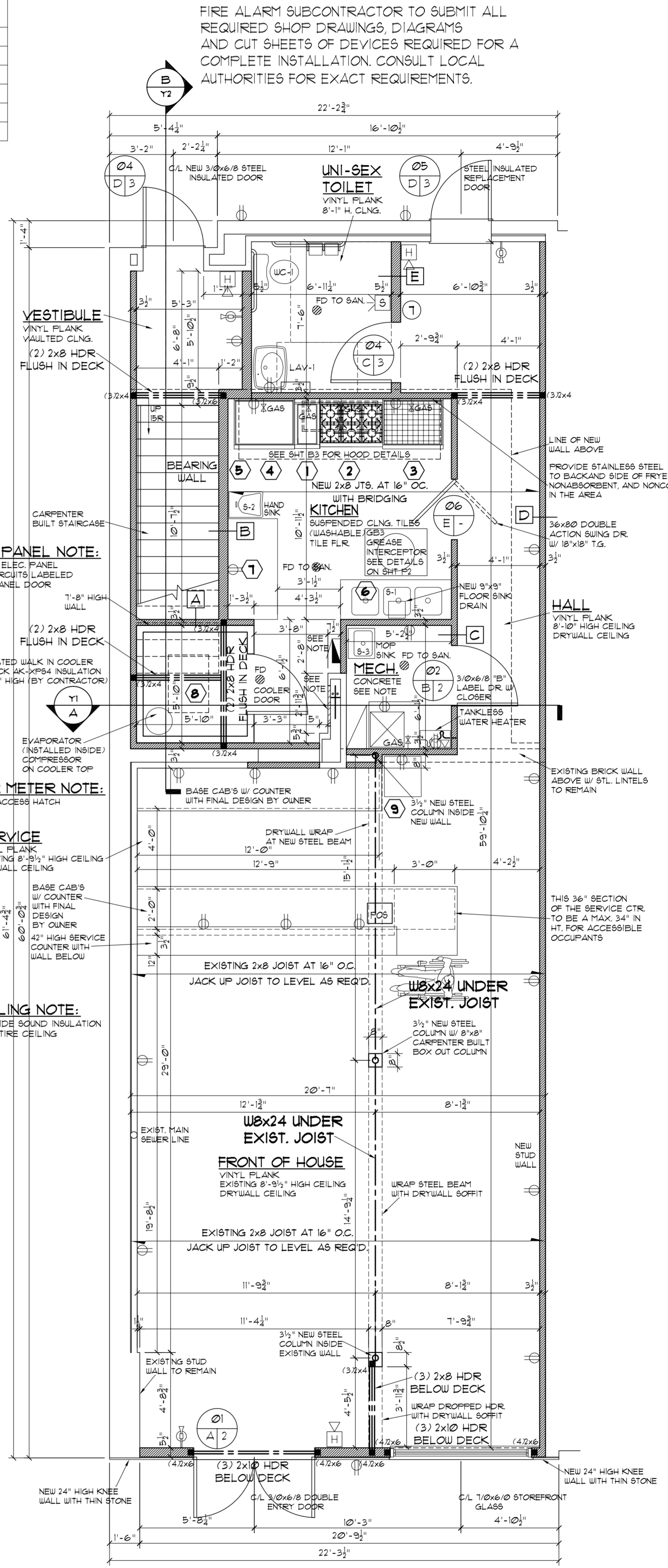
BEAM/ POST NOTE:
BEAM/ POST CONNECTION TO MEET IRC 2018 R502 & BEARING THE ENDS OF EACH JOIST BEAM OR GIRDER SHALL HAVE NO LESS THAN 110" OF BEARING ON WOOD OR METAL, AND NOT LESS THAN 3" ON MASONRY OR CONCRETE.

GENERAL NOTE:
ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED MATERIAL.

FIRE SUPPRESSION NOTE!
FIRE SPRINKLER AND ALARM SYSTEMS DESIGN AND PLANS BY OTHERS. SPRINKLER LINES AND EQUIPMENT ARE NOT SHOWN ON THIS DRAWING.

OCCUPANT LOAD NOTES:
OCCUPANT LOAD OF THE RETAIL SHALL BE POSTED IN A CONSPICUOUS PLACE NEAR THE EXIT OR DOORWAY FROM THE ROOM OR SPACE. THE LOCAL AUTHORITY SHALL HAVE FINAL APPROVAL OF THE POSTED OCCUPANT LOAD.

FIRE EXTINGUISHER NOTES:
- @3- PROVIDE 10LB, "ABC" TYPE FIRE EXTINGUISHER MOUNT 48" HIGH MAX. TO HANDLE TYPE "K" IN KITCHEN.
1. ALL PORTABLE FIRE EXTINGUISHERS MUST COMPLY WITH 2018 NFPA Pamphlet #10 AND THE LOCAL FIRE DEPARTMENT. IN ADDITION THEY MUST BE PROVIDED DURING THE CONSTRUCTION OF THE BUILDING AS REQUIRED BY THE FIRE DEPARTMENT.
THE FIRE EXTINGUISHERS MUST BEAR THE LABEL OF AN APPROVED AGENCY, AND INSPECTION TAG.



PROPOSED RENTAL SPACE FLOOR PLAN W/ RENOVATION
SCALE: 1/4" = 1'-0"
COMMERCIAL SPACE: 1022 SF
RESIDENTIAL APARTMENT: 95 SF

FINISH NOTES

INSTALL TAPERED WALLBOARD WITH METAL CORNER BEADS. MACHINE TAPE ALL JOINTS. WALLBOARD SHALL BE ATTACHED ACCORDING TO MANUFACTURER'S INSTRUCTIONS. PATCH ALL SCREW HEADS AND LEAVE SURFACE FREE OF DEFECTS. USE FIRE-CODE WALLBOARD WHERE REQUIRED FOR FIRE-RATING AND PROVIDE WATER RESISTANT WALLBOARD AT ALL WET AREAS.

TILE FLOORS, WALLS AND BASE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS AND IN ACCORDANCE WITH THE CERAMIC TILE ASSOCIATION'S RECOMMENDATION FOR EACH USE.

INTERIOR WALLS TO HAVE PRIME COAT PLUS ONE TOP COAT OF FLAT LATEX PAINT.
ALL INTERIOR FINISHES TO BE SELECTED BY THE OWNER PRIOR TO CONSTRUCTION.
ANY WOOD IN OR ON THE EXTERIOR WALLS ARE REQUIRED TO HAVE A 1 HOUR FIRE RATING, OR BE FIRE RETARDANT TREATED.

HVAC NOTES:

THE INTERIOR DESIGN TEMPERATURES USED FOR LOAD CALCULATIONS SHALL BE A MAX. OF 72 DEGREES F. FOR HEATING.
THE INTERIOR DESIGN TEMPERATURES USED FOR LOAD CALCULATIONS SHALL BE A MIN. OF 70 DEGREES F. FOR COOLING.
A PROGRAMMABLE THERMOSTAT IS PROVIDED TO CONTROL THE HEATING AND COOLING SYSTEMS.

IF PROVIDING DUCTWORK IN ANY ATTIC SPACES, SUPPLY DUCTS IN ATTICS SHALL HAVE R-8 INSULATION, R-6 IF NOT COMPLETELY IN THE THERMAL ENVELOPE.
THE BUILDING ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE AS OUTLINED IN THE 2018 IECC.

THE HEATING AND COOLING SYSTEMS SHALL COMPLY WITH THE 2021 IECC, AND SHALL BE SIZED BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE WITH ACCA MANUAL S AND IN ACCORDANCE WITH ACCA MANUAL S APPROVED HEATING AND COOLING CALCULATION METHODS.

DUCT SYSTEMS SERVING HEATING, COOLING, AND VENTILATION EQUIPMENT SHALL BE FABRICATED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 2018 IECC M1601, AND ACCA MANUAL D OR OTHER APPROVED METHODS.

- ALL DUCTWORK LOCATED IN UNCONDITIONED ATTICS MUST BE PROVIDED WITH MINIMUM R-8 INSULATION. ALL OTHER DUCTS IN UNCONDITIONED SPACES SHALL HAVE A MINIMUM R-6 INSULATION.
- ALL DUCTS, AIR HANDLERS, FILTER BOXES AND BUILDING CAVITIES USED FOR DUCTS SHALL BE SEALED.
- BUILDING FRAMING CANNOT BE USED AS AIR SUPPLY DUCTS.

- MINIMUM OF ONE (1) THERMOSTAT CONTROLLING HVAC SHALL BE PROGRAMMABLE, CAPABLE OF CONTROLLING SYSTEM ON A DAILY BASIS PER 2018 IECC R403.1.
- BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS IRC OR IMC, OUTDOOR AIR INTAKES AND EXHAUST SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN SYSTEM IS NOT OPERATING PER 2018 IECC R403.9.

- PROVIDE OUTSIDE AIR FOR COMBUSTION AT FURNACE, BOILER AND WATER HEATER.
- MECHANICAL LOCATIONS TO BE DETERMINED BY CONTRACTOR, AND MAY VARY FROM LOCATIONS SHOWN ON PLAN.

THE CONTRACTOR IS TO PROVIDE A FINAL BLOWER DOOR TEST AND AIR DUCT TEST REPORT PRIOR TO OR AT FINAL INSPECTION.

THE AIR BARRIER SHALL BE INSTALLED BEFORE ELECTRICAL OR COMMUNICATION BOXES OR AIR SEALED BOXES SHALL BE INSTALLED.
A WHOLE HOUSE MECHANICAL VENTILATION SYSTEM SHALL CONSIST OF ONE OR MORE SUPPLY OR EXHAUST FANS, OR A COMBINATION OF SUCH, AND ASSOCIATED DUCTS AND CONTROLS. INDICATE THE VENTILATION RATE OR WEATHER IT WILL BE PROVIDED CONTINUOUSLY, OR INTERMITTENTLY.

KITCHEN EXHAUST HOOD NOTE:

EXHAUST HOOD SYSTEMS CAPABLE OF EXHAUSTING IN EXCESS OF FOUR HUNDRED (400) CUBIC FEET PER MINUTE SHALL BE MECHANICALLY OR NATURALLY PROVIDED WITH MAKEUP AIR AT A RATE APPROXIMATELY EQUAL TO THE EXHAUST RATE. SUCH MAKEUP AIR SYSTEMS SHALL BE EQUIPPED WITH NOT LESS THAN ONE DAMPER EACH DAMPER SHALL BE A GRAVITY DAMPER OR AN ELECTRICALLY OPERATED DAMPER THAT AUTOMATICALLY OPENS WHEN THE EXHAUST SYSTEM OPERATES. DAMPERS SHALL BE ACCESSIBLE FOR INSPECTION, SERVICE, REPAIR, AND REPLACEMENT WITHOUT REMOVING PERMANENT CONSTRUCTION OR ANY OTHER DUCTS NOT CONNECTED TO THE DAMPED BEING INSPECTED, SERVICED, REPAIRED, OR REPLACED.

TUB-SHOWER NOTE:

PROVIDE FIBERGLASS OR GLASS MAT GYPSUM BACKERS INSTALLED FOR WALL TILE APPLIED IN ALL TUB / SHOWER AREAS AND WALL PANELS IN SHOWER AREAS WHICH ARE IN DIRECT CONTACT WITH WATER OR HIGH HUMIDITY.
ALL GLAZING IN DOORS AND ENCLOSURES FOR TUBS AND SHOWERS SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION. GLAZING IN ANY PART OF A BUILDING ENCLOSURE THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION. GLAZING WITHIN 60 INCHES MEASURED HORIZONTALLY AND IN A STRAIGHT LINE FROM THE WATERS EDGE OF A BATHTUB IS CONSIDERED TO BE A HAZARDOUS LOCATION.

WINDOW FALL PROTECTION NOTE:

ALL WINDOWS SHOWN SHALL FOLLOW FALL PROTECTION CODE R312.2 OF THE 2018 IRC CODE AND COMPLY WITH SEC. R312.2. ALL WINDOWS WHERE THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LESS THAN 24" ABOVE THE FINISHED FLOOR AND GREATER THAN 72" ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW ON EXTERIOR OF THE BUILDING, THE OPERABLE WINDOW SHALL COMPLY, OPERABLE WINDOW OPENINGS WILL NOT ALLOW A 4" DIAMETER SPHERE TO PASS THROUGH WHERE THE WINDOW OPENING ARE IN THEIR LARGEST OPENED POSITION, OR HAVE FALL PROTECTION DEVICES THAT COMPLY WITH ASTM F2080.

WINDOW NOTES:

ALL WINDOWS SHOWN ARE UNITS IN FEET AND INCHES.
ALL WINDOWS TO FOLLOW R312 OF THE 2018 IRC CODE.
ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MIN NET CLEAR OPENING OF 5.7 SF.

KITCHEN NOTE:

REFER TO KITCHEN DESIGNERS LAYOUT FOR KITCHEN FINAL LAYOUT WITH ALL TRADES TO FOLLOW

GAS APPLIANCE NOTE:

ADEQUATE SUPPLY OF COMBUSTION AIR SHALL BE PROVIDED FOR ALL GAS APPLIANCES IN ACCORDANCE WITH IP103 SPECIFICATIONS AND 2018 IRC.

GLAZING NOTE!

ALL GLAZING REQUIREMENTS TO FOLLOW THE WISCONSIN UNIFORM CODE AND FOLLOW MANUFACTURER'S SPECIFICATIONS

BATH VENTING NOTE:

ALL BATHROOM EXHAUST FANS ARE TO BE DUCTED TO THE EXTERIOR

ATTIC ACCESS NOTE:

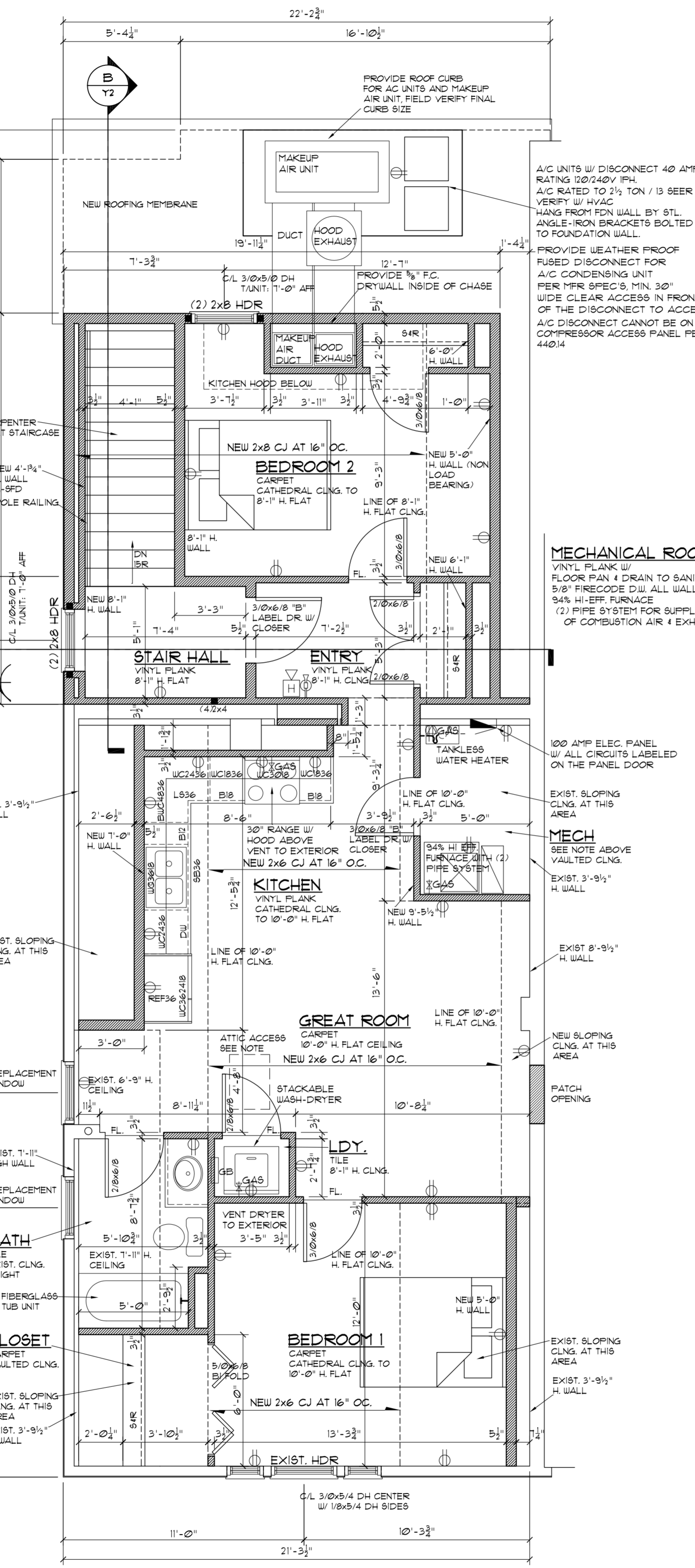
ACCESS PANELS TO ATTICS SHALL BE WEATHER STRIPPED AND INSULATED TO A LEVEL EQUAL TO THE INSULATION ON THE SURROUNDING SURFACES.
22"x36" ATTIC ACCESS, VERIFY LOCATION FOR MIN. 30" HEADROOM ABOVE OPENING PER R501.1

CARPENTRY NOTE:

PROVIDE SOLID BACKING AT ALL WALL MOUNTED FIXTURES.

PLUMBING NOTES:

MECHANICAL PIPING CARRYING FLUIDS ABOVE 100 DEGREES F SHALL HAVE R-3 INSULATION PER 2018 IECC CODE REQUIREMENTS.
HOT WATER SUPPLY SHALL BE RECIRCULATING WITH AN AUTOMATIC OR MANUAL RECIRCULATING PUMP.



PROPOSED SECOND FLOOR APARTMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"
RESIDENTIAL APARTMENT: 850 SF.

EQUIPMENT SCHEDULE

KITCHEN EQUIPMENT

TAG	QTY.	MANUFACTURE	DESCRIPTION	MODEL NUMBER	REMARKS
1	1	VULCAN	55 GAS FLOOR DEEP FRYER	LG300-2	30000 BTU, 3/4" NPT.
2	1	VULCAN	60" 6 BURNER GAS RANGE W/ OVEN	9X36-6B	168000 BTU (ON LEGS)
3	1	MOTAK	36" GAS CHARBROILER	MBR36	105000 BTU (COUNTERTOP)
4	1	WOLF	TEFPANYAKI GRIDDLER	TYG36C	30000 BTU (COUNTERTOP)
5	1	ACCUREX	RESTAURANT HOOD SYSTEM 10'-0" x 3'-0"	SEE CUT SHEETS	HOOD MAKEUP AIR-FIRE SUPPRESSION
6	1	JOHN BOOS	55 3-COMP SINK	E388-1620-12R18-X	
7	1	MOTAK	SANDWICH - SALAD PREP TABLE W/ REFRIGERATED BASE	MST-60-24-X 60 1/5"	115V ON CASTERS
8	1	AMERIKKOOLER	WALK IN COOLER	QC060611-NBRC-448A	208/230V
9	1	TRUE	REFRIGERATED MERCHANDISER ONE SECTION	CVM-15-HC-EGC01	115V/60/1-PH 2.5 AMPS

OWNER HAS THE ABILITY TO SUBSTITUTE ANY ON THE EQUIPMENT LISTED ABOVE FOR A EQUAL ITEM.

FOOD SERVICE EQUIPMENT NOTES:

ALL FOOD SERVICE EQUIPMENT MUST MEET NATIONAL SANITATION FOUNDATION STANDARDS.

ALL HAND SINKS MUST BE EQUIPPED WITH DISPENSED SOAP AND PAPER TOWELS, OR OTHER APPROVED DRYING DEVICE. WASTE RECEPTACLES MUST BE PROVIDED AT ALL HAND SINKS. COVERED WASTE RECEPTACLES MUST BE PROVIDED IN THE WOMEN RESTROOM. "HANDS FREE" FAUCETS ARE REQUIRED AT ALL HAND SINKS IN ALL FOOD PREPARATION AND HANDLING AREAS.

ALL SURFACES OF CABINETRY AND COUNTERS IN AND AROUND FOOD PREPARATION, HANDLING, AND STORAGE, AND BAR AREAS MUST BE SEALED OR OTHERWISE FINISHED TO PROVIDE A CLEANABLE FINISH.

ALL TABLE TOP OR COUNTER TOP APPLIANCES SHALL HAVE 4" LEGS, OR CASTERS 5" STAINLESS STEEL.

ROOM FINISH SCHEDULE - COMMERCIAL SPACE

ROOM NAME	FLOOR	BASE	WALLS	CEILING	CLG' HGT	NOTES
FRONT OF HOUSE	VINYL PLANK	WOOD BASE	GYP BD	5/8" GYP. BD. TYPE "X"	8'-9 1/2" AFF	
SERVICE	VINYL PLANK	WOOD BASE	GYP BD	5/8" GYP. BD. TYPE "X"	8'-9 1/2" AFF	
MECH.	CONCRETE	VINYL BASE	GYP BD	5/8" GYP. BD. TYPE "X"	8'-9 1/2" AFF	
KITCHEN	TILE	TILE BASE	GYP BD	SUSPENDED CLNG.-CLEANABLE	8'-1" AFF	FRP PANELS ON WALLS TO CEILING
UNIT-BEX TOILET	VINYL PLANK	WOOD BASE	GYP BD	5/8" GYP. BD. TYPE "X"	8'-1" AFF	TILE ON WALLS 48" HIGH
HALL	VINYL PLANK	TILE BASE	GYP BD	5/8" GYP. BD. TYPE "X"	8'-9 1/2" AFF	

CUTTING AND NOTCHING

ANY STUD IN AN EXTERIOR WALL OR BEARING PARTITION MAY BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25 PERCENT OF ITS WIDTH. STUDS IN NON-BEARING PARTITIONS MAY BE NOTCHED TO A DEPTH NOT TO EXCEED 40 PERCENT OF A SINGLE STUD WIDTH. ANY STUD MAY BE BORED OR DRILLED PROVIDED THAT THE DIAMETER OF THE RESULTING HOLE IS NO GREATER THAN 40 PERCENT OF THE STUD WIDTH. THE EDGE OF THE HOLE IS NO CLOSER THAN 5/8" INCH TO THE EDGE OF THE STUD, AND THE HOLE IS NOT LOCATED IN THE SAME SECTION AS A CUT OR NOTCH. A STUD MAY BE BORED TO A DIAMETER NOT EXCEEDING 60 PERCENT OF ITS WIDTH, PROVIDED THAT SUCH STUDS LOCATED IN EXTERIOR WALLS OR BEARING PARTITIONS ARE DOUBLED AND THAT NOT MORE THAN TWO SUCCESSIVE STUDS ARE BORED. BORING OR NOTCHING IN EXCESS OF THAT NOTED SHALL BE REINFORCED WITH METAL SPLICE PLATES.

WHERE PIPING OR DUCTWORK IS PLACED IN OR PARTLY IN AN EXTERIOR WALL OR INTERIOR LOAD WALL, NECESSITATING A CUTTING OF THE TOP PLATE BY MORE THAN 50 PERCENT OF ITS WIDTH, THE PLATE SHALL BE REINFORCED WITH 24 GAUGE STEEL ANGLE OR OTHER EQUIVALENT SUPPORT SPANNING THE DISTANCE BETWEEN THE APPROPRIATE STUDS.

NOTCHES IN THE TOP OR BOTTOM OF SOLID JOISTS SHALL NOT EXCEED ONE-SIXTH THE DEPTH OF THE JOIST AND SHALL BE LOCATED IN THE MIDDLE THIRD OF THE SPAN. WHERE JOISTS ARE NOTCHED ON THE ENDS, THE NOTCH SHALL NOT EXCEED ONE-FOURTH THE JOIST DEPTH. CANTILEVERED PORTIONS LESS THAN 4 INCHES WIDE SHALL NOT BE NOTCHED UNLESS THE REDUCED SECTION PROPERTIES AND LUMBER DEFECTS ARE CONSIDERED IN THE DESIGN. WHEN IT IS NECESSARY TO PROVIDE A SPACE FOR PIPES, DUCTS OR VENTS, THE DOUBLE JOISTS REQUIRED TO SUPPORT BEARING PARTITIONS WHICH RUN PARALLEL TO THE FLOOR JOISTS SHALL BE SPACED APART TO ACCOMMODATE THE PIPES, DUCTS, VENTS AND BLOCK AT 4 FEET ON CENTER.

ROOFER NOTE:

HOUSEWRAP ON WALLS MUST LAP OVER TOP OF CONCEALED FLASHING & ICE BARRIERS. THEREFORE, AT ALL ROOF/WALL CONVERGENCES IT IS THE ROOFER'S RESPONSIBILITY TO CUT (IF NECESSARY) AND UNFASTEN HOUSEWRAP ON WALLS SUCH THAT REQUIRED ICE BARRIERS & CONCEALED FLASHING CAN BE INSTALLED PROPERLY AGAINST WALL SHEATHING AND LAP THE HOUSEWRAP OVER IN A "SHINGLE STYLE" EFFECT. IT IS ALSO THE ROOFER'S RESPONSIBILITY TO REPAIR HOUSEWRAP THAT WAS TORN OR CUT DURING INSTALLATION OF ROOFING MATERIALS, AND TO REFASTEN IT TO THE WALL SHEATHING. TAPE USED AT SEAMS MUST BE APPROVED FOR THAT HOUSEWRAP BY ITS MANUFACTURER.

ICE BARRIER:

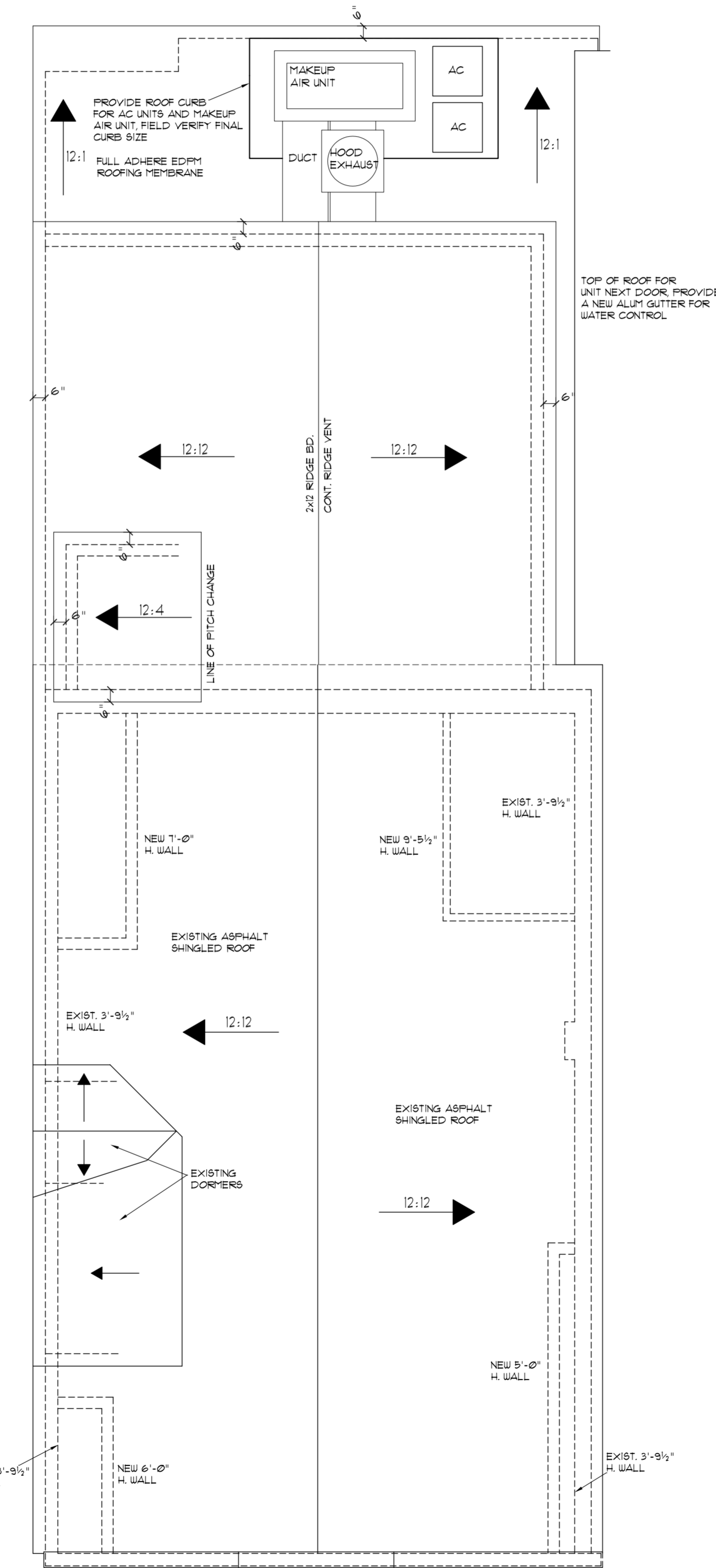
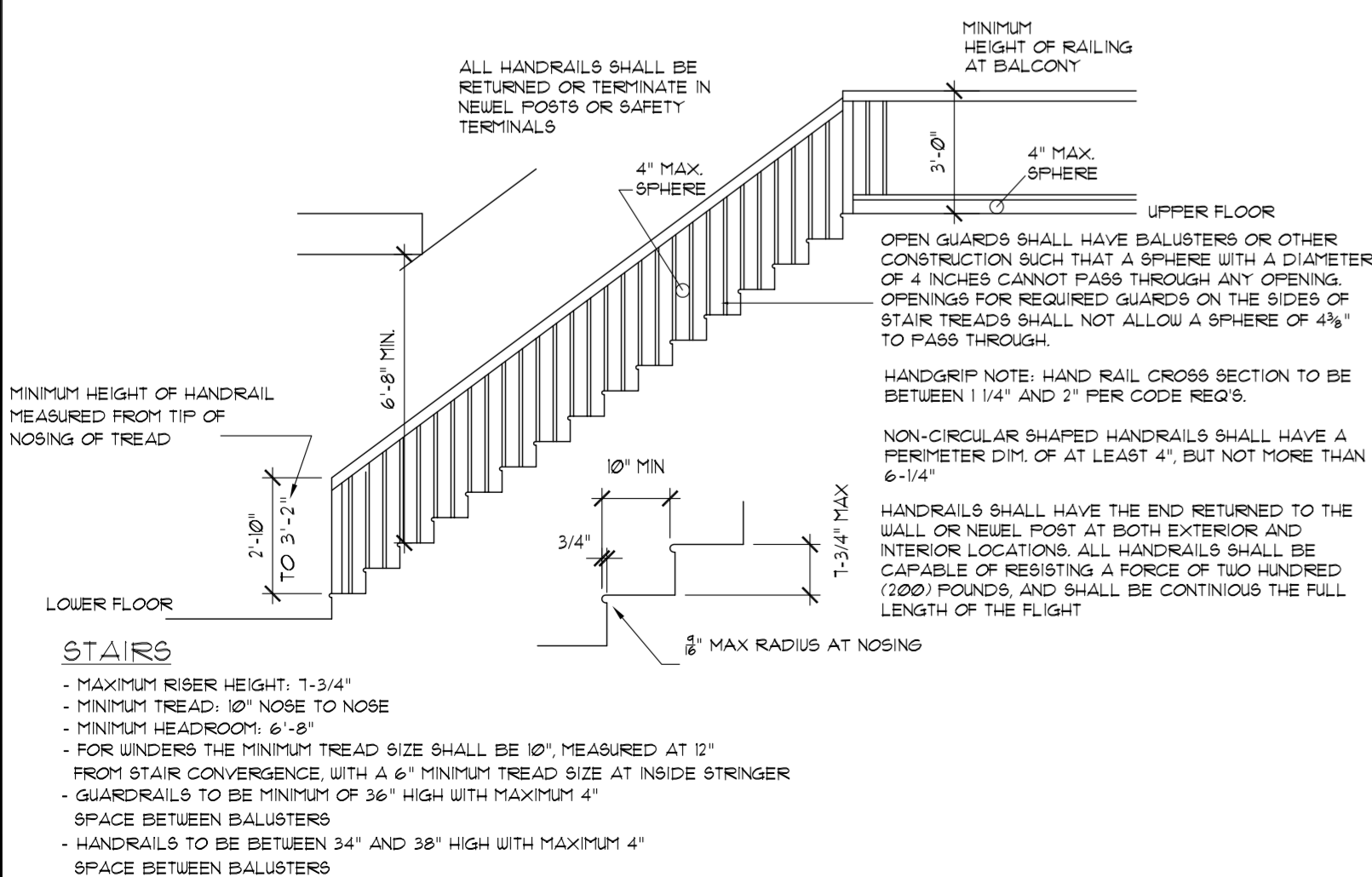
AN ICE BARRIER THAT CONSISTS OF A LEAST TWO LAYERS OF UNDERLAYMENT CEMENTED TOGETHER OR OF A SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET, SHALL BE USED IN LIEU OF NORMAL UNDERLAYMENT AND EXTEND FROM THE LOWEST EDGES OF ALL ROOF SURFACES TO A POINT AT LEAST 24 INCHES (610 MM) INSIDE THE EXTERIOR WALL LINE OF THE BUILDING. ICE BARRIERS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS NOT ONLY FROM THE LOWEST EDGES BUT ALSO TO 24" OF EITHER SIDE OF ALL VALLEYS AND PITCH CHANGES, OVER ENTIRE SURFACE OF ALL ROOFS PITCHED LESS THAN 4:12 AND OVER ALL SADDLES & CRICKETS REGARDLESS OF PITCH. WHERE ROOF SURFACES RUN ADJACENT TO WALLS, ICE BARRIER MUST BE EXTENDED TO RUN CONTINUOUSLY FROM ROOF SURFACE UP WALL SHEATHING A MINIMUM OF 12" UNLESS NOTED OTHERWISE.

ATTIC VENTILATION:

WHEN DETERMINED BY THE BUILDING OFFICIAL DUE TO ATMOSPHERIC OR CLIMATIC CONDITIONS ENCLOSED ATTICS AND RAFTER SPACES FORMED WHERE CEILING ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW. THE NET FREE VENTILATING AREA SHALL BE NOT LESS THAN 1 TO 30 OF THE AREA OF THE SPACE VENTILATED. EXCEPT THAT THE AREA MAY BE 1 TO 300 PROVIDED AT LEAST 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 36" ABOVE EAVE OR CORNICE LEVELS. THE NET FREE CROSS-VENTILATING AREA MAY NOT BE LESS THAN 1 TO 300 OF THE AREA OF THE SPACE VENTILATED WHEN THE VAPOR BARRIER HAVING A TRANSMISSION RATE NOT EXCEEDING 1 PERM IS INSTALLED ON THE WARM SIDE OF THE CEILING.

EXIT CAPACITY SCHEDULE

EXIT NUMBER	EXIT MARK	CLEAR DIMENSION	EXIT CALCULATION		
			EXIT UNITS	FACTOR PER PERSON	EXIT CAP. PERSONS
1	LL01	34"	15	60	90
2	LL02	34"	15	60	90
3	LL03	34"	15	60	90
SUMMARY			45	ACTUAL EXITS	
CODE MINIMUM NUMBER OF EXITS			2		3



PLUMBING NOTES:

PROVIDE 3/4" AIR CHAMBERS AT ALL FIXTURES & RISERS. VALVE ALL FIXTURES, EQUIPMENT, & APPLIANCES.

MINIMUM SUPPLY SIZES AND FLOW RATES:

DISHWASHER	1/2" LINE 1.0 GPM
BATH TUBS	1/2" LINE 2.0 GPM
KITCHEN SINK	1/2" LINE 2.0 GPM
LAVATORIES	1/2" LINE 1.0 GPM
SHOWERS	1/2" LINE 2.0 GPM
WATER CLOSETS	1/2" LINE 3.0 GPM
LAUNDRY TUB	1/2" LINE 3.0 GPM
HOSE BIBBS	1/2" LINE 5.0 GPM

CELL CORE PVC IS NOT ALLOWED FOR DRAINAGE, WASTE & VENTING PIPING.

ALL SHOWER OR SHOWER/TUB UNITS MUST HAVE EITHER A THERMOSTATIC OR PRESSURE BALANCING SAFETY-MIXING VALVES. SET TO DELIVER A MAX. OF 115 DEG. WATER AT TIME OF INSTALLATION.

PROVIDE A VACUUM BREAK FOR ALL HOSE THREADED OUTLETS.

WASTE DIAGRAM NOTES:

4" DRAINS AND 2" VENTS FOR HORIZONTAL RUNS ALL STUDS TO FIXTURES @ 2"

THE PLUMBING INSPECTOR SHALL FIELD VERIFY THE DRAIN, WASTE, VENT, AND WATER DISTRIBUTION SYSTEM SHALL BE PROPERLY SIZED IN ACCORDANCE WITH THE APPROPRIATE TABLES FOUND IN 800 APPENDIX A.

ALL FLOOR DRAINS SHALL BE INDIVIDUALLY VENTED, AND ACCESSIBLE AND READILY CLEANED, AND SHALL BE LOCATED SO THAT THEY ARE EASILY VISIBLE.

ALL EXPOSED HOT WATER PIPING SHALL BE INSULATED FROM THE WATER HEATER TO THE FIXTURES WITH A MINIMUM THERMAL RESISTANCE (R-VALUE) OF R-3 INSULATION.

CONCRETE NOTES

CONCRETE FLOOR PATCHES SHALL HAVE HARDENER AND SEALER.

MATCH SAW CUT CONTROL JOINTS AS REQUIRED. ALL CONCRETE SHALL BE NORMAL WEIGHT AND HAVE A 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI.

ALL REINFORCING BARS SHALL BE ASTM A185. ALL NEW FLATWORK SHALL BE REINFORCED WITH 6x6 W/4X4 WELDED FABRIC NOTED OTHERWISE.

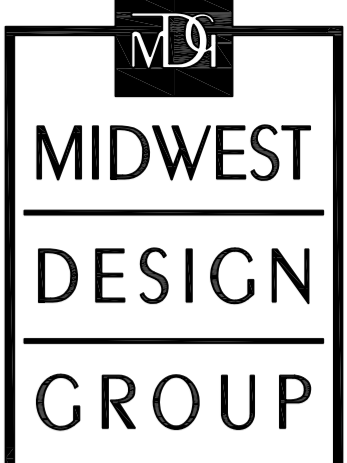
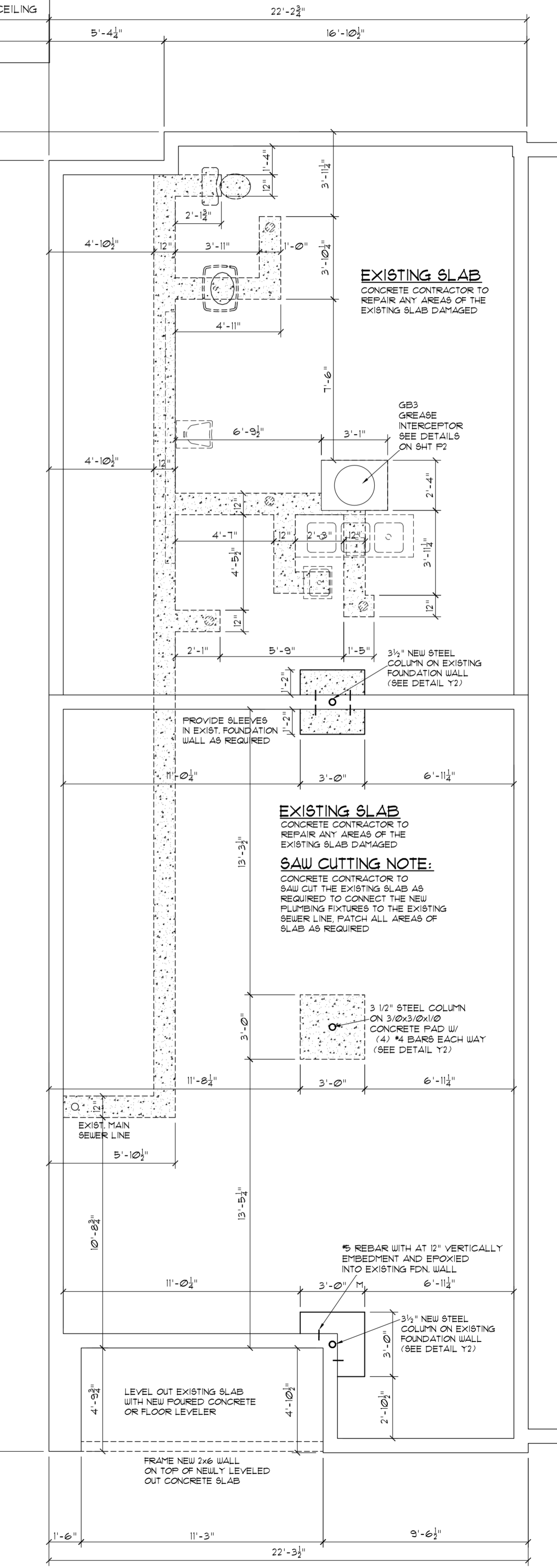
VERIFY REQUIRED OPENINGS, SLEEVES, EQUIPMENT PADS, DEFLECTION CURVES.

FLOOR FINISHES, INSERTS, AND OTHER EMBEDDED ITEMS WITH CONTRACTORS.

FABRICATORS SHALL SUBMIT CHECKED SHOP DRAWINGS FOR REINFORCING STEEL AND OTHER DETAILS TO CONTRACTORS FOR APPROVAL.

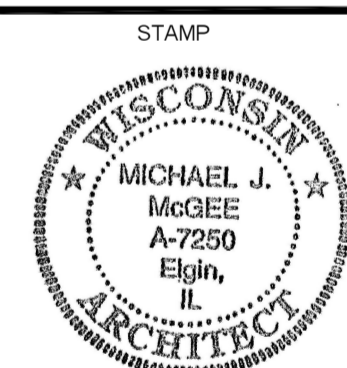
GENERAL NOTE: ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED MATERIAL.

ALL FASTENERS, HANGERS, AND FLASHING FOR PRESSURE TREATED WOOD SHALL BE COMPATIBLE WITH ACC TREATED LUMBER.



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RENOVATION TO:
140 BROAD STREET
LAKE GENEVA WI 53147

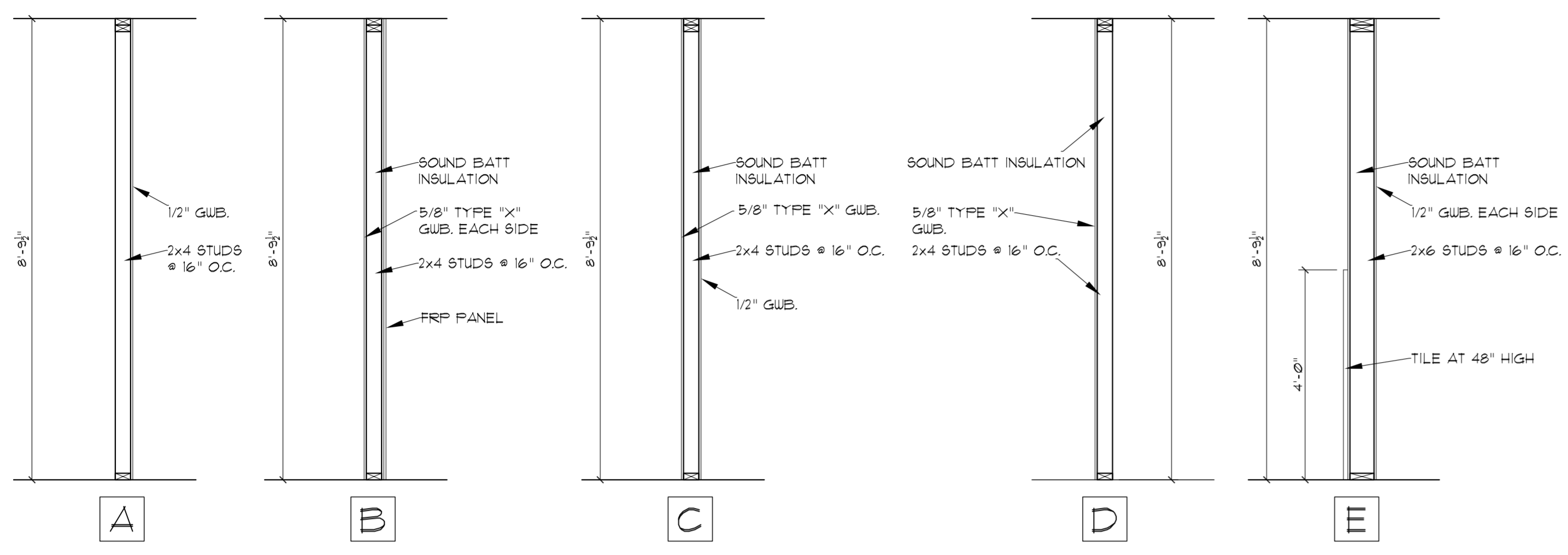


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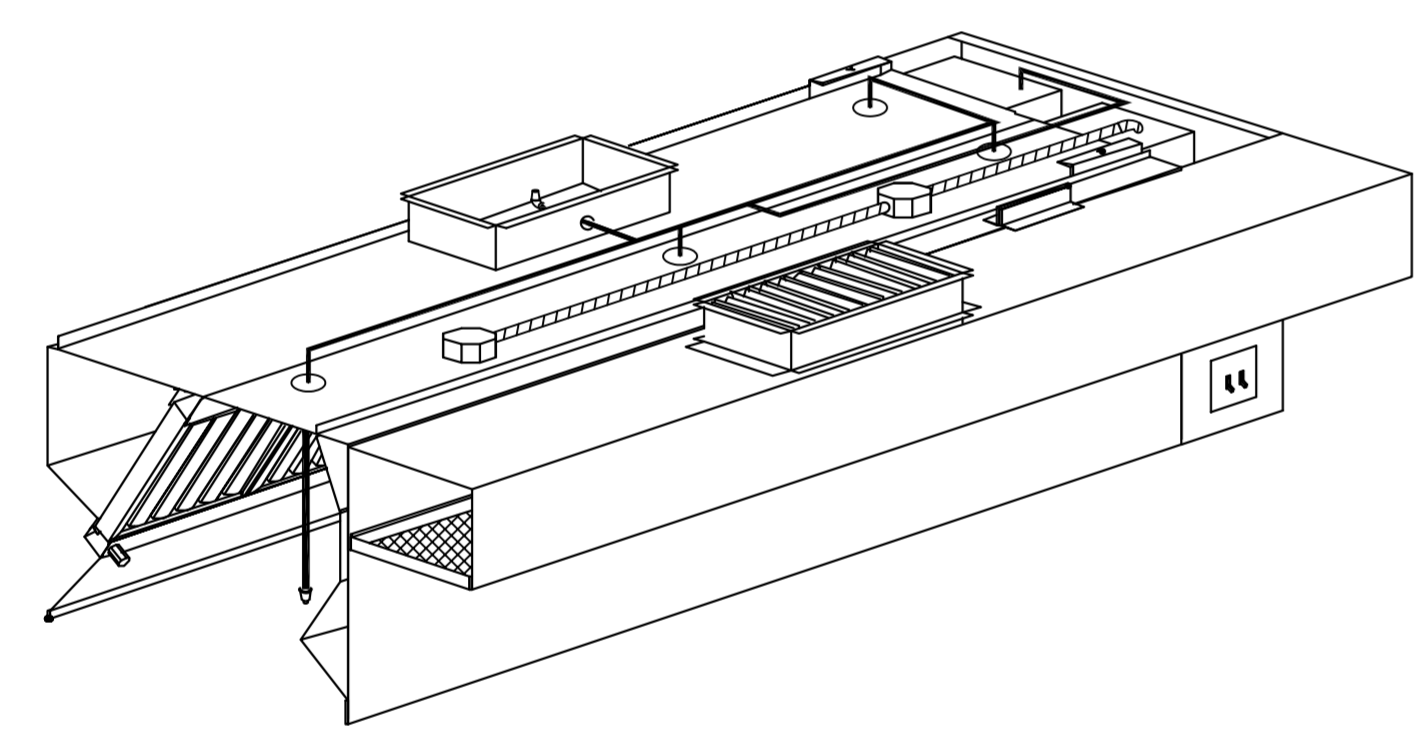
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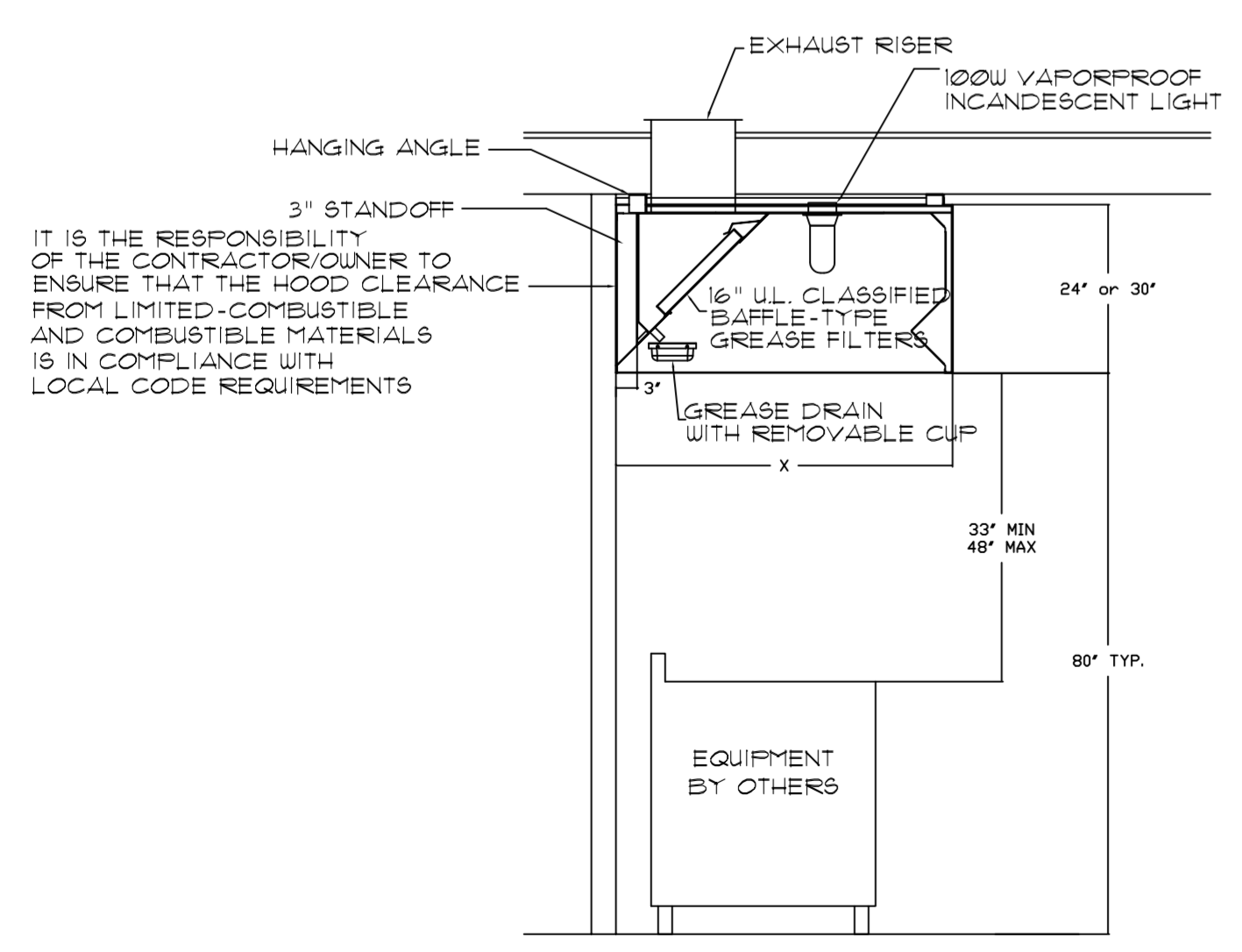
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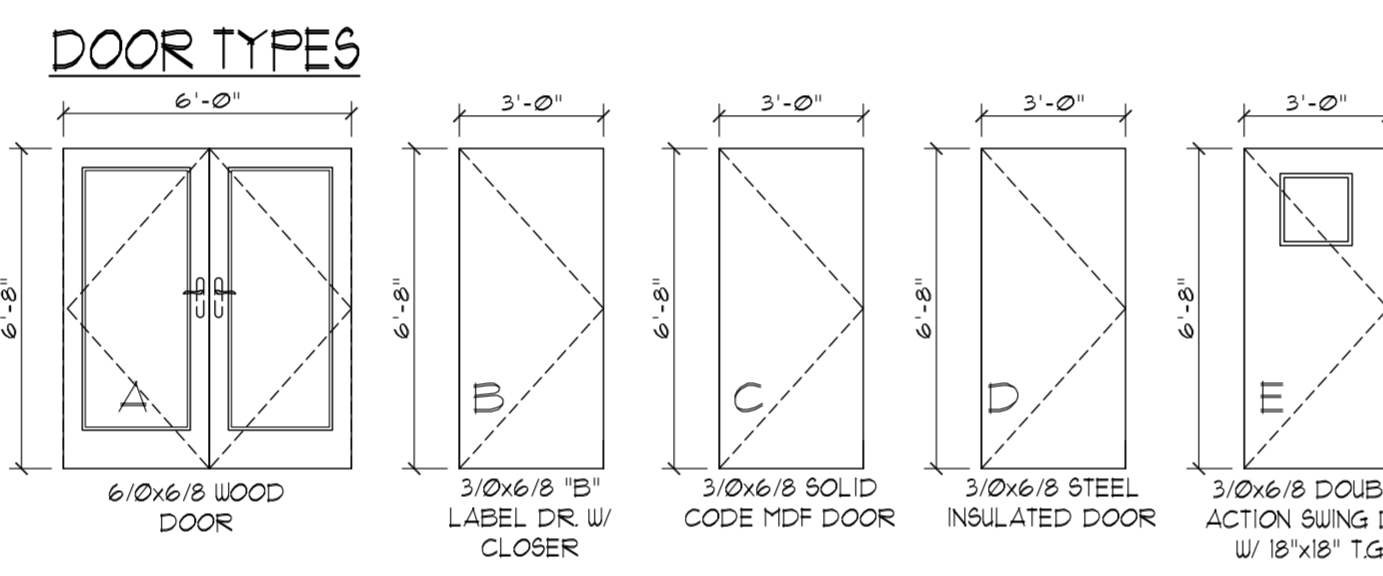
TYPICAL WALL TYPES
SCALE: 1/2" = 1'-0"



HOOD ELEVATION VIEW
SCALE: 1/2" = 1'-0"



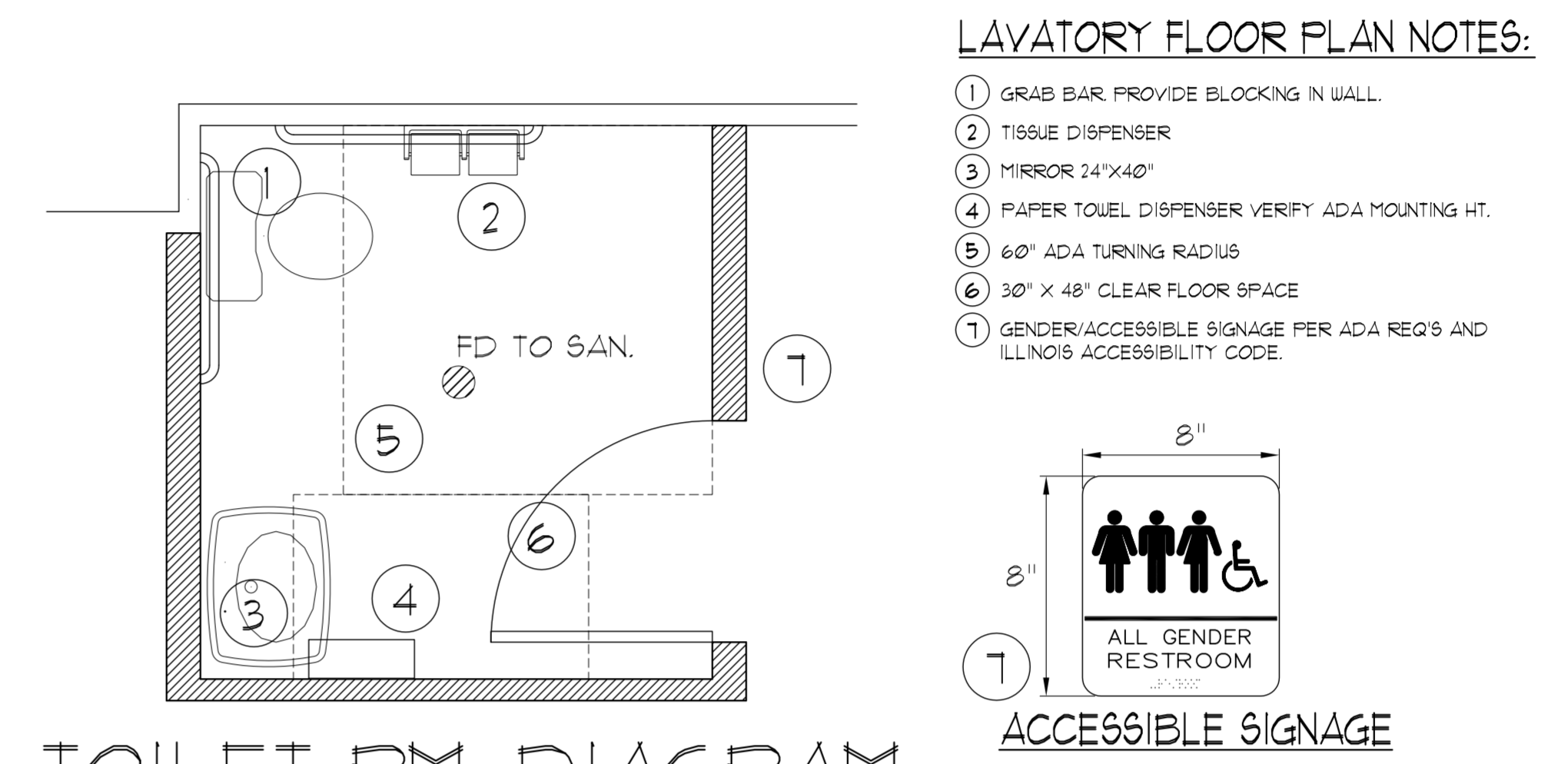
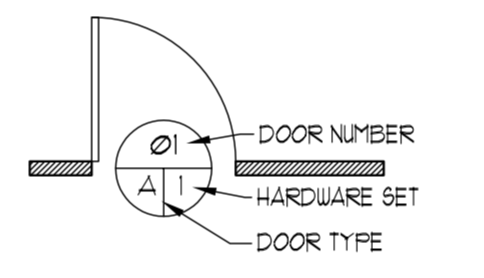
HOOD SECTION
SCALE: 1/2" = 1'-0"



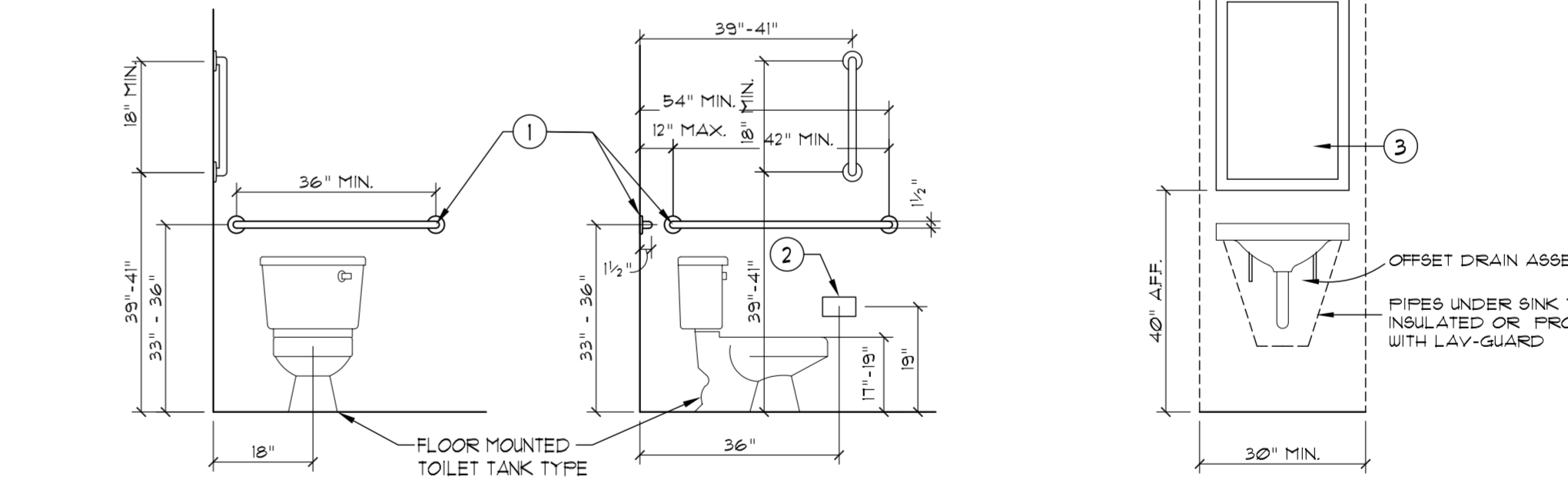
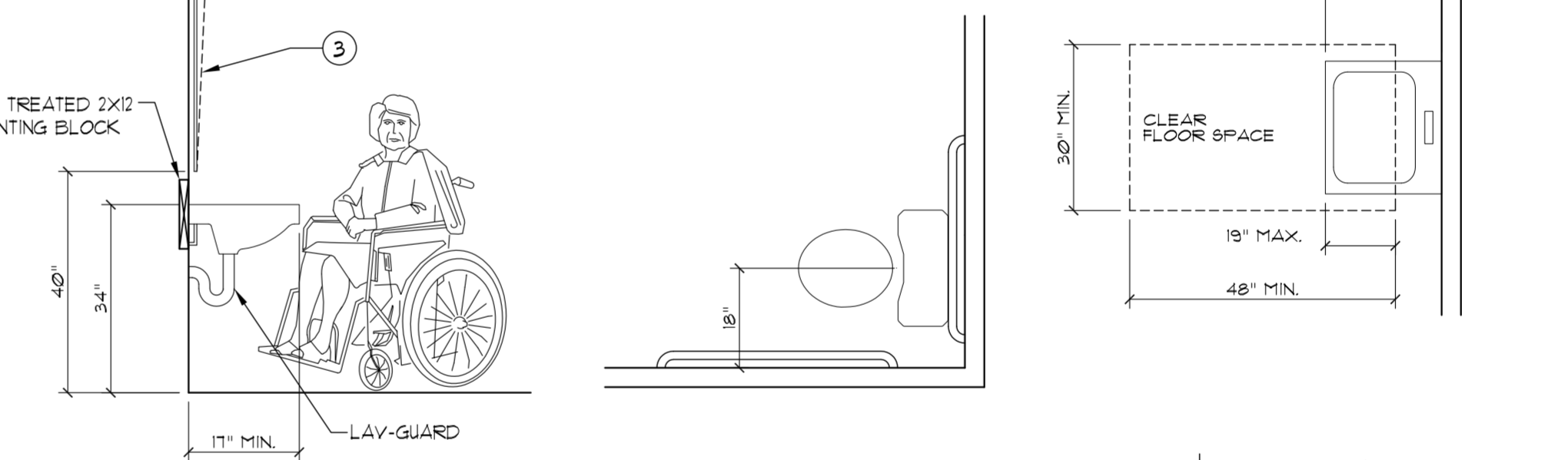
DOOR SCHEDULE:
DOOR NOTES:

DOOR NOTES:
ALL EXTERIOR DOORS TO BE 1-3/4" FLUSH SOLID CORE WITH 18 GA. WELDED HOLLOW METAL FRAMES, AS FLUSH WITH SLABS.
PROVIDE ONE HOUR RATING ON MECH. RM. DOOR INCLUDING CLOSERS AND SMOKE GASKETS. VERIFY RATED FRAMES WHERE REQUIRED.
PROVIDE ACCESSIBILITY GENDER SIGNAGE AT ACCESSIBLE WASHROOMS. ALL SIGNAGE TO COMPLY WITH ILLINOIS ACCESSIBILITY CODE SECTION 400.31
ALL THRESHOLDS TO MEET ADA ACCESSIBILITY REQUIREMENTS.
PROVIDE LOCKS ON ALL OUTSIDE AND STORAGE ROOM DOORS. PROVIDE BATHROOM-STYLE LOCKS ON ALL BATHROOM AND OFFICE DOORS.
DOOR HARDWARE AND LOCKING SCHEDULE TO MEET ALL ILLINOIS ACCESSIBILITY CODE AND 2012 IBC REQUIREMENTS. CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND, AND SHALL NOT REQUIRE TIGHT GRASPING, FINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 LBS.
ACCESSIBLE SIGNAGE SHALL COMPLY WITH ANSI STANDARD A117.1 SECTION 4.28
ACCESSIBLE SIGNAGE SHALL BE POSTED ON BATHROOMS ON LATCH SIDE OF DOOR 60" AFF. SIGNAGE SHALL INCLUDE BRAILLE.
ALL INTERIOR DOORS TO BE SOLID CORE WOOD OR FLUSH METAL
ALL DOOR FRAMES TO BE STEEL.
DOORS SHALL HAVE LCN ADA CLOSERS, OR EQUAL, UL LISTED FOR USE ON FIRE DOORS AND CONFORMING TO ANSI A 156.4, GRADE I, AND THE AMERICANS WITH DISABILITIES ACT
ALL DOORS (WHERE APPLICABLE) SHALL HAVE LEVER OR PUSH/PULL HARDWARE THAT CONFORMS TO THE ADA AND DOES NOT REQUIRE TIGHT GRASPING, FINCHING, OR TWISTING OF THE WRIST TO OPERATE (IAC 400.310(J)(2)).
DEAD BOLTS SHALL OPERATE WITH LEVER OR PADDLE RELEASES, THUMB TURNS ARE NOT ALLOWED. KEY OPERATION OF INTERIOR DEADBOLTS IS NOT ALLOWED. DEADBOLTS AT EGRESS DOORS ARE NOT ALLOWED.
PROVIDE DOOR ALARM AND SIGNAGE INDICATING DOOR USED FOR "EMERGENCY EXIT ONLY - ALARM WILL SOUND WHEN OPENED".
FRONT DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS.
PROVIDE SAFETY GLAZING WITHIN 24" OF THE EDGE OF ANY DOOR PER 2018 IBC 2406.2
ALL DOORS AND LATCHES, SHALL OPEN FROM THE EGRESS SIDE WITHOUT KEY OR SPECIAL KNOWLEDGE AND SHALL NOT REQUIRE MORE THAN ONE MOTION TO OPEN THE LATCH. THUMB TURNS OR KEYPED LOCKS ARE NOT AN APPROVED ACCESSIBLE MEANS OF EGRESS PER 2018 IBC 1009.13
ALL DOOR FRAMES, HARDWARE, CLOSERS, THAT ARE PART OF THE FIRE RATED OPENING ASSEMBLY SHALL ALSO BE FIRE RATED. THE DOOR AND THESE ITEMS SHALL BE PERMANENTLY LABELED WITH THE MANUFACTURE AND FIRE RATING. THESE ITEMS SHALL BE TESTED IN ACCORDANCE WITH NFPA 252 OR UL10C.
MASTER KEY ALL LOCKS
ALL EXIT AND EXTERIOR DOORS MUST HAVE PANIC HARDWARE AND BE SELF CLOSING AND TIGHT FITTING.
PROVIDE BLOCKING FOR DOOR STOPS.
CLOSER TO BE MOUNTED TO THE DOOR NOT THE FRAME. CLOSER TYPE TO BE 90 DEG'S.

HARDWARE SET 1:
CLOSER, FLOOR/WALLSTOP AS REQD.
HARDWARE SET 2:
CLOSER, LOCKSET, FLOOR/WALL STOP AS REQD.
HARDWARE SET 3:
PRIVACY LOCKSET, FLOOR/WALLSTOP AS REQD.



TOILET RM. DIAGRAM
SCALE: 1/2" = 1'-0" NOTE - SEE FRAMING PLAN FOR ACTUAL ROOM LAYOUTS



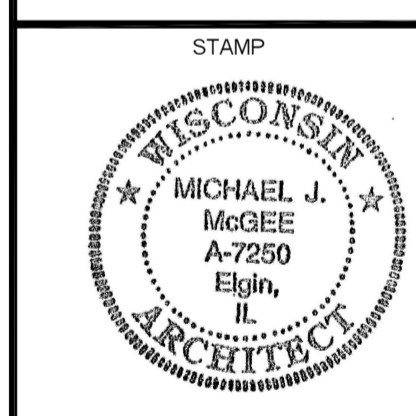
CONTROLS & OPERATING MECHANISMS:

- ALL FAUCETS SHALL BE WRIST BLADES, LEVER, PUSH, OR ELECTRONICALLY CONTROLLED.
- IF A TOWEL DISPENSER REQUIRES A FRONT APPROACH PROVIDE 48" FROM FLOOR TO OPERATING DEVICE (HANDLE).
- VERIFY WITH LOCAL ORDINANCES FOR AUTOMATIC SHUT-OFF REQUIREMENTS

CONTROLS & OPERATING MECHANISMS:

- CONTROLS SUCH AS LIGHT SWITCHES OR THERMOSTATS, AND OPERATING MECHANISMS SUCH AS TOWEL DISPENSERS, FIRE EXTINGUISHERS, FLUSH VALVES, ON/OFF SWITCHES FOR HAND DRYERS, ECT. SHALL BE WITHIN ACCESSIBLE REACH RANGE OF 48" FORWARD REACH AND 54" FOR SIDE REACH W/ 30"x48" CLEAR FLOOR SPACE.
- ALL FAUCETS SHALL BE WRIST BLADES, LEVER, PUSH, OR ELECTRONICALLY CONTROLLED.
- LOCKS & LATCHES: ALL EXTERIOR EXIT DOORS SHALL BE READILY OPENABLE FROM THE INSIDE WITHOUT USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. THE MAIN EXTERIOR EXIT DOOR IS PERMITTED TO BE EQUIPPED WITH A KEY OPERATED LOCKING DEVICE FROM THE INSIDE AS LONG AS THE LOCKING DEVICE IS A TYPE READILY DISTINGUISHABLE AS LOCKED. A READILY VISIBLE DURABLE SIGN IS POSTED ON THE EGRESS SIDE ON OR ADJACENT TO THE DOOR STATING "THIS DOOR TO REMAIN UNLOCKED WHEN THIS BUILDING IS OCCUPIED". THE SIGN SHALL BE IN LETTERS 1" HIGH ON A CONTRASTING BACKGROUND. THE MAIN EXTERIOR DOOR IS A SINGLE DOOR WHICH WHEN UNLOCKED SWINGS FREE.

RENOVATION TO:
140 BROAD STREET
LAKE GENEVA WI 53147



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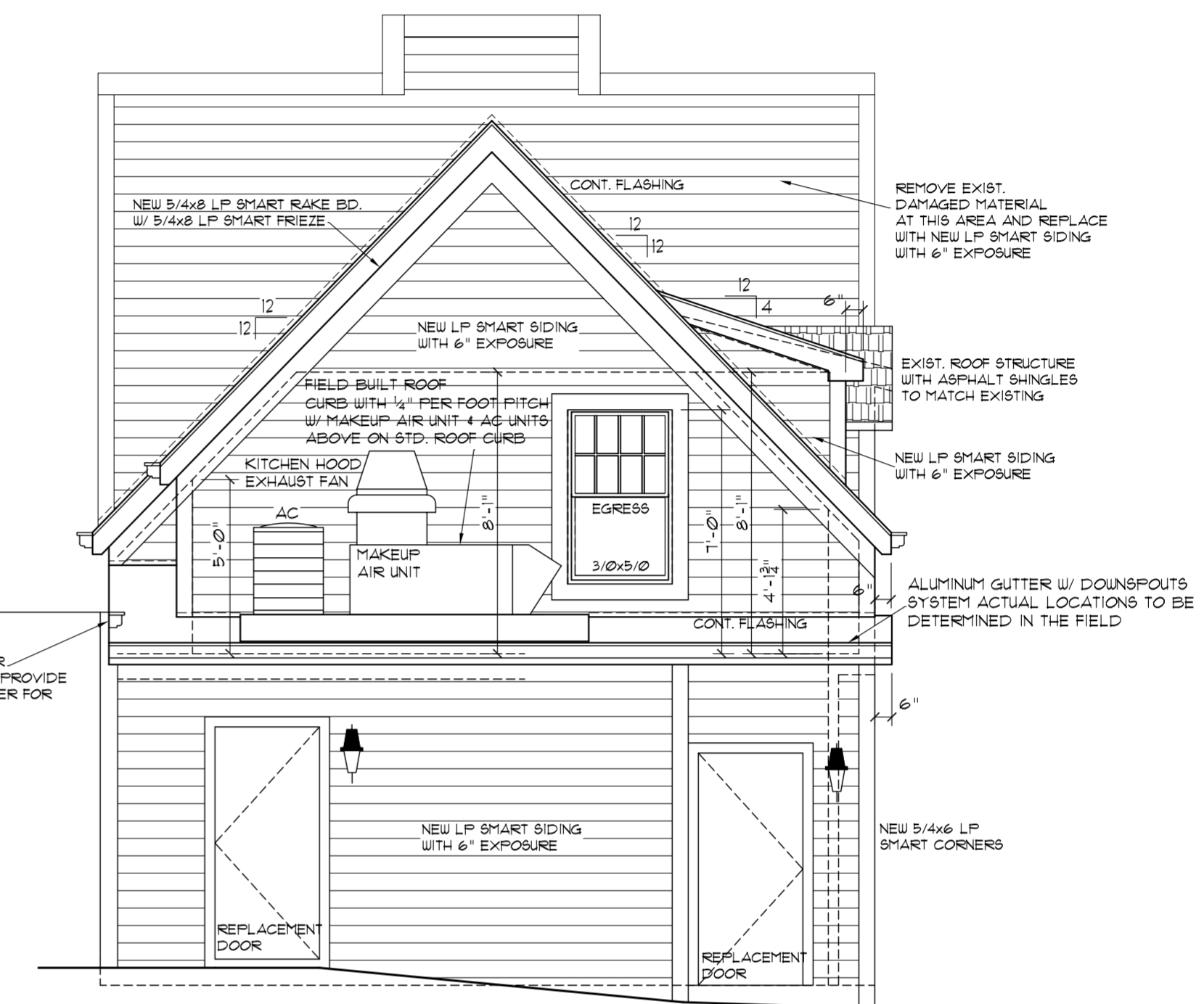
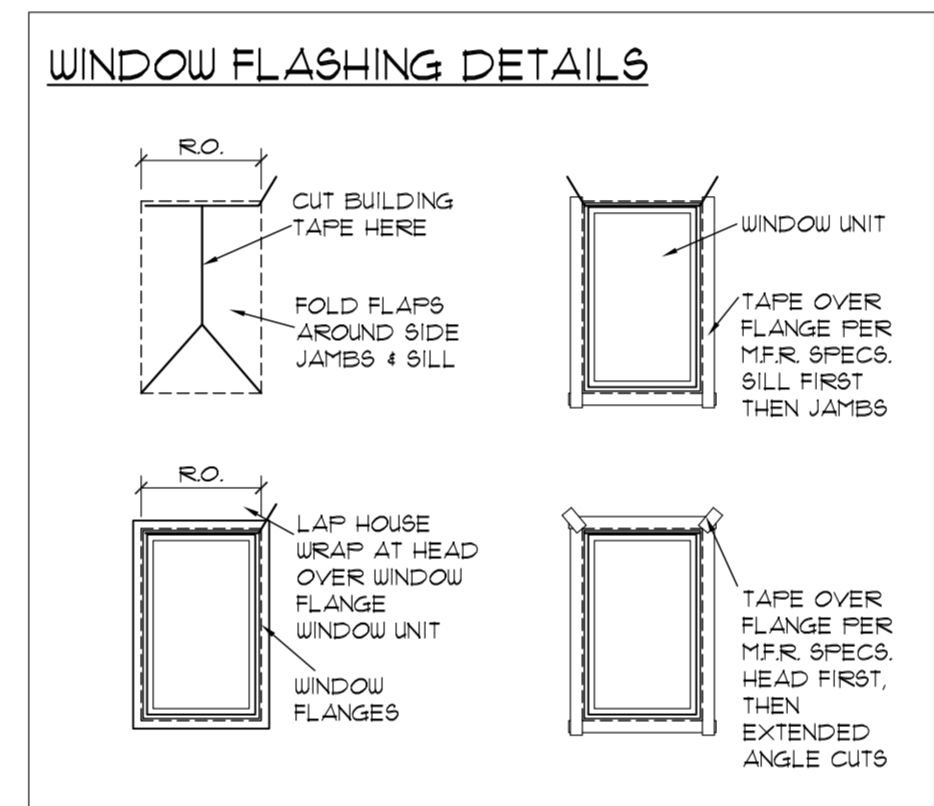
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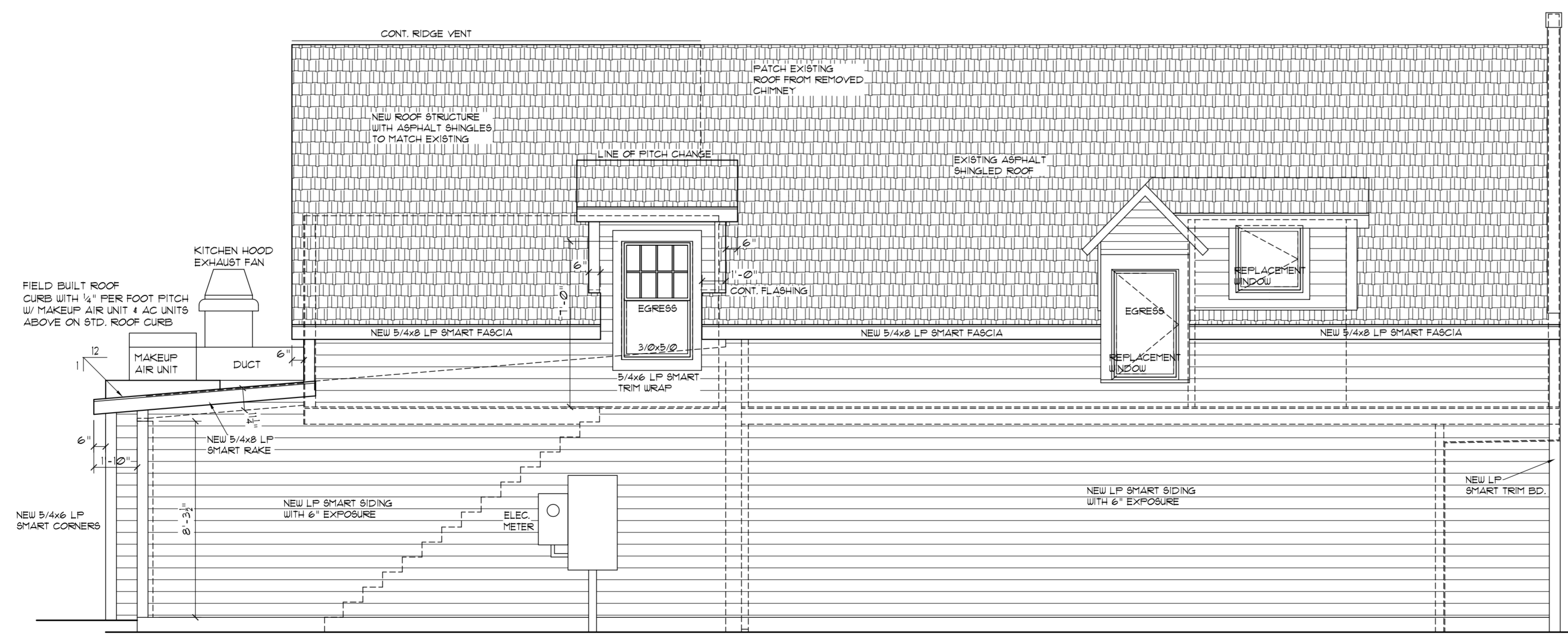
PREFINISHED GUTTERS
4" OR 5" "OGEE" STYLE PREFINISHED ALUMINUM ROLL FORMED SEAMLESS GUTTERS MOUNTED ON FASCIA BOARD. FINAL COLOR TO BE SELECTED BY OWNER

FLASHING NOTE:
PROVIDE FLASHING AT ALL TOP AND SIDES OF WINDOWS, DOORS, SILLS, AND ROOF VALLEYS.
FLASH ALL SILL COPINGS AT MASONRY VENEER OPENINGS

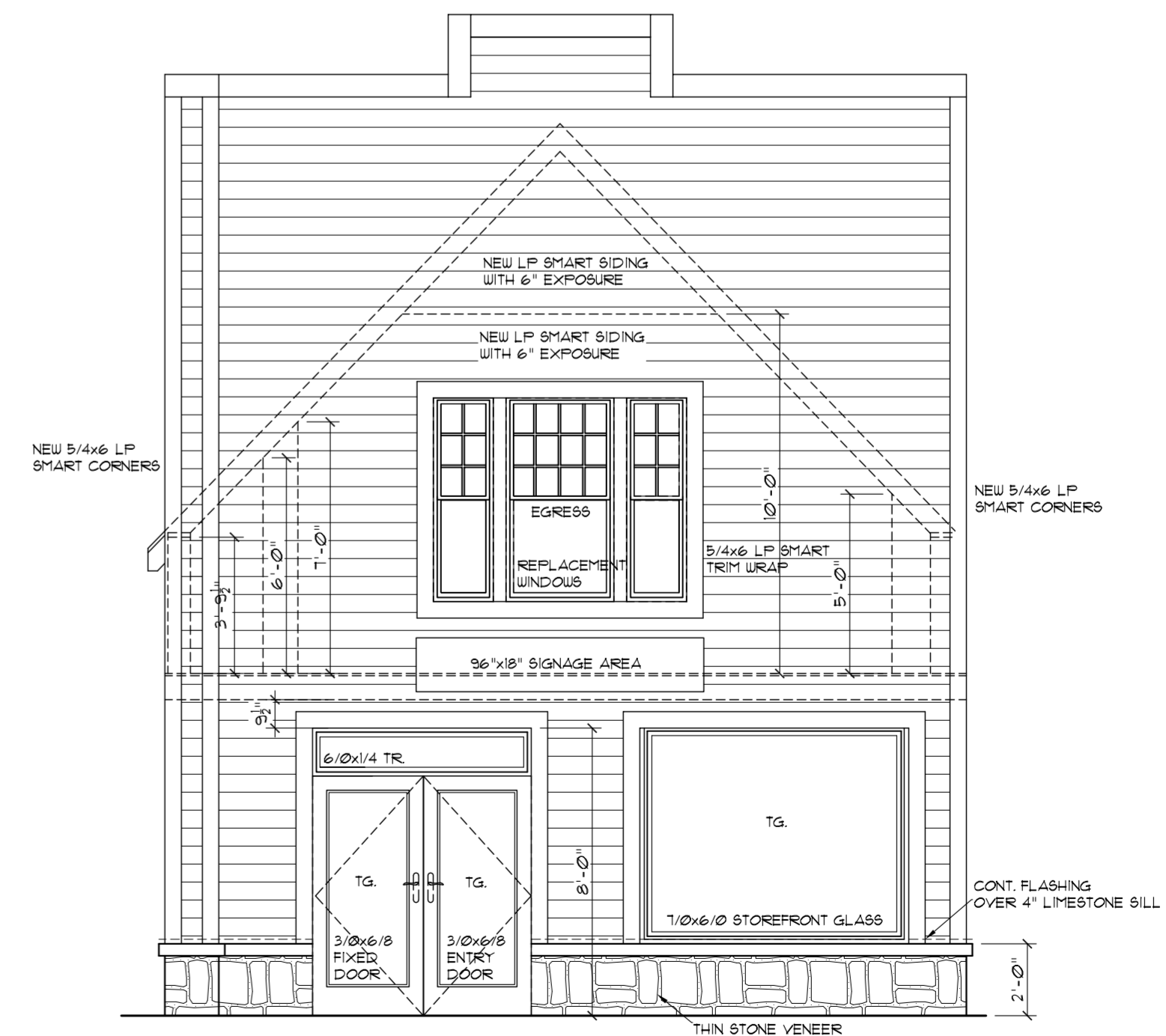
DOWNSPOUT NOTES:
ALL ROOF DOWNSPOUTS SHALL DISCHARGE ON GRADE IN THE FRONT, REAR, OR CORNER SIDE YARD DIRECTION WITH A MAXIMUM EXTENSION OF 5' FROM THE STRUCTURE AND NO CLOSER THAN 5' FROM THE PROPERTY LINE.



**REAR ELEVATION W/
RENOVATION**
SCALE: 1/4" = 1'-0"



**LEFT SIDE ELEVATION W/
RENOVATION**
SCALE: 1/4" = 1'-0"



**FRONT ELEVATION W/
RENOVATION**
SCALE: 1/4" = 1'-0"

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EMERGENCY LIGHTING FIXTURE SCHEDULE			
TYPE	MANUFACTURE	LAMPS	DESCRIPTION
EXIT	SURE-LITES CHX SERIES 3000 SELF POWERED EMERGENCY EXIT SIGN	2-20 WATT T 6 1/2" AC LAMPS AND 2-6 VOLTS 3.6 WATT DC LAMPS	EXIT SIGN SINGLE OR DOUBLE FACED WITH DIRECTIONAL ARROWS. PROVIDE M-1 POWER PACK
	SURE-LITES XR EMERGENCY LIGHT BATTERY UNIT WITH DUAL SUPPLY	2-3.6V LED LAMP	EMERGENCY BATTERY LIGHT WALL MOUNTED 12" FROM CEILING. PROVIDE 4 MOUNT UNIT
	SURE-LITES XR EMERGENCY LIGHT BATTERY UNIT WITH DUAL SUPPLY	1-3.6V LED LAMP	EMERGENCY BATTERY LIGHT WALL MOUNTED

EMERGENCY LIGHTING NOTES:

BATTERY UNITS USED AS EMERGENCY SYSTEM TO COMPLY WITH 10-21-1000.

BATTERY UNITS SHALL BE CONNECTED TO THE LIGHTING CIRCUIT THAT ILLUMINATES THE AREA OF THE BATTERY UNIT.

CONNECT ALL BATTERY UNITS TO THE SAME BRANCH CIRCUIT THAT SERVES THE NORMAL ILLUMINATION IN THAT AREA AND CONNECT AHEAD OF ANY LOCAL SWITCHES.

PROVIDE LOCK-ON CIRCUIT BREAKERS ON CIRCUITS SERVING BATTERY UNITS 24 HOURS ON.

PROVIDE SEPARATE NEUTRAL FOR EXIT CIRCUITS AND EMERGENCY LIGHTING CIRCUITS.

ALL WIRING TO BE ENCLOSED IN SEPARATE RACEWAY SYSTEM, INDEPENDENT OF OTHER WIRING.

PROVIDE SEPARATE NEUTRAL FOR EXIT CIRCUITS AND EMERGENCY LIGHTING CIRCUITS.

MAXIMUM NUMBER OF CONNECTIONS PER CIRCUIT TO BE 15.

EXIT AND EMERGENCY LIGHTING TO BE PROTECTED BY 15 AMP, 1 POLE, PLUG FUSES.

ALL COMPONENTS OF THE MEANS OF EGRESS SHALL BE PROVIDED WITH EMERGENCY LIGHTING WITH MINIMUM 90 MINUTE DURATION. ADDITIONAL EMERGENCY LIGHTING UNITS SHALL BE PROVIDED IN ALL REQUIRED LOCATIONS AND SHALL BE FIELD VERIFIED.

EMERGENCY LIGHTING UNITS SHALL PROVIDE NOT BE LESS THAN 1 FOOT CANDLE (1 LUX) OF ILLUMINATION AT FLOOR LEVEL.

BATTERY BACK UP EXIT SIGNS (90 MIN. MINIMUM) OR DIRECTIONAL SIGNS SHALL BE INSTALLED TO BE READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL THROUGHOUT THE AREA BEING REMODELED. ADDITIONAL EMERGENCY LIGHTING UNITS SHALL BE PROVIDED AND SHALL BE FIELD VERIFIED.

EMERGENCY EXIT SIGNAGE AND EGRESS LIGHTING PROVIDED SHALL COMPLY WITH THE FOLLOWING CODE REQUIREMENTS:
ALL EMERGENCY LIGHTING UNITS ARE REQUIRED TO BE DUAL LAMP UNITS.

ALL EMERGENCY LIGHTING UNITS ARE TO BE PROVIDED WITH 90 MINUTE BATTERY BACKUP, IF NOT ON A GENERATOR SUPPLIED POWER CIRCUIT.

ALL EMERGENCY LIGHTING UNITS SHALL BE ON THE SAME CIRCUIT AS THE NORMAL ROOM LIGHTING AND BE AHEAD OF ANY SWITCHES.

ALL EXIT OR DIRECTIONAL SIGNS ARE TO BE PROVIDED WITH 90 MINUTE BATTERY BACKUP IF NOT ON A GENERATOR SUPPLIED POWER CIRCUIT.

ALL EXIT SIGN, DIRECTIONAL SIGN, OR EMERGENCY LIGHTING UNIT CIRCUITS ARE TO BE IDENTIFIED AND PROVIDED WITH A LOCKOUT.

THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL TEST EQUIPMENT TO VERIFY THAT THE PROPOSED EMERGENCY LIGHTING PLAN MEETS THE PERFORMANCE SPECIFICATIONS OF SECTION 1006.3.1 OF THE IBC.

ELECTRICAL PERMIT CONDITIONS NOTES:

OWNER SHALL MAKE ARRANGEMENTS FOR INSTALLATION OF TELEPHONES, INTERCOMMUNICATIONS AND MUSIC SYSTEMS BEFORE WALLS ARE CLOSED IN.

ALL LIGHT SWITCHES, THERMOSTATS, & OTHER OPERATING CONTROLS SHALL BE MOUNTED NO HIGHER THAN 54" FOR SIDE REACH & 48" HIGH FOR FORWARD REACH.

ALL OUTLETS SHALL BE 15" MINIMUM ABOVE FINISHED FLOOR.

BONDING TO OCCUR AT THE MAIN SWITCH

ALL EXIT & EMERGENCY LIGHTING SHALL BE IN INDEPENDENT RACEWAY & WIRED TO LOCKED CIRCUIT BREAKERS GROUNDING OF METAL BUILDING TO BE THRU WATER MAIN

EXIT LIGHTS WIRE PER ARTICLE 100 NFPA #10 SYSTEM SHALL PICK UP LOAD WITHIN 10 SECONDS AFTER FAILURE OF NORMAL POWER SUPPLY

VERIFY ALL FIXTURE TYPES AND MANUFACTURERS EMERGENCY LIGHTS TO PROVIDE 1 FOOTCANDLE MINIMUM.

PROVIDE EXIT LIGHT ALONG THE PATH OF EGRESS.

MAINTAIN CLEARANCE IN FRONT OF ALL ELEC. PANELS PER 2015 INTERNATIONAL BUILDING CODE

ALL ELECTRICAL DEVICES, CONDUCTORS AND EQUIPMENT SHALL BE LISTED BY A RECOGNIZED AND APPROVED TESTING LABORATORY.

ACCESSIBLE TEMPORARY AND/OR ABANDONED WIRING CONDUCTORS, CONDUIT SYSTEMS, RACEWAYS, JUNCTION BOXES, ELECTRICAL MATERIALS AND ELECTRICAL EQUIPMENT SHALL BE COMPLETELY REMOVED.

IN NO CASE SHALL THERE BE MORE THAN 10 110-VOLT RECEPTACLES AND/OR LIGHT FIXTURES CONNECTED TO ANY BRANCH CIRCUIT.

ALL FURNACES AND AIR CONDITIONERS SHALL EACH BE SUPPLIED BY A SEPARATE CIRCUIT.

ALL REQUIRED SMOKE DETECTORS SHALL BE 110-VOLT WITH BATTERY-BACKUP, INTERCONNECTED AND SUPPLIED BY A GENERAL LIGHTING CIRCUIT. WHEN SMOKE DETECTORS ARE INSTALLED ADJACENT TO UNCONDITIONED SPACES, CONDUIT SHALL HAVE A SIDE ENTRY TO THE JUNCTION BOX.

OUTLETS SHALL NOT BE COMBINED WITH LIGHTING CIRCUITS.

ALL SWITCHES AND OUTLETS SHALL BE CONNECTED TO THE BRANCH CIRCUIT BY USE OF SCREW TERMINALS. NO MORE THAN 1 CONDUCTOR SHALL BE CONNECTED TO AN ELECTRICAL DEVICE SCREW TERMINAL. CONDUCTORS CONNECTED TO SCREWLESS TERMINALS SHALL NOT BE PERMITTED.

FULL SIZE SINGLE-POLE, 2-POLE AND 3-POLE CIRCUIT BREAKERS SHALL BE ALLOWED ONLY 1 CONDUCTOR PER SCREW TERMINAL. MINI-CIRCUIT BREAKERS AND DOUBLE/SINGLE-POLE COMBINATION CIRCUIT BREAKERS SHALL NOT BE INSTALLED IN ANY MAIN SERVICE PANEL, SUB-PANEL OR DISCONNECT ENCLOSURE OF ANY SIZE OR TYPE.

ALL CONDUCTOR MATERIAL SHALL BE COPPER.

IN NO CASE SHALL COMMERCIAL WIRING BE LESS THAN #2 COPPER WIRE AWG.

EMERGENCY LIGHTING SHALL BE PROVIDED IN COMMERCIAL BATHROOMS.

THE EMERGENCY POWER SYSTEM SHALL PROVIDE POWER FOR A DURATION OF NOT LESS THAN 90 MINUTES AND SHALL CONSIST OF STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR. THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE WITH SECTION 7102. THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS THAN 1 FOOT-CANDLE AT THE FLOOR.

THE POWER SOURCE FOR ALL EMERGENCY MEANS OF EGRESS LIGHTING SHALL BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM IN ACCORDANCE WITH NFPA 70.

ALL CONTROLLED RECEPTACLES SHALL BE PERMANENTLY MARKED IN ACCORDANCE WITH NEC 406.3(E) AND BE UNIFORMLY DISTRIBUTED THROUGH THE SPACE.

EITHER SPLIT CONTROLLED RECEPTACLES SHALL BE PROVIDED WITH ONE (1) RECEPTACLE CONTROLLED OR A FULLY CONTROLLED RECEPTACLE SHALL BE LOCATED WITHIN 12" OF EACH FULLY UNCONTROLLED RECEPTACLE. THE OCCUPANT SHALL BE ABLE TO MANUALLY OVERRIDE AN AREA FOR NOT MORE THAN 2 HOURS.

OCCUPANCY SENSORS SHALL BE INSTALLED IN ALL ROOMS 300 SQUARE FEET OR LESS.

ELECTRICAL POWER & FIRE ALARM KEY:

- CIRCUIT BREAKER. ALL ELECTRICAL LINES TO BE CONCEALED
- EMERGENCY PULL STATION
- DUAL HEAD EMERGENCY LIGHTS. VERIFY LAYOUT, BATTERY BACKUP. PROVIDE 1 FOOTCANDLE MINIMUM OF EMERGENCY LIGHTING AND CAPABLE OF HANDLING 1 1/2 HOURS MINIMUM.
- DUPLEX WALL RECEPTACLE
- GFI DUPLEX WALL RECEPTACLE
- WATERPROOF GFI DUPLEX WALL RECEPTACLE
- EMERGENCY HORN/STROBE LIGHT
- FIRE ALARM STROBE LIGHT
- EMERGENCY EXIT SIGNAGE W/ BATTERY BACKUP, DIRECTIONAL WHERE REQ'D. 'SURE-LITES' OR EQUAL. ALL LETTERS SHALL BE 5/8" (6) INCHES HIGH AND THE MINIMUM WIDTH OF EACH STROKE SHALL BE 3/4". THE WORD EXIT SHALL BE HIGH CONTRAST WITH THE BACKGROUND.
- DUAL HEAD COMBO EXIT-EMERGENCY LIGHTS. VERIFY LAYOUT, BATTERY BACKUP. PROVIDE 1 FOOTCANDLE MINIMUM OF EMERGENCY LIGHTING AND CAPABLE OF HANDLING 1 1/2 HOURS MINIMUM.
- OUTDOOR SINGLE HEAD EMERGENCY LIGHT. VERIFY LAYOUT, BATTERY BACKUP. PROVIDE 1 FOOTCANDLE MINIMUM OF EMERGENCY LIGHTING AND CAPABLE OF HANDLING 1 1/2 HOURS MINIMUM.
- SMOKE DETECTOR & CARBON MONOXIDE DETECTORS SHALL BE INTERCONNECTED 110V WITH BATTERY BACK-UPS.
- LED NIGHT PENDANT LIGHT SW SWITCHED TO BE ON WHEN OVERHEAD LIGHTS ARE OFF, WALL MOUNTED COMPACT LED'S ACCEPTABLE
- WALL MTD. LED FIXTURE
- LED RECESSED LITE'S
- THERMOSTAT
- TYPICAL SWITCH
- BROAN #300 OR EQUAL EXHAUST FAN, CFM NOTED
- 1/4" STATIC PRESSURE 1550 RPM FAN SPEED 90W. MOTOR WITH AUTOMATIC DAMPER. VENT TO EXT.
- CEILING FAN WITH BOX TO BE RATED FOR 50 LBS.

THE PROPOSED LIGHTING SHALL BE IN COMPLIANCE WITH THE 2021 ENERGY CONSERVATION CODE.

EMERGENCY LIGHTS AND EXIT UNIT EQUIPMENT REQUIRED TO BE CONNECTED TO THE SAME BRANCH CIRCUIT AS GENERAL LIGHTING IN THE AREA. PER NEC, SECTION 100-12(E)

EACH AREA THAT IS REQUIRED TO HAVE MANUAL CONTROL OF THE LIGHTING SHALL ALSO ALLOW THE OCCUPANT TO REDUCE THE CONNECTED LIGHTING LOAD IN A REASONABLY UNIFORM ILLUMINATION PATTERN BY AT LEAST 50%. LIGHTING REDUCTION SHALL BE ACHIEVED BY CODE APPROVED METHODS AND MEET IECC, SECTION 805.2.2) REQUIREMENTS.

THE PROPOSED LIGHTS IN THE SUSPENDED CEILING SHALL BE INDEPENDENTLY SUPPORTED. AN APPROVED SUPPORT SYSTEM SHALL BE PROVIDED ON OPPOSING CORNERS OF THE LIGHT FIXTURE. THE FRAMING MEMBERS OF THE SUSPENDED CEILING SHALL NOT BE THE SOLE MEANS OF SUPPORT FOR THE FIXTURE.

OCCUPANCY SENSORS ARE REQUIRED IN ALL ROOMS 300 SQUARE FEET OR LESS. THESE OCCUPANCY SENSORS SHALL BE MANUAL ON OR SHALL BE CONTROLLED TO AUTOMATICALLY TURN THE LIGHTING ON TO NOT MORE THAN 50 PERCENT POWER FULL AUTOMATIC ON IS PERMITTED IN RESTROOMS, RETAIL AREAS, AND CORRIDORS.

IN ROOMS THAT ARE NOT PROVIDED WITH AN OCCUPANCY SENSOR (GREATER THAN 300 SQ. FT.) INDICATE AN AUTOMATIC TIME SWITCH CONTROL DEVICE IN COMPLIANCE WITH SECTION C403.2.1

THE PROPOSED LIGHTING SHALL BE IN COMPLIANCE WITH THE ADOPTED ENERGY CONSERVATION CODE.

EMERGENCY LIGHTS AND EXIT UNIT EQUIPMENT REQUIRED TO BE CONNECTED TO THE SAME BRANCH CIRCUIT AS GENERAL LIGHTING IN THE AREA. PER NEC, SECTION 100-12(E)

ALL EMERGENCY AND EXIT LIGHTS WILL BE FIELD VERIFIED.

THE EQUIPMENT AND/OR PROCEDURES REFERRED TO IN THE FOLLOWING ARTICLES OF THE NATIONAL ELECTRICAL CODE, 2011 EDITION, ARE HEREBY PROHIBITED AND SHALL NOT BE INSTALLED IN THE CITY:

- ARTICLE 320 OPEN WIRING ON INSULATORS.
 - ARTICLE 336 NON-METALLIC SHEATHED CABLE.
 - ARTICLE 338 SERVICE ENTRANCE CABLE.
 - ARTICLE 339 UNDERGROUND FEEDER AND BRANCH CIRCUIT CABLE.
 - ARTICLE 342 NON-METALLIC EXTENSIONS.
 - ARTICLE 352-2) SURFACE NON-METALLIC RACEWAYS.
 - ARTICLE 604 MANUFACTURED WIRING SYSTEMS, AND
- AND ALL SUSPENDED EQUIPMENT, SUCH AS DUCTWORK, LIGHTING GRID, SOFFITS, ECT. SHALL BE SUPPORTED FROM THE BUILDING STRUCTURE DESIGNED TO SUPPORT ADDITIONAL LOADS, (JOIST, BEAMS, ECT.) SUPPORT FROM THE ROOF DECK IS NOT ALLOWED UNLESS IT IS SPECIFICALLY NOTED.

LIGHT FIXTURES LOCATED IN THE ZONE ABOVE/AROUND A SHOWER STALL SHALL BE LISTED FOR DAMP LOCATIONS, OR LISTED FOR WET LOCATIONS WHERE SUBJECT TO SHOWER SPRAY.

THE NUMBER AND LOCATION OF EXIT SIGNS AND EMERGENCY LIGHTS MAY BE REQUIRED TO BE ADDED TO OR CHANGED BASED ON SITE CONDITIONS.

OBTAIN SEPARATE PERMIT FOR ALL WALL SIGNS. ALL SIGNS SHALL COMPLY WITH THE CITY OF LAKE GENEVA SIGN ORDINANCE REQUIREMENTS. INCLUDE SIGN PERMIT APPLICATION, SIGN PLAN, ELEVATIONS, AND DETAILS AND ALL DESIGNS, COLOR, AND ILLUMINATION DETAILS WITH SUBMITTAL. INDICATE THE EXACT LOCATION OF THE SIGN AND ALL EASEMENTS ON THE SITE PLAN.

ELECTRIC SERVICE PANEL: MAINTAIN 30" WIDTH AND 36" DEPTH CLEARANCES IN FRONT OF PANEL.

AUTOMATIC RECEPTACLE CONTROLS ARE NOT REQUIRED FOR THE FOLLOWING:
a. SPECIFICALLY DESIGNATED RECEPTACLES FOR EQUIPMENT REQUIRING CONTINUOUS OPERATION (24 HOURS PER DAY, 365 DAYS PER YEAR)

b. SPACES WHERE AN AUTOMATIC CONTROL WOULD ENDANGER THE SAFETY OR SECURITY OF ROOM OR BUILDING OCCUPANTS.
EACH AREA THAT IS REQUIRED TO HAVE MANUAL CONTROL OF THE LIGHTING SHALL ALSO ALLOW THE OCCUPANT TO REDUCE THE CONNECTED LIGHTING LOAD IN A REASONABLY UNIFORM ILLUMINATION PATTERN BY AT LEAST 50% OF ALL 15 & 20 AMP LIGHTING REDUCTION SHALL BE ACHIEVED BY CODE APPROVED METHODS AND MEET IECC, SECTION 805.2.2) REQUIREMENTS.

GENERAL ELECTRICAL & LIGHTING NOTES

NOTE: E.C. TO VERIFY ALL FIXTURES

SEE ELECTRICAL AND MECHANICAL SHEETS FOR FIXTURE DESCRIPTIONS.

PROVIDE LIGHTING IN ALL CLOSETS PER SECTION 410.8 OF ORD. 2003-16.

LUMINAIRES MUST BE MOUNTED PER ARTICLE 300.

FOLLOW IECC FOR SWITCH OF LIGHTING - BI-LEVEL SWITCHING (2018).

PROVIDE A NEUTRAL WIRE AT EACH SWITCH BOX LOCATIONS.

ALL RECEPTACLES REQUIRE A PIGTAIL GROUNDING WIRE TO THE BOX.

PROVIDE ARC FLASH WARNING FOR QUALIFIED PERSONS AS STATED IN NEC 101.6. THIS WARNING LABEL SHALL IDENTIFY THE DEGREE OF LEVEL OF POTENTIAL FLASH HAZARD THAT IS PRESENT IN THE INSTALLATION SO THAT THE APPROPRIATE FLASH PROTECTION CLOTHING (PPE) WILL BE WORN.

ALL LIGHT SWITCHES, THERMOSTATS, & OTHER OPERATING CONTROLS SHALL BE MOUNTED NO HIGHER THAN 54" FOR SIDE REACH & 48" HIGH FOR FORWARD REACH.

BONDING TO OCCUR AT THE MAIN SWITCH

ALL EXIT & EMERGENCY LIGHTING ARE EXISTING

MAINTAIN CLEARANCE IN FRONT OF ALL ELEC. PANELS PER 2015 IBC.

ALL ELECTRICAL DEVICES, CONDUCTORS AND EQUIPMENT SHALL BE LISTED BY A RECOGNIZED AND APPROVED TESTING LABORATORY.

CIRCUIT BREAKER PANEL FOR THE SUITE IS LOCATED IN THE RETAIL SPACE AND CONFIDENTLY ACCESSIBLE. ALL ELECTRICAL LINES TO BE CONCEALED. LED CEILING FIXTURES IN SUITE TO MEET EDISON REQUIREMENT LIGHTING RATIOS.

ALL CONDUCTOR MATERIAL SHALL BE COPPER

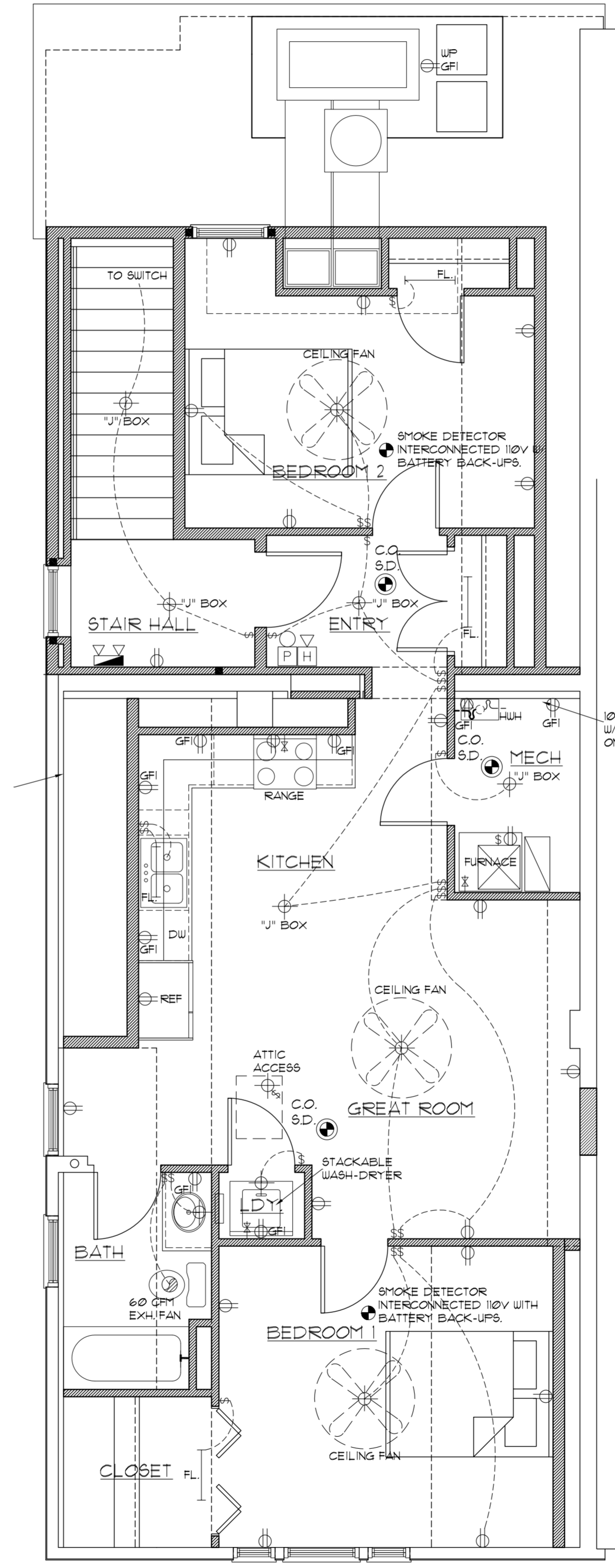
IN NO CASE SHALL COMMERCIAL WIRING BE LESS THAN #2 COPPER WIRE AWG PER SECTION 210.3(B)(1) OF ORD. 2003-16.

RECEPTACLES MUST BE INSTALLED AT BRANCH CIRCUIT RATING PER ORD. 2003-16 SECTION 210.21.

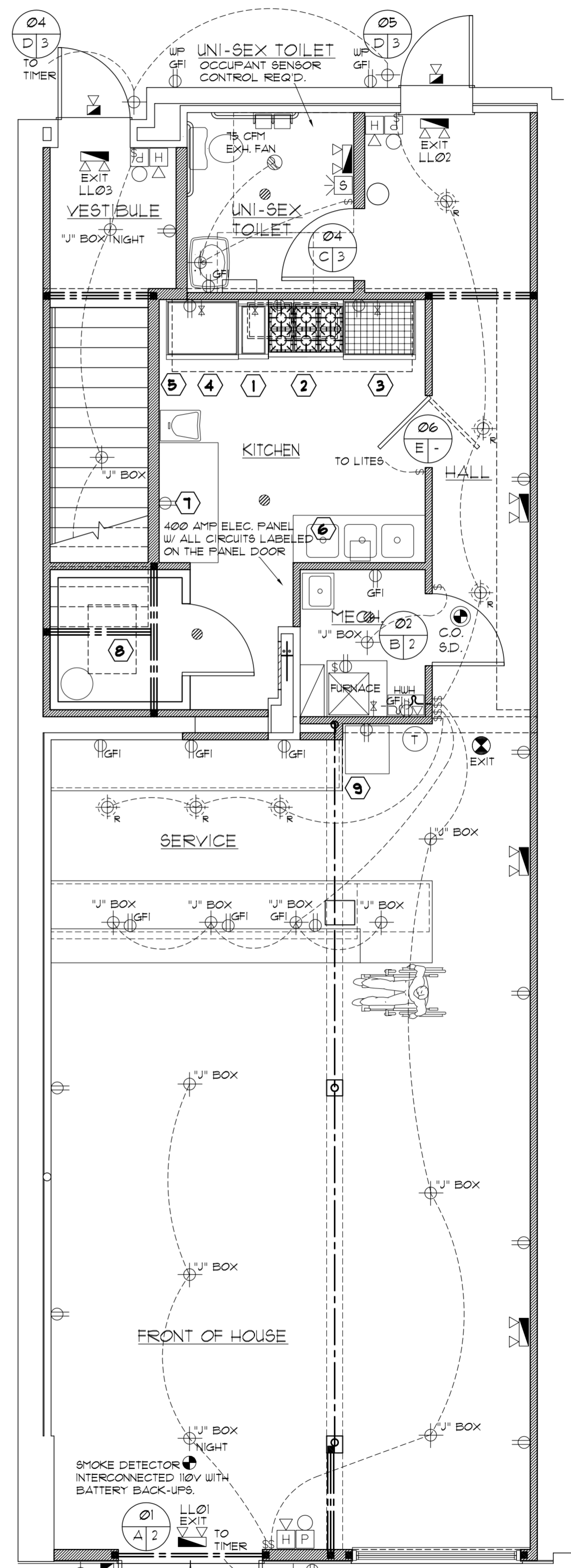
INSTALL BOLT-ON TYPE BREAKER PANELS WITH MAIN BREAKERS PER ORD. 2003-16 SECTION 408.

THE ELECTRICIAN CONTRACTOR SHALL VERIFY ALL POWER REQUIREMENTS AND RECEPTACLE MOUNTING HEIGHTS WITH THE MANUFACTURE OF ALL THE EQUIPMENT.

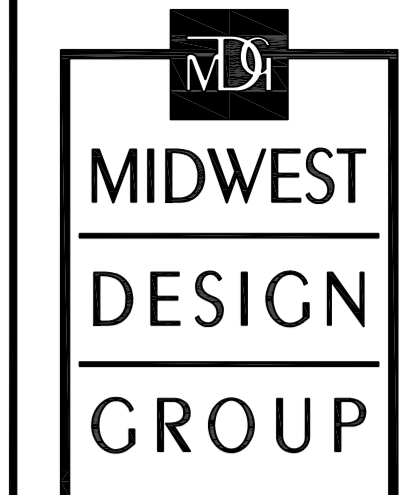
ELECTRICAL INSPECTOR TO FIELD VERIFY THAT THE NEW WATER HEATER IS JUMPERED BETWEEN THE COLD AND HOT WATER PIPES WITH A JUMPER SIZED ACCORDING TO TABLE 250.66 PER NEC 250.10(A)(1), AND THAT ANY METAL GAS PIPING IS BONDED.



SECOND FLOOR APARTMENT ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

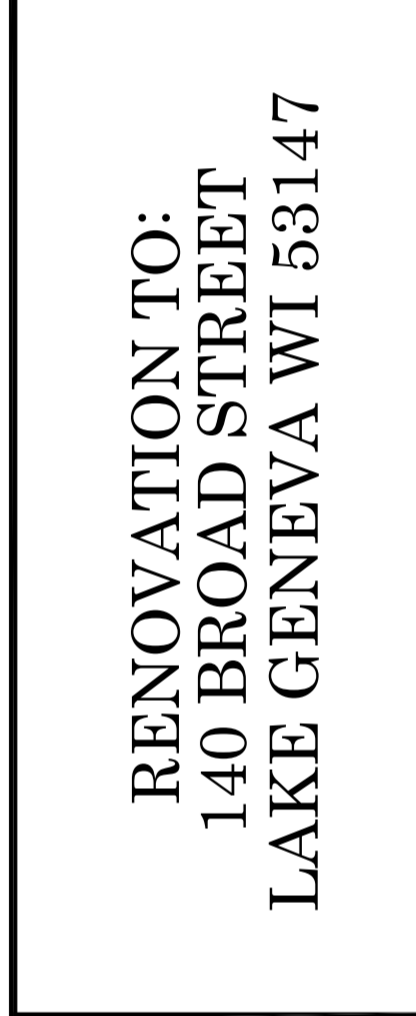


FIRST FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



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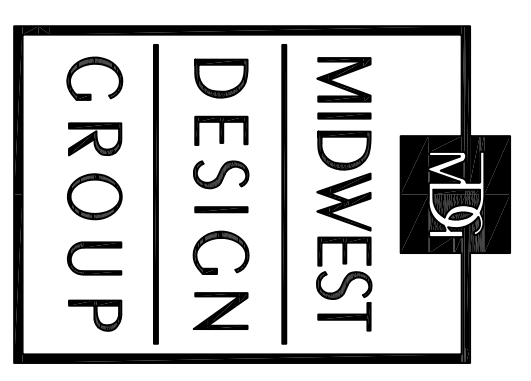


DATE	REVISION	DESCRIPTION OF REVISION
11-22-24	1	PRELIMINARY PLAN FOR REVIEW
12-23-24	2	PHASE 1 PLANS FOR BIDDING ONLY
4-22-25	3	PHASE 2 FINAL PLANS FOR PERMIT

DATE	REVISION	DESCRIPTION OF REVISION

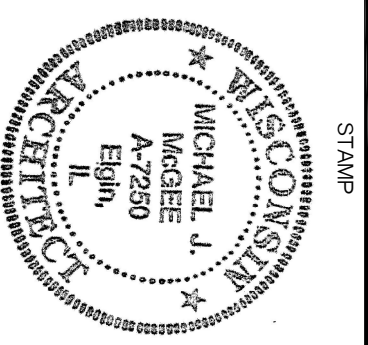
X-140 BROAD STREET.dwg

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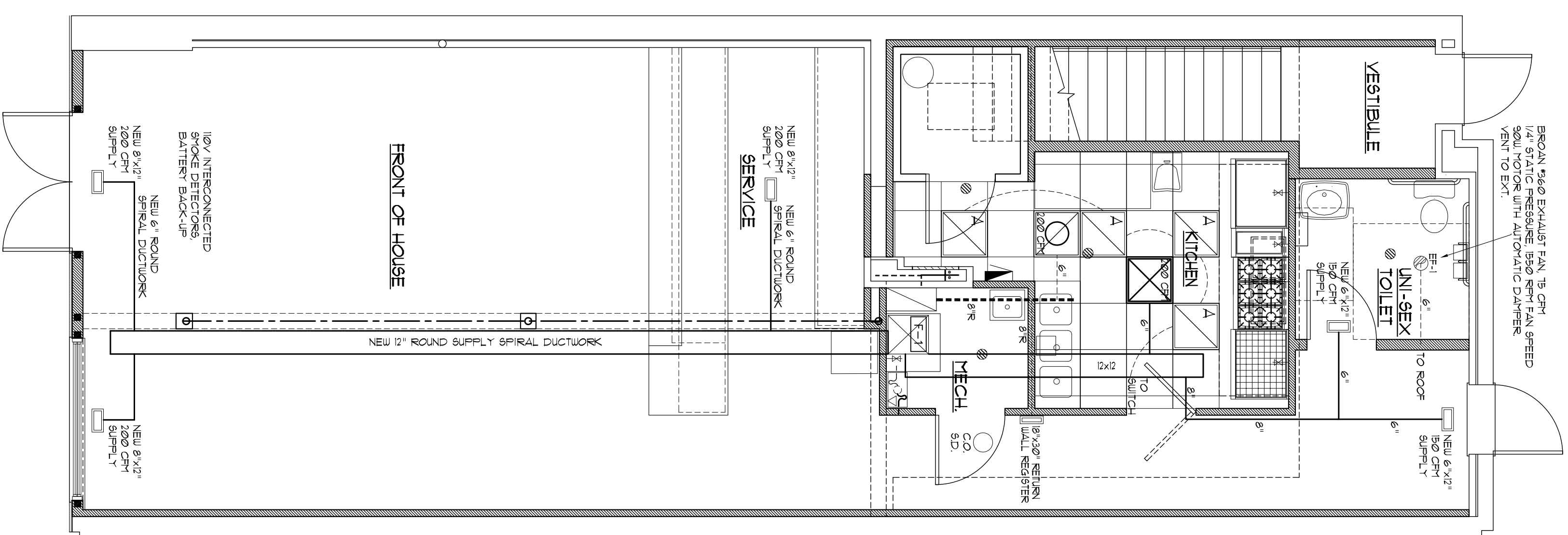
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X-140 BROAD STREET, 2049



HVAC NOTES:
ALL VENTILATION GAS PIPING SHALL BE SCHEDULE 40 B1. ALL GAS PIPING 2" N. AND SMALLER SHALL BE TRACED PIPE AND ALL GAS PIPING 2 1/2" N. AND LARGER SHALL BE ELDED.
THE INTERIOR DESIGN TEMPERATURES USED FOR LOAD CALCULATIONS SHALL BE 65°F FOR HEATING AND 75°F FOR COOLING. THE INTERIOR DESIGN TEMPERATURES USED FOR LOAD CALCULATIONS SHALL BE 65°F FOR HEATING AND 75°F FOR COOLING.
THE HEATING AND COOLING SYSTEMS SHALL COMPLY WITH THE 2024 IECC AND THE 2024 IECC SHALL BE VERIFIED BASED ON APPROVED HEATING AND COOLING CALCULATIONS PER 9.4.1 AND 9.4.2 ACCORDANCE WITH ACCA MANUAL, 9th EDITION.
ALL NEW FLEXIBLE DUCTS SHALL BE SUPPORTED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
ALL EXISTING EXHAUST FANS SHALL BE VENTED DIRECTLY TO THE EXTERIOR AND THE EXHAUST DUCT INSULATED WITH A MINIMUM OF R-6.
NEW EXHAUST IS ACCESSIBLE BY FRONT APPROACH ONLY. WHEN THE HOANG HEIGHT OF THE EXHAUST AT SHALL BE 4'-0" AFF. WHEN THE EXHAUST IS ACCESSIBLE FROM A SIDE APPROACH, THE HOANG HEIGHT OF THE EXHAUST SHALL BE 4'-6" AFF.
MECHANICAL CONTRACTOR SHALL FIELD VENT LOCATION OF GAS VENTER.
THE AIR EXHAUSTER SHALL BE INSTALLED BEHIND ELECTRICAL OR MECHANICAL PANELS AND SHALL BE INSTALLED ON THE EXTERIOR WALL OF THE BUILDING.
TEST AND AIR DUCT TEST REPORT PRIOR TO OR AT FINAL INSPECTION.
FOR ALL SYSTEMS USE FOR COMPRESSION AT RADIATOR.
MECHANICAL LOCATIONS TO BE DETERMINED BY MECHANICAL CONTRACTOR AND VENT FROM LOCATIONS SHOWN ON PLAN.
ALL DUCTWORK LOCATED IN UNCONDITIONED ATTICS MUST BE PROVIDED WITH MINIMUM R-6 INSULATION. ALL OTHER R-6 INSULATION LOCATIONS SHALL HAVE A MINIMUM R-6 INSULATION.
- BUILDING FRAMING CANNOT BE USED AS AIR SUPPLY DUCTS
DUCT SIZING IS BASED ON 0.08 SF N MAIN DUCTS AND 0.04 SF N ALL BRANCH DUCTS

DUCTWORK NOTE:
NEW FLEXIBLE DUCTS TO GA UP TO 7" ROUND AND 24" SQUARE SHALL BE 10' LONG. ALL CONNECTIONS TO BE SEALED WITH AN APPROVED SEALANT AND COVERED OVER THE TOP WITH THE EXISTING STEEL BAR JOIST WITH DUCT TYPE CABLES WITH CABLE LOCKS.
DUCT SIZING IS BASED ON 0.08 SF N MAIN DUCTS AND 0.04 SF N ALL BRANCH DUCTS

RETURN LEGEND
 NEW 8"x12" SUPPLY REGISTER
 NEW 6"x12" SUPPLY REGISTER
 NEW 24"x24" DIFFUSERS
 NEW SUPPLY DUCTWORK
 RETURN LEGEND
 ----- MAIN TRUNK LINE
 - - - - - ROUND DUCTWORK
 24"x24" RETURN VENT PERFORATED
 NEW 18"x30" RETURN WALL REGISTER

CEILING HEIGHT NOTE:
8'-1" HIGH CEILING TYPICAL FOR ALL 24"x24" REFLECTED CLING PLAN NOTES:
THE CONTRACTOR IS RESPONSIBLE FOR INCLUDING IN HIS BID THE COST OF THE FLEXIBLE DUCTWORK AND THE ADDITION OF THE ADDITIONAL SUPPLY AND RETURN DUCTWORK TO THE ADDITION AND OR RELOCATION OF THE FIRE HOANG STROBE LITES AND SMOKE DETECTORS.

SUSPENDED ITEMS NOTE:
ALL ITEMS WHICH ARE TO BE SUSPENDED (E.G. SUSP. CEILING, ELECTRICAL, MECHANICAL, AND PUMPING EQUIPMENT, ETC.) SHALL BE SUSPENDED FROM THE TOP CHORD OF THE BAR JOISTS UNLESS SPECIFICALLY STATED OTHERWISE BY THE CONTRACTOR'S STRUCTURAL ENGINEER.

CO & SMOKE DETECTOR NOTE:
THE CARBON MONOXIDE ALARM MAY BE COMBINED WITH SMOKE DETECTING DEVICES PROVIDED THAT THE COMBINED UNIT COMPLIES WITH THE RESPECTIVE PROVISIONS OF THE ADMINISTRATIVE CODE, REFERENCE STANDARDS, AND DEPARTMENTAL RULES RELATING TO BOTH SMOKE DETECTING DEVICES AND CARBON MONOXIDE ALARMS AND PROVIDED THAT THE COMBINED DEVICES MEET ALL REQUIREMENTS OF THE CITY OF LAKE GENEVA. THE ALARM DETECTOR SHALL BE EITHER BATTERY POWERED, PLUG-IN WITH BATTERY BACK-UP, OR WIRED INTO THE STRUCTURE'S AC POWER LINE WITH SECONDARY BATTERY BACK-UP.

CARBON MONOXIDE & SMOKE DETECTOR:
ALL SMOKE DETECTORS & CARBON MONOXIDE DETECTORS SHALL BE INTERCONNECTED 10V WITH BATTERY BACK-UPS.

LIGHTING FIXTURES:
EACH AREA THAT IS REQUIRED TO HAVE MANUAL CONTROL OF THE LIGHTING SHALL ALSO ALLOW THE OCCUPANT TO REDUCE THE UNCONNECTED LIGHTING LOAD IN A REASONABLE MANNER. REDUCTION SHALL BE ACHIEVED BY CODE APPROVED METHODS AND MEET IECC SECTION 609.5.2.1 REQUIREMENTS METHOD FOR LIGHTING REDUCTION AS SHOWN ON REFLECTIVE CLING PLAN.

NOTE: E.C. TO VERIFY ALL FIXTURES WITH OWNER AT 2247 L.A.N-3 LAMP 31 W FLOORCENT FIXTURE W/ 8 CELL DIFFUSER THE ALLOW OR EQUAL, E.C. TO VERIFY TOTAL 36W

PROPOSED COMMERCIAL HVAC SYSTEM PLAN WITH REFLECTIVE CEILING PLAN

SCALE: 1/4" = 1'-0"

PLUMBING SPECIFICATIONS:

THIS CONTRACTOR SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH THE PLANS AND SHALL VERIFY EXISTING SITE CONDITIONS AT THE JOB SITE BEFORE SUBMITTING BID. FAILURE TO RECOGNIZE WORK REQUIRED SHALL BE AT THE EXPENSE OF THIS CONTRACTOR. NO CONSIDERATION SHALL BE GIVEN FOR ADDITIONAL COMPENSATION AFTER THE LETTING OF BIDS.

PLUMBING CONTRACTOR SHALL COORDINATE THE ACTUAL LOCATION OF THE SEWER AND WATER CONNECTIONS WITH THE LOCAL MUNICIPAL PUBLIC WORKS DEPARTMENT AND SHALL INSTALL AND MAKE SEWER AND WATER CONNECTIONS IN ACCORDANCE WITH THEIR REQUIREMENTS.

ENTIRE INSTALLATION SHALL BE PERFORMED IN A FIRST-CLASS WORKMANLIKE MANNER. THE COMPLETED SYSTEMS SHALL BE FULLY OPERATIONAL. ACCEPTANCE BY THE OWNER SHALL BE A CONDITION OF THE CONTRACT. ALL WORK SHALL BE COMPLETED WITH OTHER TRADES IN ORDER TO AVOID INTERFERENCES. PRESERVE EXISTING HEAVYWORK, AND AVOID OBSTRUCTIONS.

CONTRACTOR TO MAKE ALL NECESSARY TAPS AS CALLED FOR ON THE DRAWINGS.

CONTRACTOR SHALL REMOVE ALL DEBRIS ON A REGULAR BASIS AND UPON COMPLETION OF THE JOB AND CLEAN ALL FIXTURES.

COVER ALL HOT AND COLD LINES ROOF DRAINS AND HORIZONTAL DOWNSPOUT PIPING PIPE COVERING TO BE SHALL BE 3 1/2 LB. DENSITY FIBERGLASS WITH MOLDED FITTINGS AND BUTT JOINTS AND VAPOR BARRIER.

IT SHALL BE THE RESPONSIBILITY OF THIS CONTRACTOR TO START UP, ADJUST AND CHECK FOR PROPER OPERATION ALL EQUIPMENT INSTALLED UNDER HIS CONTRACT.

CONTRACTOR SHALL ALLOW IN THEIR INITIAL BID THE COST OF SERVICE ON ALL EQUIPMENT INSTALLED UNDER HIS CONTRACT FOR A PERIOD OF ONE (1) YEAR FROM DATE OF FINAL ACCEPTANCE OF THE WORK.

ONLY MAIN SHUT-OFF VALVES ARE SHOWN. PLUMBING CONTRACTOR SHALL PROVIDE ALL OTHER SHUT-OFF VALVES IN ACCORDANCE WITH ALL LOCAL CODES.

ALL LINES SHALL BE VENTED. ALL WASTE VENTS SHALL BE 2" MINIMUM WITH A 2"x4" MINIMUM RISER/LEADER THROUGH THE ROOF. WASTE VENT SHALL BE LOCATED AT MINIMUM OF 30" FROM A NEAREST EXTERIOR WALL. ROOF VENT SHALL BE 4" MINIMUM WITH A 4"x9" MINIMUM RISER/LEADER THROUGH THE ROOF.

ALL PLUMBING PIPES AND FIXTURES SHALL BE ADEQUATELY PROTECTED FROM FREEZING.

ALL WATER PIPING SHALL BE TESTED WITH WATER UNDER PRESSURE OF 100 PSI FOR 10 MINUTES, AND MADE TIGHT AT THIS PRESSURE.

ALL INSULATION DOMESTIC WATER LINES SHALL BE ABOVE FLOOR AND SHALL BE RUN JUST BELOW INSULATION LEVEL.

WATER HEATERS W/ VERTICAL PIPE RISERS SHALL HAVE A HEAT TRAP ON BOTH THE INLET AND OUTLET OF THE UNIT. RISERS THE UNITS AS NEAR AS PRACTICABLE HEAT TRAP OR IS PART OF A CIRCULATING SYSTEM.

SERVICE WATER HEATING APPLIANCES SHALL MEET THE MIN. STANDARDS AS SET FORTH IN TABLE N1041 OF THE 2018 IBC. PROVIDE ADDITIONAL DOCUMENTATION APPLIANCES NOT MEETING THE MIN. REQ'S. WILL NOT PASS THE REQUIRED FINAL INSPECTION FOR THE STRUCTURE.

ALL LAV, FIXTURES FOR PUBLIC USE SHALL BE PROVIDED WITH AN AUTO SAFETY WATER MIXING DEVICE TO PREVENT SHEDDING/UNANTICIPATED CHANGES IN WATER TEMP. OR EXCESSIVE WATER TEMPS. THE SAFETY WATER MIXING DEVICE SHALL COMPLY WITH ANSI/ASSE 106-1996 OR 071-1999 IN ACCORDANCE WITH SEC. 909.210. ANY SHALL BE ADJUSTED TO A MAX. SETTING OF 100 DEGREES F AT THE TIME OF INSTALL.

SEE ARCHITECTURAL DRAWINGS FOR FIXTURE MOUNTING HEIGHTS AND DIMENSIONS.

UNDERGROUND WASTE AND VENTS SHALL BE SCHEDULE 40 PFC PLASTIC PIPE AND FITTINGS.

ALL 60" L. WASTE AND VENT PIPING SHALL BE SUBJECTED TO A HYDROSTATIC TEST OF NOT LESS THAN 10 FEET OF WATER COLUMN FOR 15 MINUTES BEFORE INSPECTION STARTS AND FROZEN TIGHT. BEFORE TURNING PIPING SYSTEM OVER TO THE OWNER, CHLORINATE ALL DOMESTIC WATER PIPING FOR A PERIOD OF 24 HOURS. AFTER CHLORINATION HAS BEEN COMPLETED, FLUSH ALL PIPING UNTIL WATER RINS CLEAR AND IS RESIDUAL CHLORINE FREE.

ABOVE GROUND WASTE AND VENTS SHALL BE SCHEDULE 40 PFC PLASTIC PIPE AND FITTINGS.

ALL UNDERGROUND WATER PIPING SHALL BE TYPE K COPPER.

ALL ABOVE GROUND WATER PIPING SHALL BE FLAGGIC APPROVED BY THE UNIFORM WLS BLDG. CODE.

PLUMBING CONTRACTOR SHALL PROVIDE ALL PROPER ADAPTERS FOR TRANSITION BETWEEN UNDERGROUND AND ABOVE GROUND WASTE AND VENT PIPING SYSTEMS.

ALL FLOOR DRAINS SHALL BE VENTED.

PLUMBING CONTRACTOR SHALL PROVIDE A VACUUM RELIEF VALVE WHERE A WATER HEATER OR HOT WATER STORAGE TANK IS LOCATED HIGHER THAN THE FIXTURE OUTLETS.

PLUMBING CONTRACTOR SHALL PROVIDE A PROPERLY SIZED THERMAL EXPANSION TANK FOR ALL CLOSED WATER SYSTEMS.

ALL BACKFLOW DEVICES SHALL BE TESTED AND CERTIFIED PRIOR TO FINAL INSPECTION AND/OR OCCUPANCY.

ALL BACKFLOW TESTING OR ANY REQUIRED REPAIRS ON BACKFLOW EQUIPMENT SHALL BE CONDUCTED BY A STATE OF WISCONSIN, CERTIFIED GOOD INSPECTOR.

PLUMBING CONTRACTOR SHALL BE REQUIRED TO HAVE A COPY OF THEIR STATE OF WISCONSIN PLUMBING LICENSE ON SITE.

PLUMBING CONTRACTOR SHALL PROVIDE A FULL SIZE CLEAN-OUT LOCATED WITHIN FIVE (5) FEET OF THE BUILDING FOUNDATION OR OUTSIDE IN DIRECT LINE WITH THE BUILDING DRAIN AND SEWER HOT WATER AT ALL BATHROOM FIXTURES TO BE 1/2" DIA. MAX. ALL OTHER FIXTURES 1/2" DIA. MIN.

ALL BACKFLOW DEVICES TO BE CERTIFIED AND A COPY GIVEN TO INSPECTOR AT FINAL INSPECTION. PROVIDE ACCESSIBLE WATER SHUT-OFF VALVE WITHOUT THE USE OF A LADDER.

COMPLY WITH THE 2018 INT. ENERGY CONSERVATION CODE SECTION 504 SERVICE WATER HEATING BOIL HEAT TRAPS. WATER HEATING EQUIPMENT NOT SUPPLIED WITH INTERNAL HEAT TRAPS AND SERVING NON-CIRCULATING SYSTEMS SHALL BE PROVIDED WITH HEAT TRAPS ON THE SUPPLY AND DISCHARGE PIPING ASSOCIATED WITH THE EQUIPMENT.

WATER SUPPLY & FIXTURE UNIT CALCULATIONS

- COMMERCIAL SPACE:**
- (1) BATHROOM 1 WATER @ 1 USGFL
 - (1) TOILET 1 @ 3 USGFL
 - (1) KITCHEN SINK BASIN @ 1 USGFL + 2 USGFL
 - (1) TOP SINK BASIN @ 3 USGFL
- APARTMENT:**
- (1) LAVATORY @ 1 USGFL + 1 USGFL
 - (1) TOILET @ 3 USGFL + 3 USGFL
 - (1) KITCHEN SINK BASIN @ 1 USGFL + 1 USGFL
 - (1) CUPBOARD SINK @ 1 USGFL + 1 USGFL
 - (1) SHOWER OR TUB @ 9 USGFL + 2 USGFL
 - (1) WASHING MACHINE @ 2 USGFL + 2 USGFL
- 19 USGFL = 1" SERVICE

PLUMBING NOTE:
ALL PLUMBING TO COMPLY WITH 2018 WISCONSIN UNIFORM BUILDING CODE

INDEX

- HOT WATER SUPPLY LINES
- COLD WATER SUPPLY LINES
- GAS SUPPLY LINES

PLEASE NOTE THAT THE CONTRACTOR HAS THE RIGHT TO MAKE ANY CHANGES TO THE PLUMBING WASTE OR VENTILATION LINES NOTED ABOVE AS LONG AS THE CODE IS MET.

ALL VENT PIPING MUST BE SCREENED FROM VIEW AT ROOF.

PLUMBING NOTES:

ISOLATION SHUT OFF VALVES SHALL BE INSTALLED ON SUPPLY BRANCH PIPES TO PERMIT THE WATER SUPPLY TO ALL FIXTURES IN EACH SEPARATE ROOMS.

NO HORIZONTAL DRY VENTS NOT MORE THAN FORTY FIVE DEGREES (45) FROM THE VERTICAL ARE PERMITTED. FLOOR DRAINS ARE EXCEPT FROM THIS REQUIREMENT.

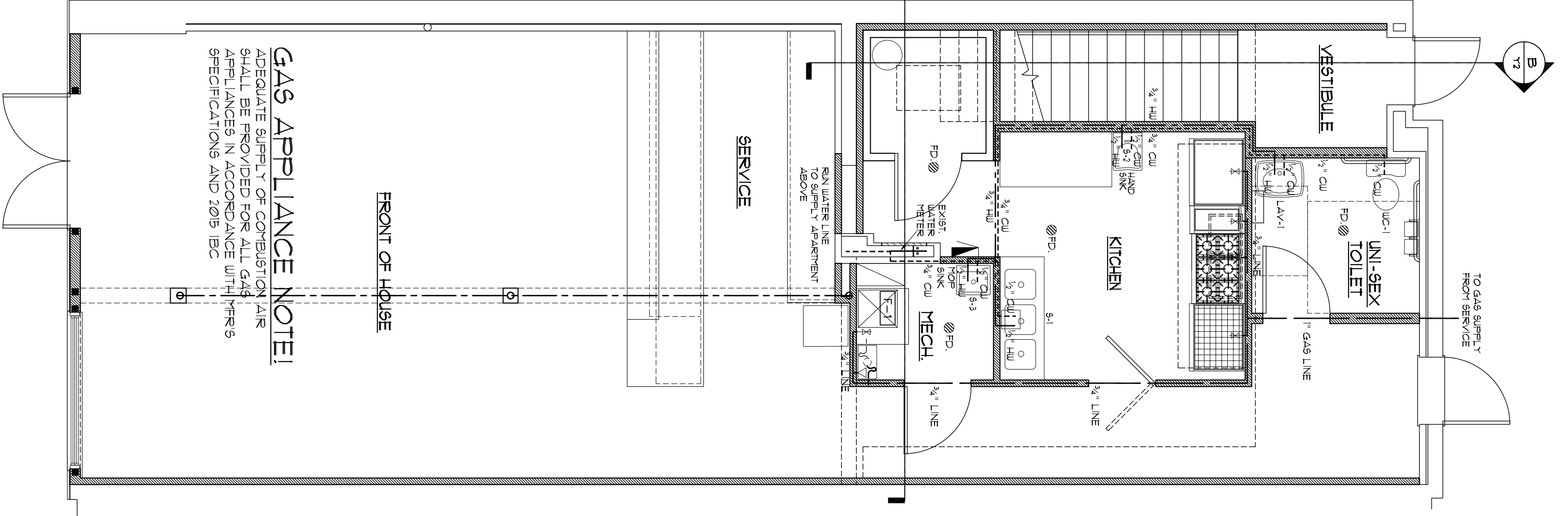
THE INLET AND OUTLET SIDE OF THE WATER HEATER AND SHALL BE OF THE WATER.

WATER CLOSERS INSTALLED IN ACCESSIBLE STALLS SHALL HAVE THE FLUSH HANDLE MOUNTED ON THE WIDE SIDE OF THE ROOM.

THE INCOMING WATER SERVICE PIPE SHALL HAVE AN APPROVED REDUCED PRESSURE BACKFLOW PREVENTER (RBP) INSTALLED IN LINE OF RIGID PIPE DIAPHRAGM OF THE WATER SERVICE AND SHALL BE LOCATED NO MORE THAN FIVE FEET (5) ABOVE THE FLOOR.

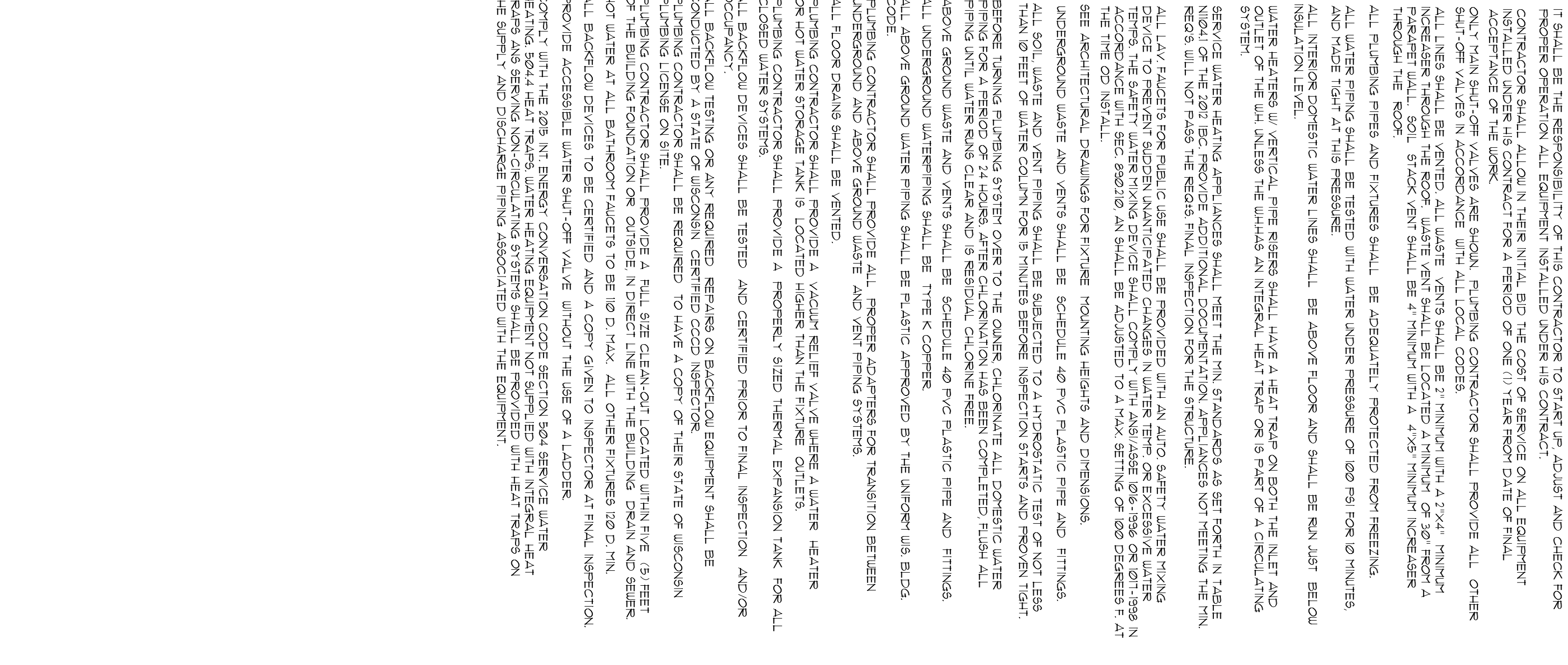
THE FIRE PROTECTION BACKFLOW DEVICE SHALL BE LOCATED BY ALL REQUIRED CODES.

LOCAL PLUMBING INSPECTOR SHALL FIELD VERIFY ALL BACK FLOW DEVICES SHALL BE TESTED AND APPROVED BY A GOOD OPERATION INSPECTOR SHALL ALSO FIELD VERIFY THE DRAIN WASTE VENT AND DISTRIBUTION SYSTEM SHALL BE PROPERLY INSTALLED AND IN ACCORDANCE WITH THE APPROPRIATE TABLE FOUND IN 909.210.210.A.



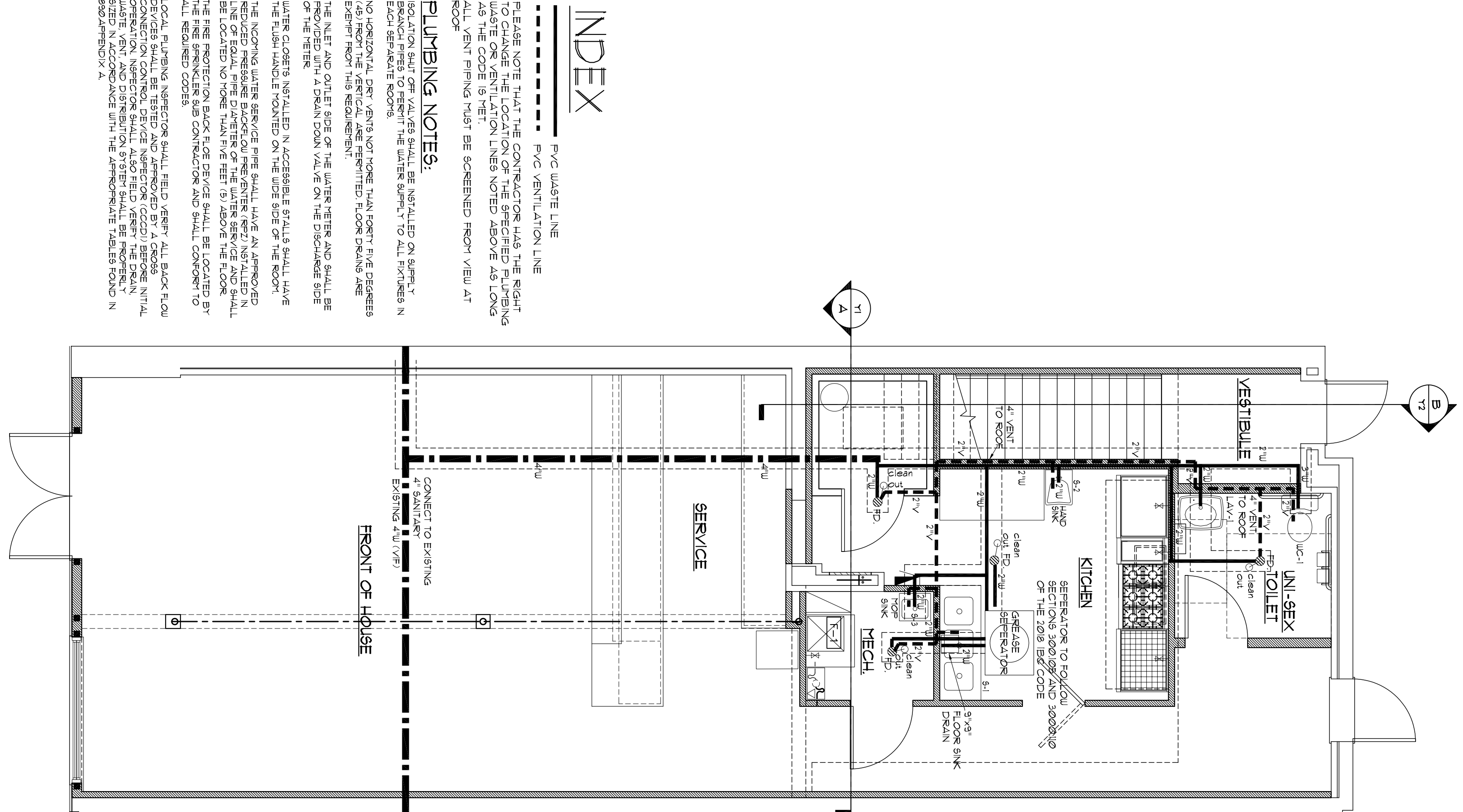
PLUMBING WATER SUPPLY & GAS LINE PLAN

SCALE: 1/4" = 1'-0"



PLUMBING WASTE LINE PLAN

SCALE: 1/4" = 1'-0"



PLUMBING WASTE LINE PLAN

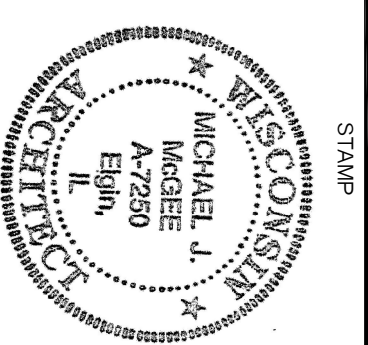
SCALE: 1/4" = 1'-0"

MIDWEST DESIGN GROUP

DESIGNERS

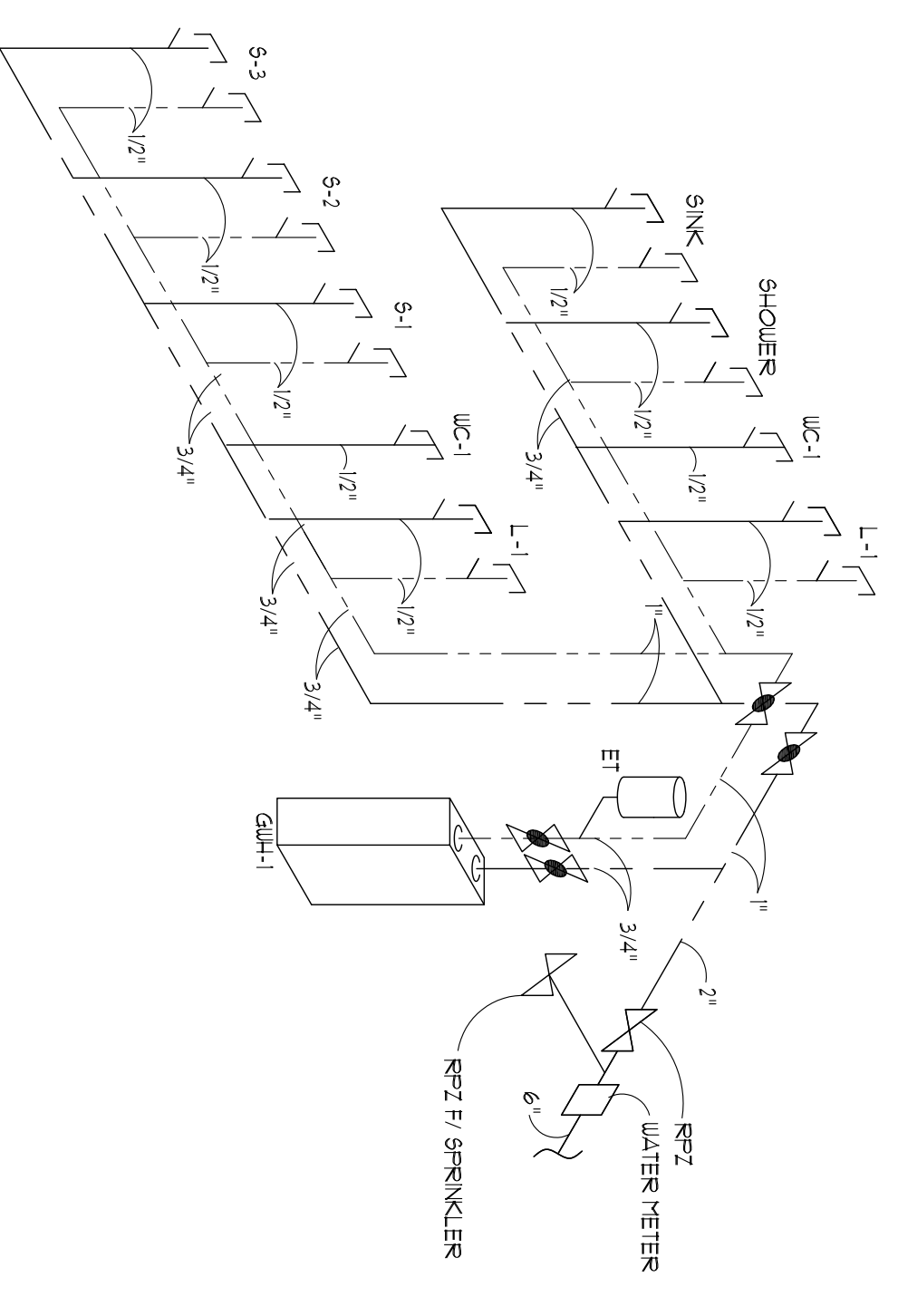
HANLEY, I.L. 67142
OFFICE: 224.900.2030
EMAIL: ADM@MDGDESIGN.COM
PROFESSIONAL DESIGN FIRM
LICENSE# 184-000283

RENOVATION TO:
140 BROAD STREET
LAKE GENEVA WI 53147

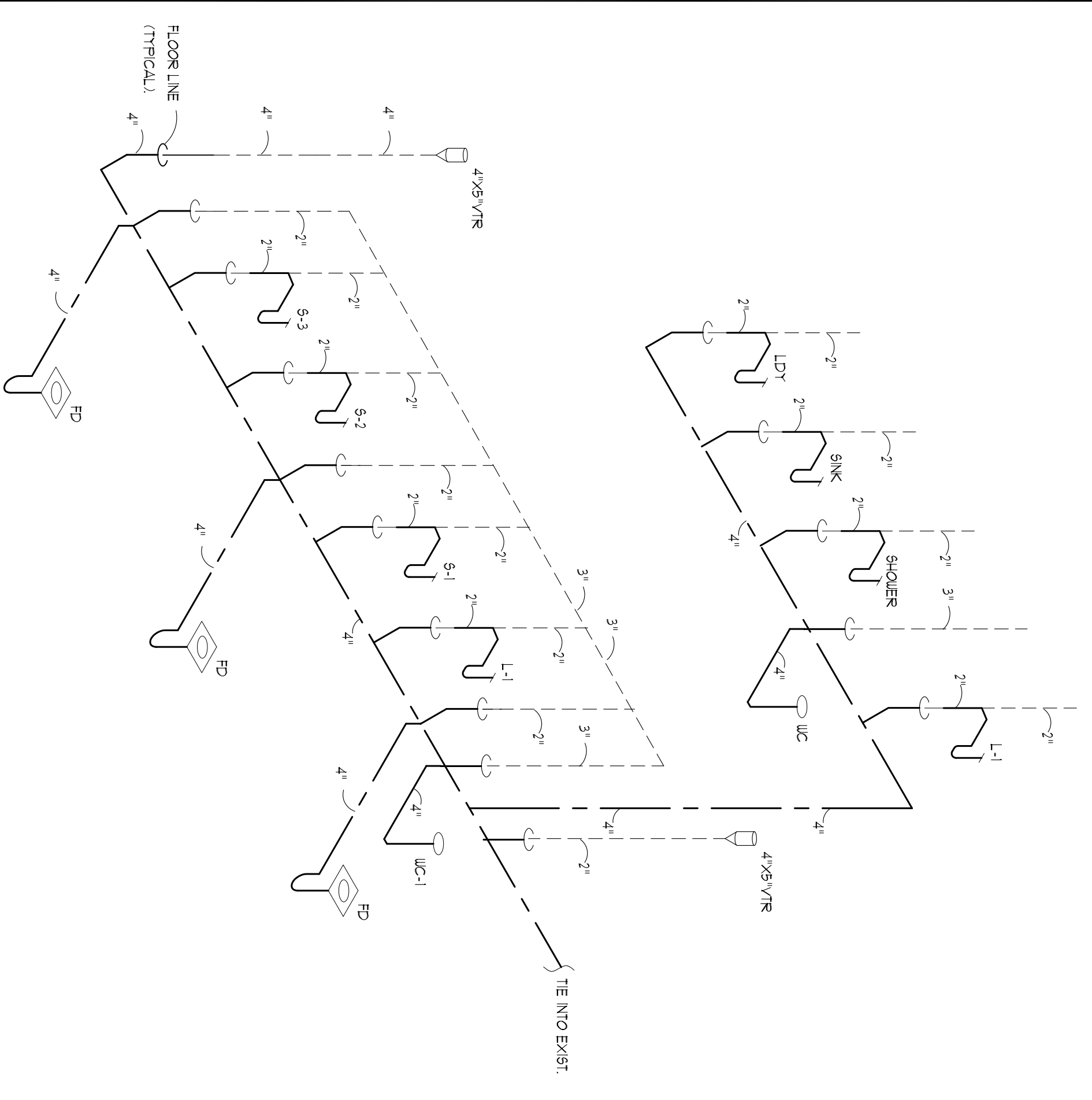


DATE	REV#	DESCRIPTION OF REVISION
11-22-24	1	FREELIMINARY PLAN FOR REVIEW
12-23-24	2	PHASE 1 PLANS FOR BIDDING ONLY
4-22-25	3	PHASE 2 FINAL PLANS FOR PERMIT

X-140 BROAD STREET, 2049



TYP. WATER SUPPLY PIPING DIAGRAM
N15



TYP. TOILET WASTE & VENT PIPING DIAGRAM
N15

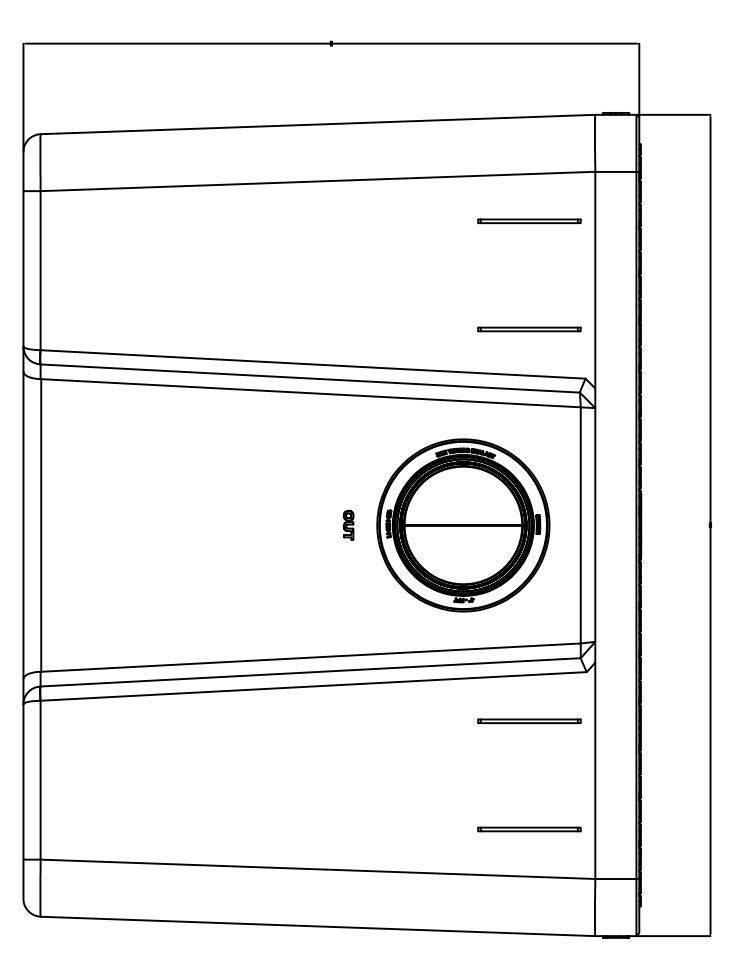
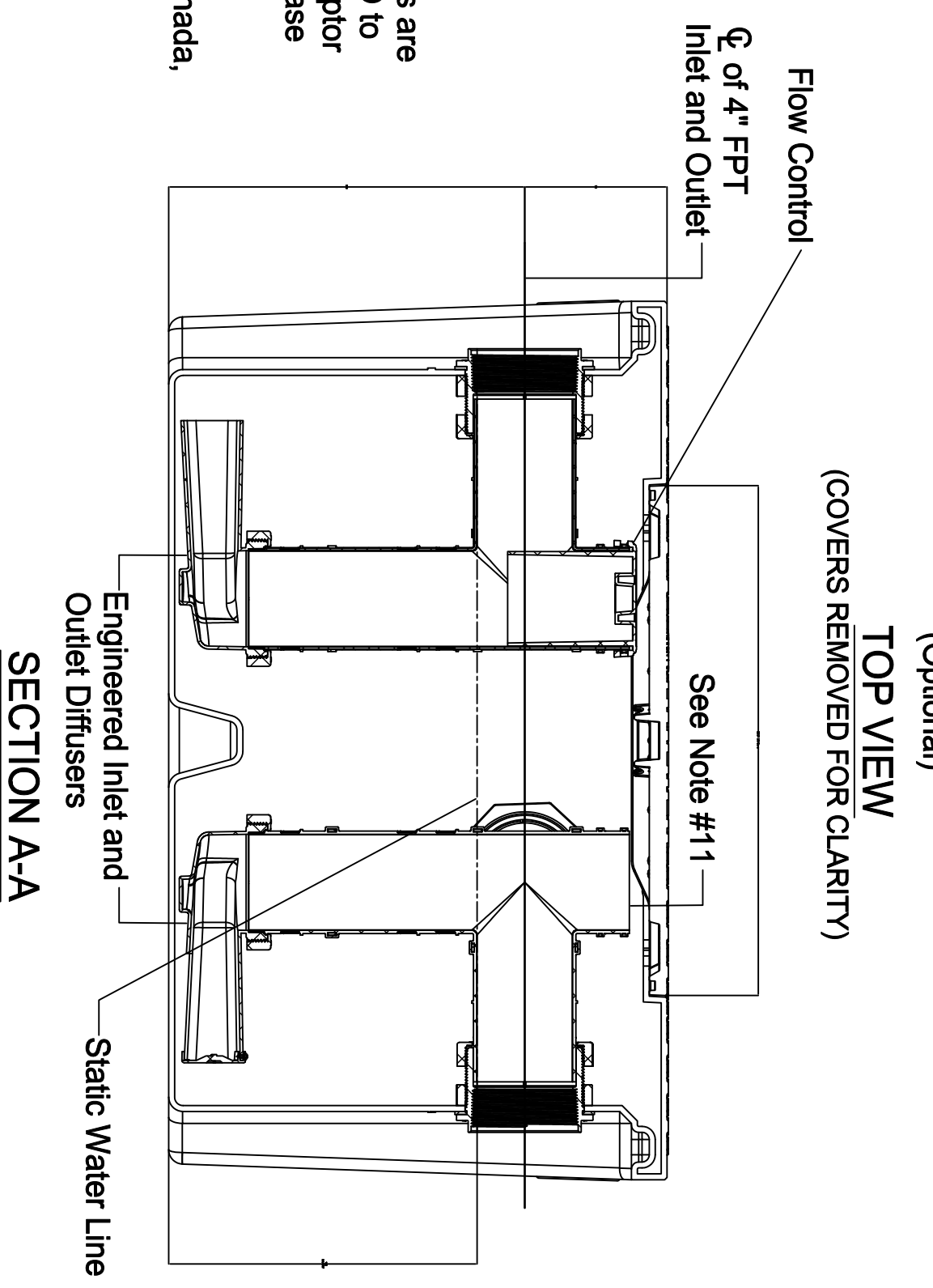
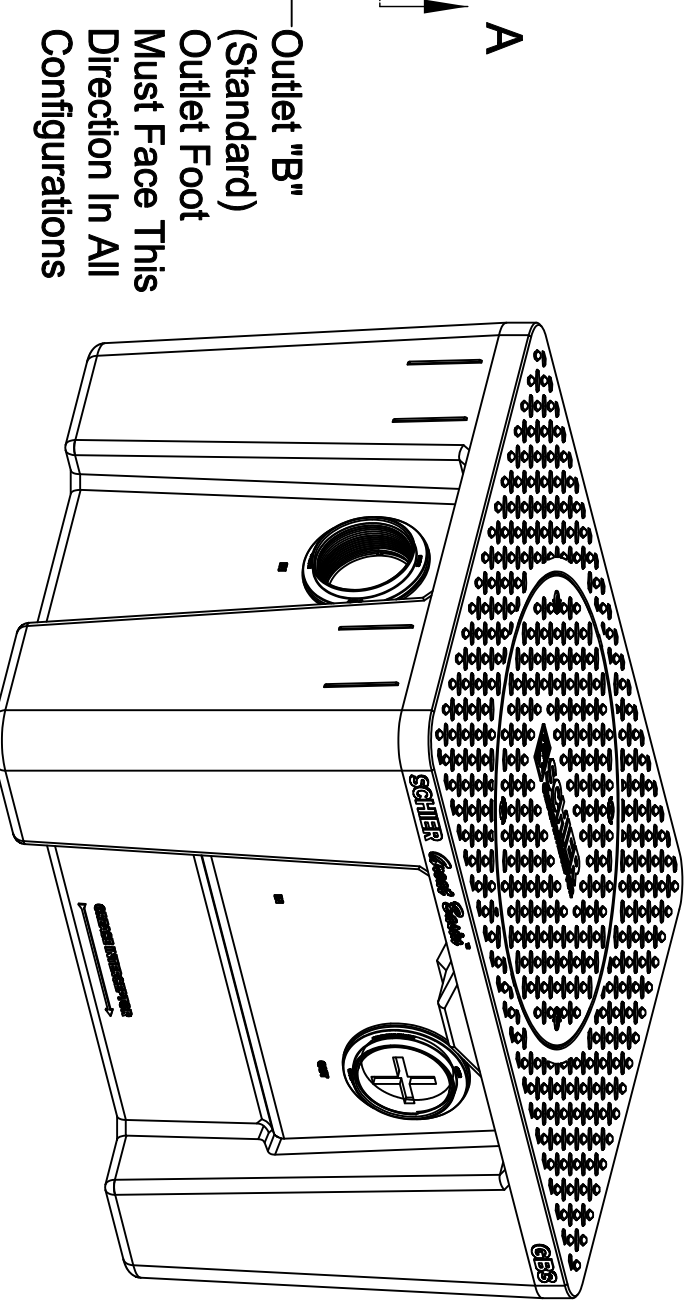
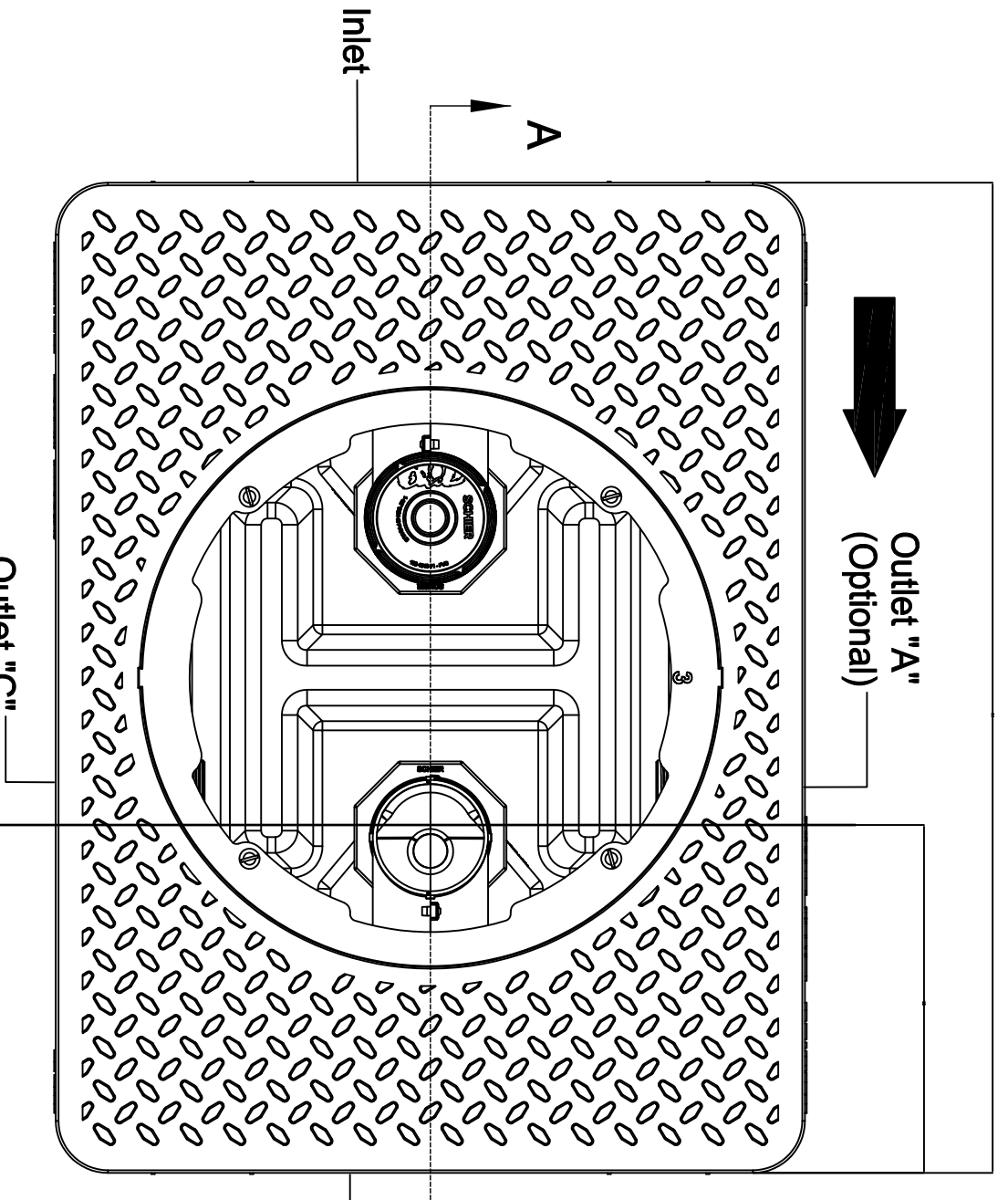
- SPECIFICATIONS**
- Notes:
- 4" FPT Inlet/outlet with 4" plain end fittings.
 - Unit weight - 69 lbs. (wet weight 404 lbs.)
 - Maximum operating temperature: 150° F continuous
 - Capacities - Liquid: 40 gal. Grease: 272 lbs. (37.2 gal.) @50 GPM Solids: 175 lbs. (17.4 gal.) @75 GPM
 - Built-in flow control.
 - For gravity drainage applications only.
 - Do not use for pressure applications.
 - Cover placement allows full access to tank for proper maintenance.
 - Vent not required unless per local code.
 - Engineered inlet and outlet diffusers are removable to inspect/clean piping.
 - Integral air relief/ anti-siphon.
 - Designed for indoor, on-floor, below-grade or low-profile under sink installations.

ENGINEER SPECIFICATION GUIDE

Schier Great Basin™ grease interceptor model # GB3 shall be lifetime guaranteed and made in USA of seamless, rotationally-molded polyethylene with minimum 5/16" uniform wall thickness. Interceptor shall be furnished for above or below grade installation. Interceptor shall be certified to ASME A112.14.3 (Type C) and CSA B481.1, with field cut riser system, built-in flow control and three outlet options. Interceptor flow rate shall be 50 or 75 GPM. Interceptor grease capacity shall be 272 lbs. @ 50 GPM or 175 lbs. @ 75 GPM. Cover shall provide water/gas-tight seal and have minimum 450 lbs. load capacity.

CERTIFIED PERFORMANCE

Great Basin™ hydromechanical grease interceptors are third party performance-tested and listed by IAPMO to ASWE #A112.14.3 and CSA B481.1 grease interceptor standards and greatly exceed requirements for grease separation and storage. They are compliant to the Uniform Plumbing Code, the National Standard Plumbing Code, the National Plumbing Code of Canada, and the International Plumbing Code.



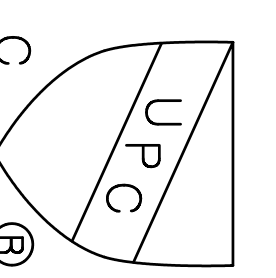
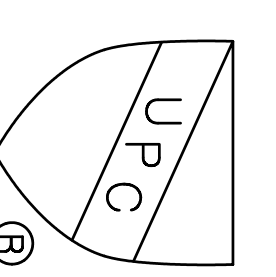
END VIEW

MODEL NUMBER: 4070-001-04

GB3

PROPRIETARY AND CONFIDENTIAL
THE INFORMATION CONTAINED IN THIS DRAWING IS THE PROPERTY OF SCHIER PRODUCTS AND IS TO BE USED ONLY FOR THE PROJECT AND LOCATION IDENTIFIED HEREIN. REPRODUCTION IN ANY FORM WITHOUT PERMISSION OF SCHIER PRODUCTS IS PROHIBITED.

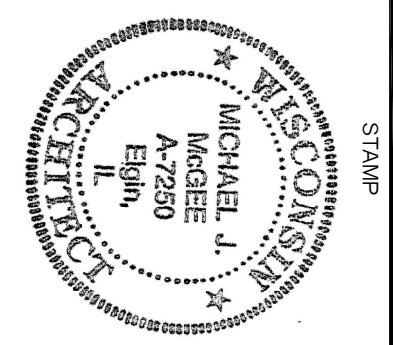
PART NUMBER: 4070-001-04
DESCRIPTION: GB3 GREASE INTERCEPTOR 50 GPM / 75 GPM, 4" FPT INLET/OUTLET, WITH 4" PLAIN END FITTING ADAPTERS AND PEDESTRIAN RATED COVER



SCHIER
6455 Woodland Dr
Shawnee, KS 66218
Tel: 913-951-3300
Fax: 913-951-3399
schierproducts.com

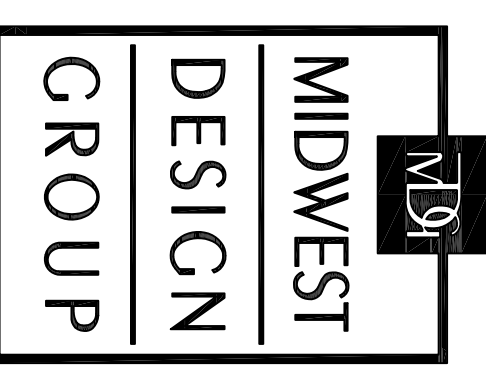
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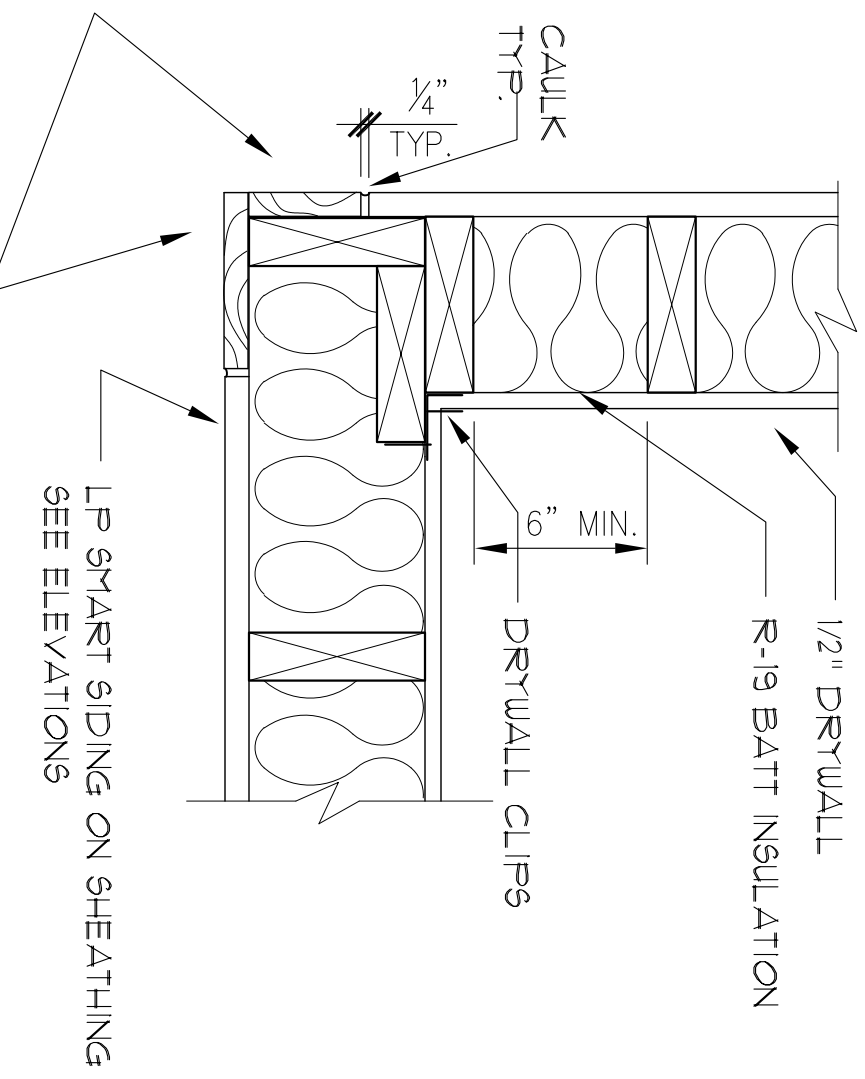


RENOVATION TO:
140 BROAD STREET
LAKE GENEVA WI 53147

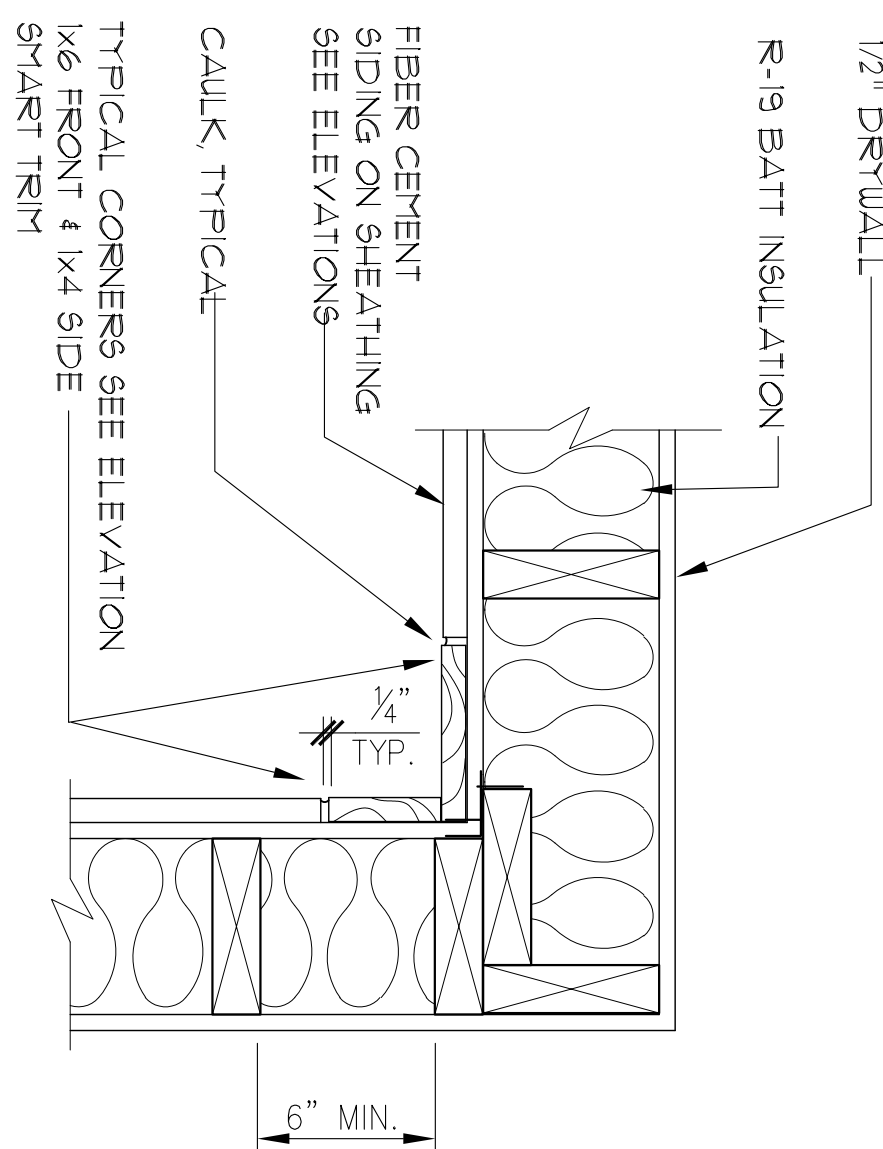
DESIGNERS
HANTLEY, IL 60142
OFFICE: 224-800-3030
EMAIL: ADAM.MCGO@GMAIL.COM
PROFESSIONAL DESIGN FIRM
LICENSE # 184-004281



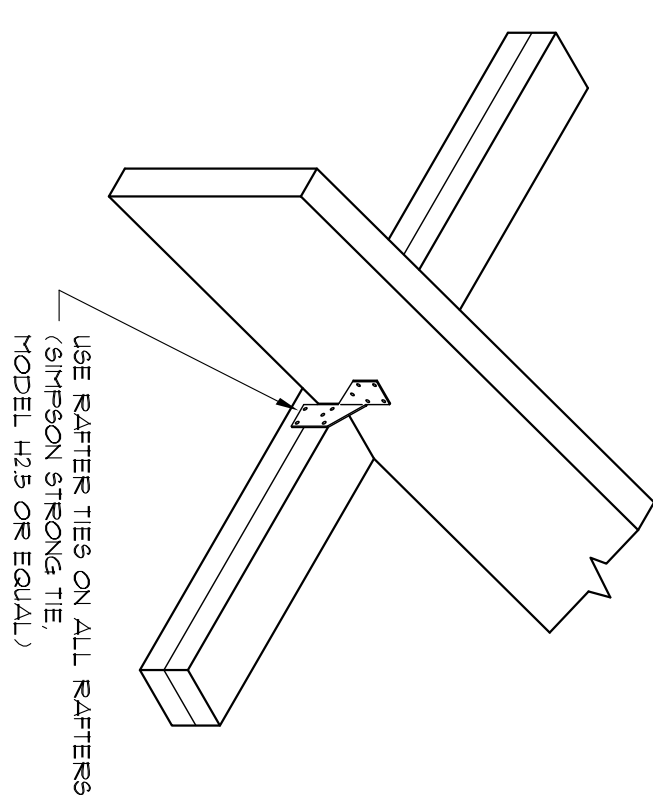
X-140 BROAD STREET, 249



TYPICAL OUTSIDE CORNER DETAIL
SCALE: 1/2" = 1'-0"



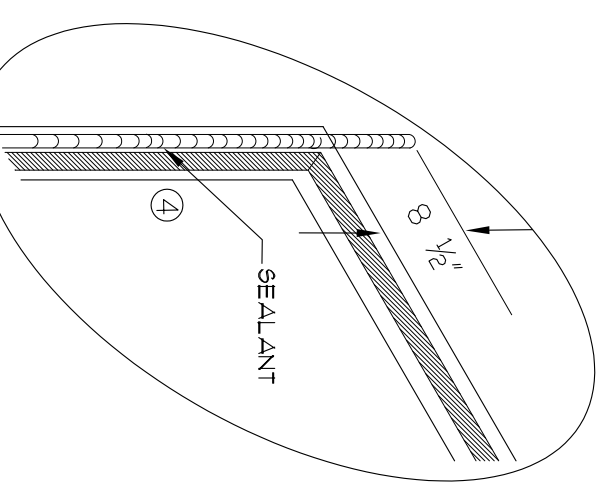
TYPICAL INSIDE CORNER DETAIL
SCALE: 1/2" = 1'-0"



DETAIL - RAFTER TIE
SCALE: 1/2" = 1'-0"
NOTE:
RAFTER TIES TO BE INSTALLED AT ALL RAFTERS

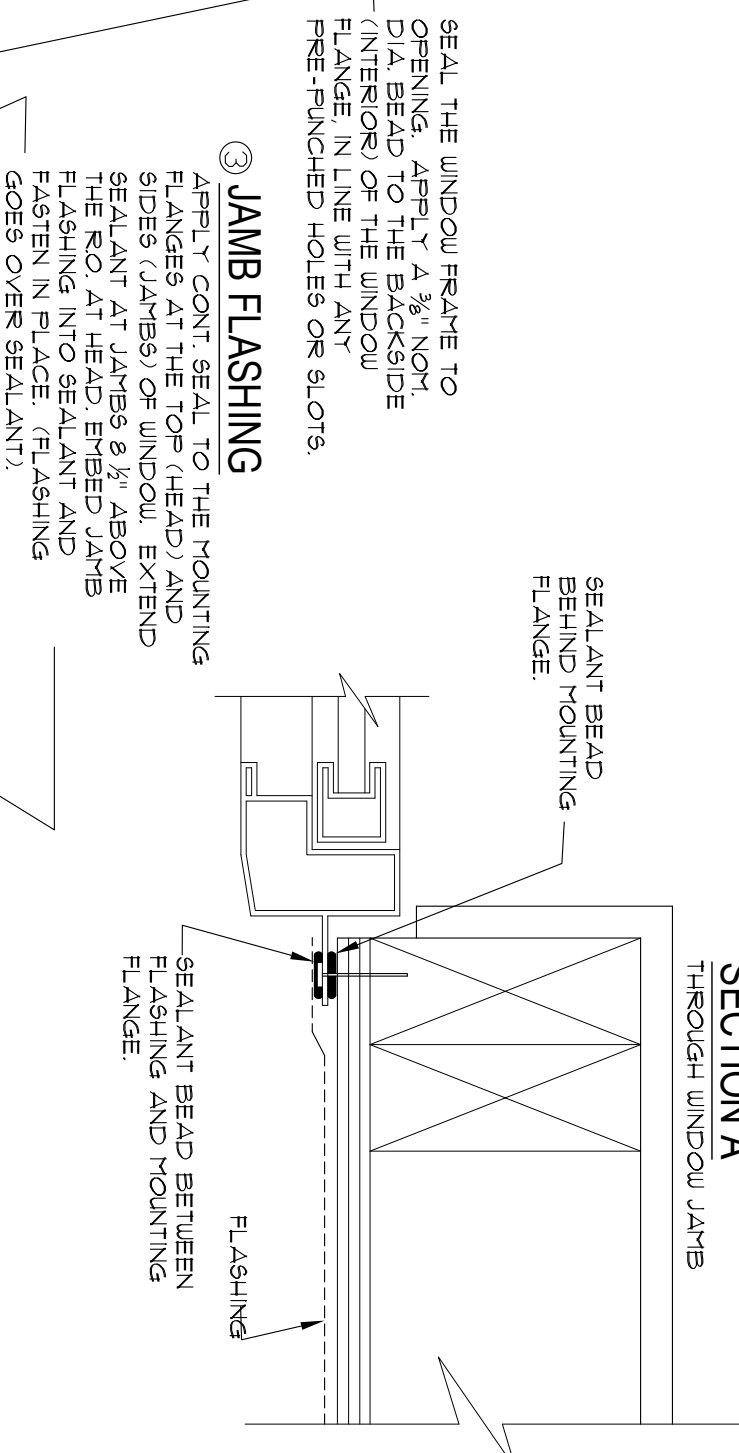
STEPS

- ① APPLY SILL FLASHING
- ② APPLY BEAD OF SEALANT TO BACK OF WINDOW FRAME. HEAD SCREWS MUST BE USED TO FACILITATE INSPECTION.
- ③ APPLY BEAD OF SEALANT AT SIDE JAMBES
- ④ APPLY JAMB FLASHING
- ⑤ APPLY BEAD OF SEALANT AT HEAD
- ⑥ WATER STOPPING FLASHING PARTS FROM BEING PULLED FROM THE WALL & WORKING TOWARDS THE TOP. INSTALL THE URB SEALING JOCK UNDER SILL FLASHING AND OVER JAMB & HEAD FLASHING WITH SHEATHING TAPE.
- ⑦ CONNECT THE URB TO THE FLASHING (ALL 4 SIDES)



- ④ **JAMB FLASHING**
EXTEND JAMB FLASHING TO OVERLAP SILL
EXTEND JAMB FLASHING 8" ABOVE ROUGH OPENING AT HEAD
APPLY SEALANT AT CORNERS TO TEMPORARILY HOLD FLASHING IN PLACE UNTIL URB IS APPLIED.

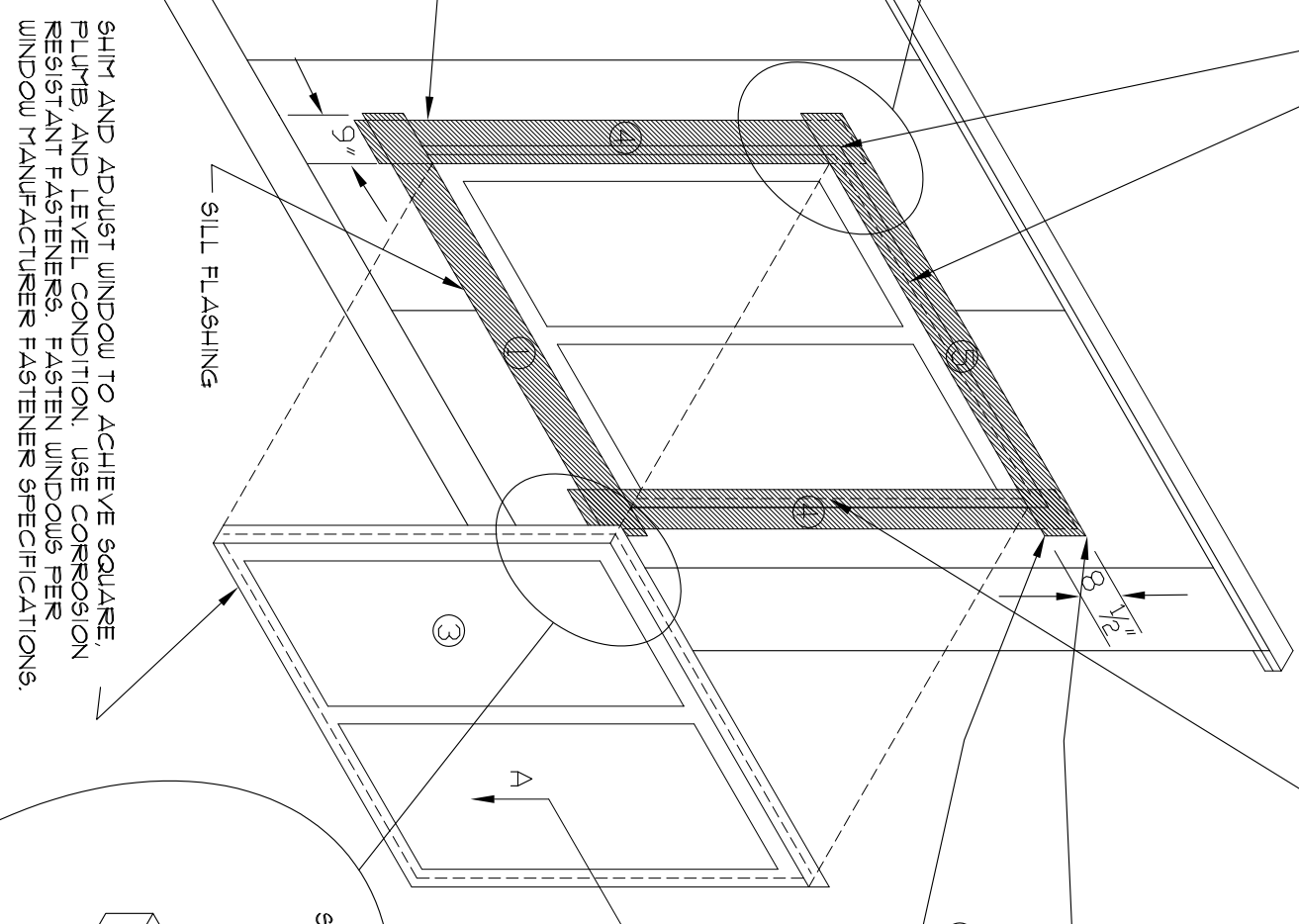
WINDOW INSTALLATION
WEATHER RESISTIVE BARRIER (WRB) APPLIED AFTER THE WINDOW INSTALLATION.
FLASHING APPLIED OVER THE FACE OF THE MOUNTING FLANGE.



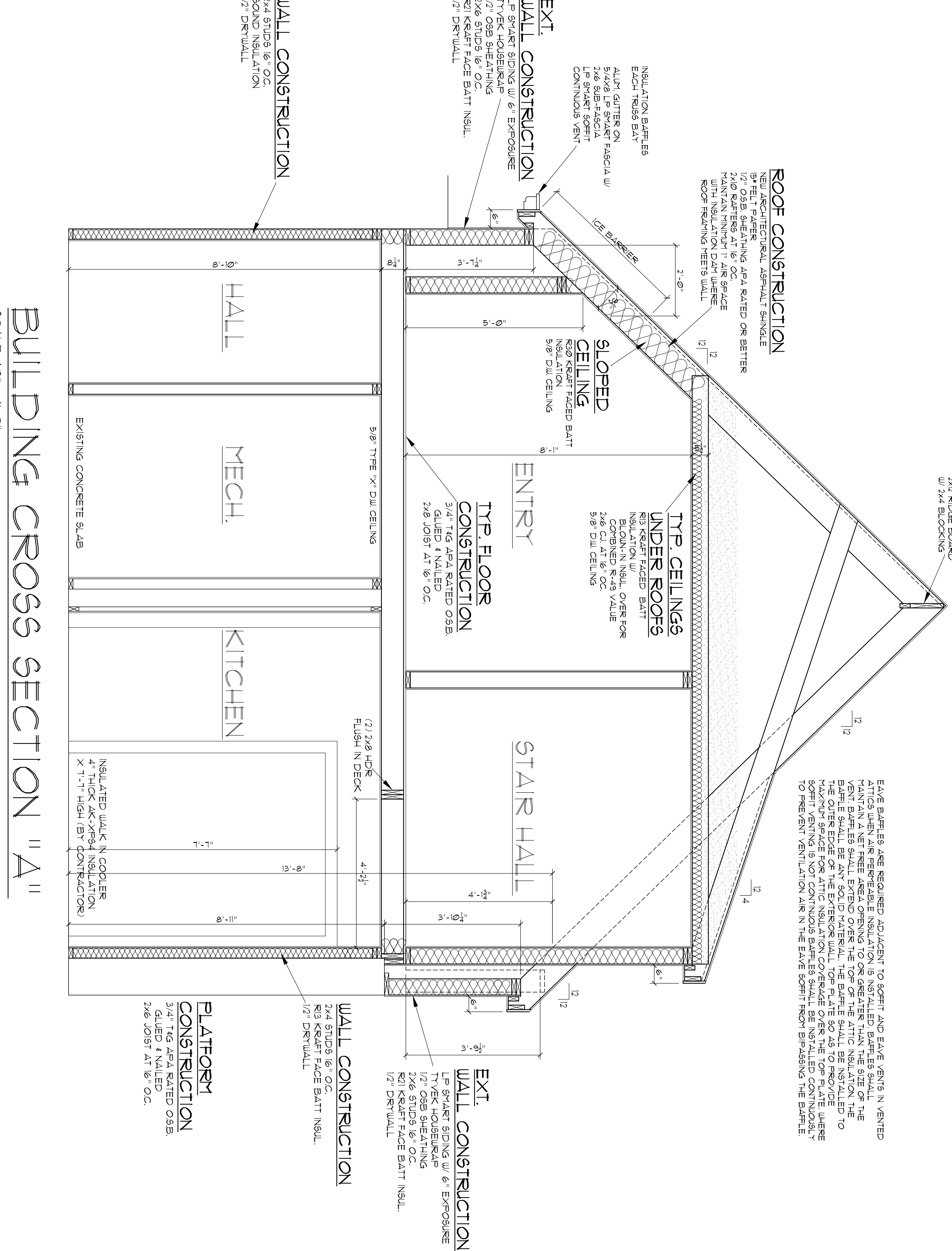
SECTION A
THROUGH WINDOW JAMB

- ③ **JAMB FLASHING**
APPLY JOINT SEAL TO THE MOUNTING SIDES (UPPER & LOWER) OF WINDOW. EXTEND SEALANT AT JAMBES & 1/2\"/>

- ③ **HEAD FLASHING**
FLASHING AT HEAD EXTENDS 1\"/>



INTERIOR VIEW
TOP LEFT CORNER OF WINDOW



BUILDING CROSS SECTION "A"
SCALE: 1/2" = 1'-0"

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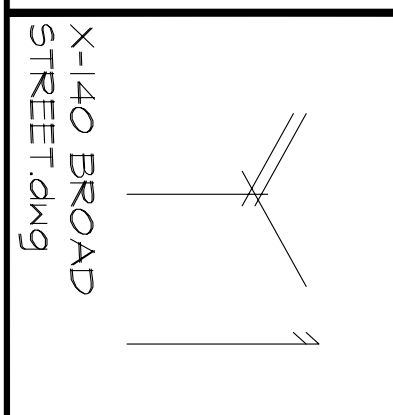
MIDWEST DESIGN GROUP

DESIGNERS
HUNTLEY, IL 60142
OFFICE: 224-800-3030
EMAIL: ADMANMO@GMAIL.COM
PROFESSIONAL DESIGN FIRM
LICENSE# 184-004283

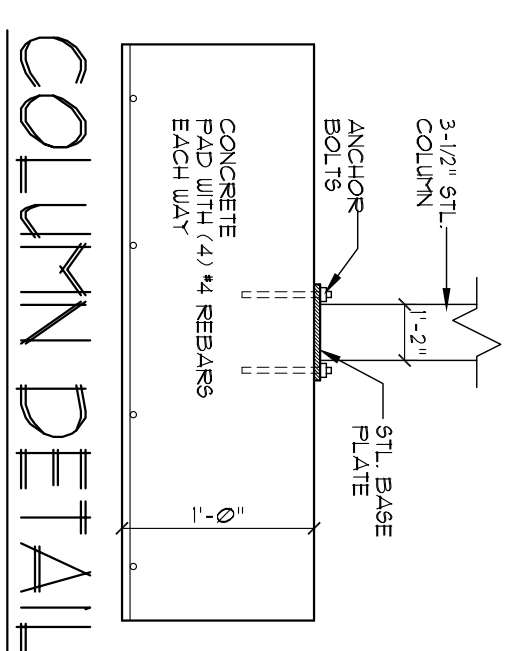
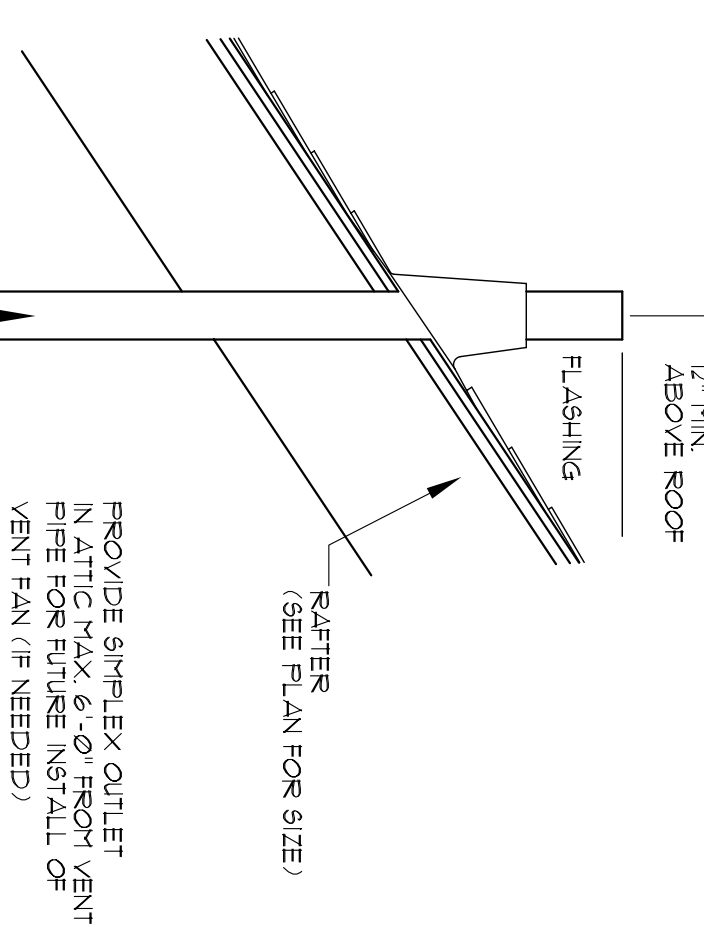
RENOVATION TO:
140 BROAD STREET
LAKE GENEVA WI 53147

MIDWEST ARCHITECTURE
MICHAEL J. EBLER
ARCHITECT

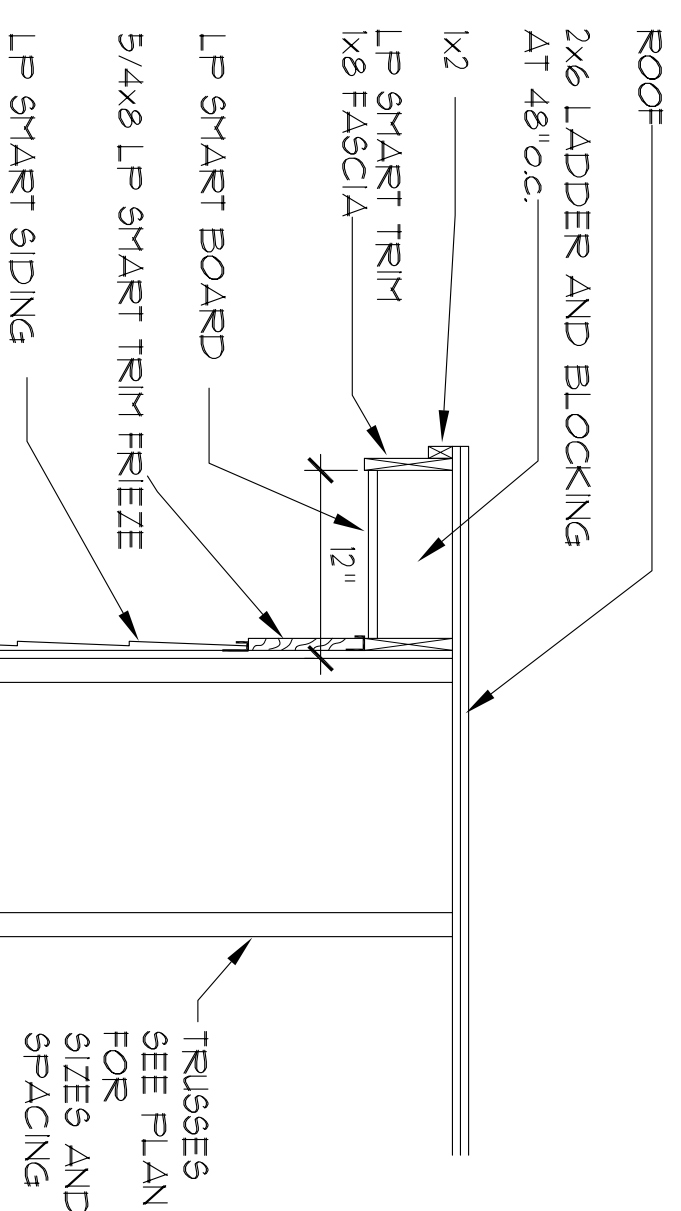
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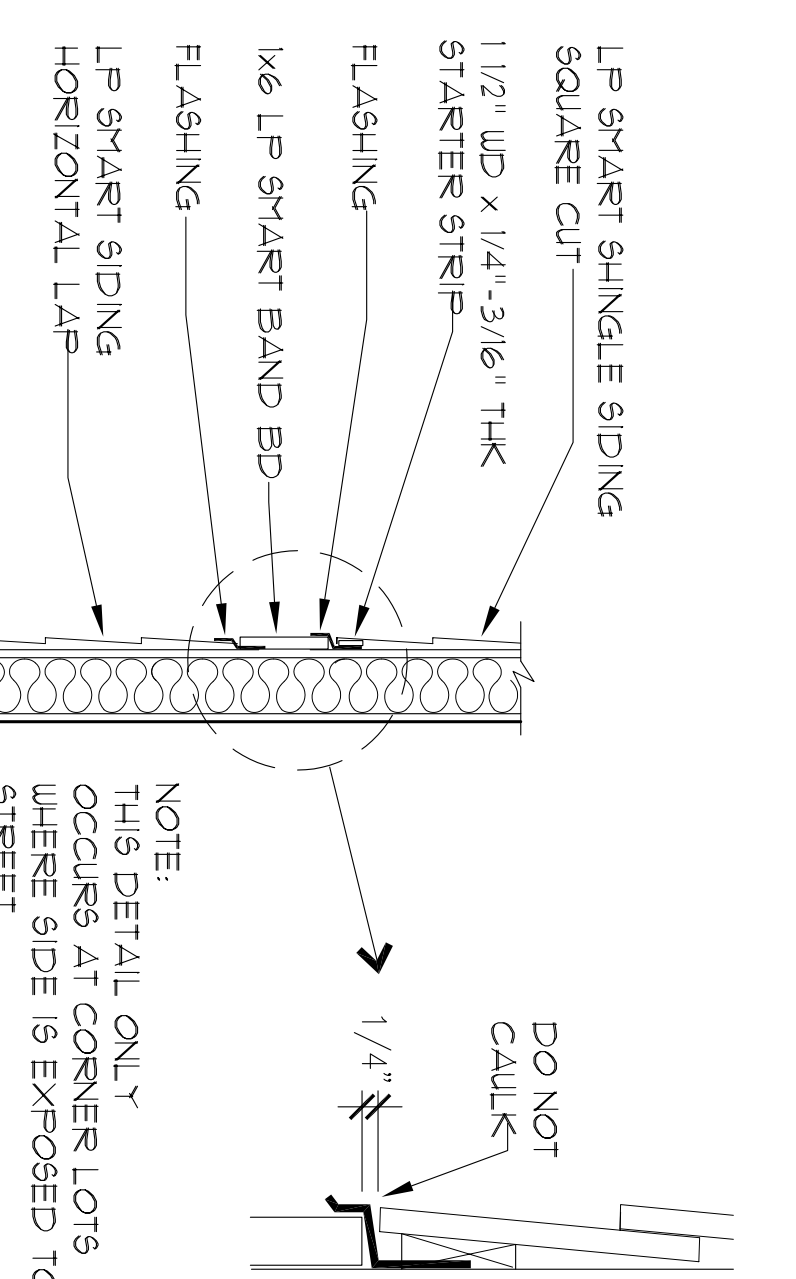
EXHAUST TO FRONT OPENINGS INTO
CONDITIONED SPACES OF BLDG.



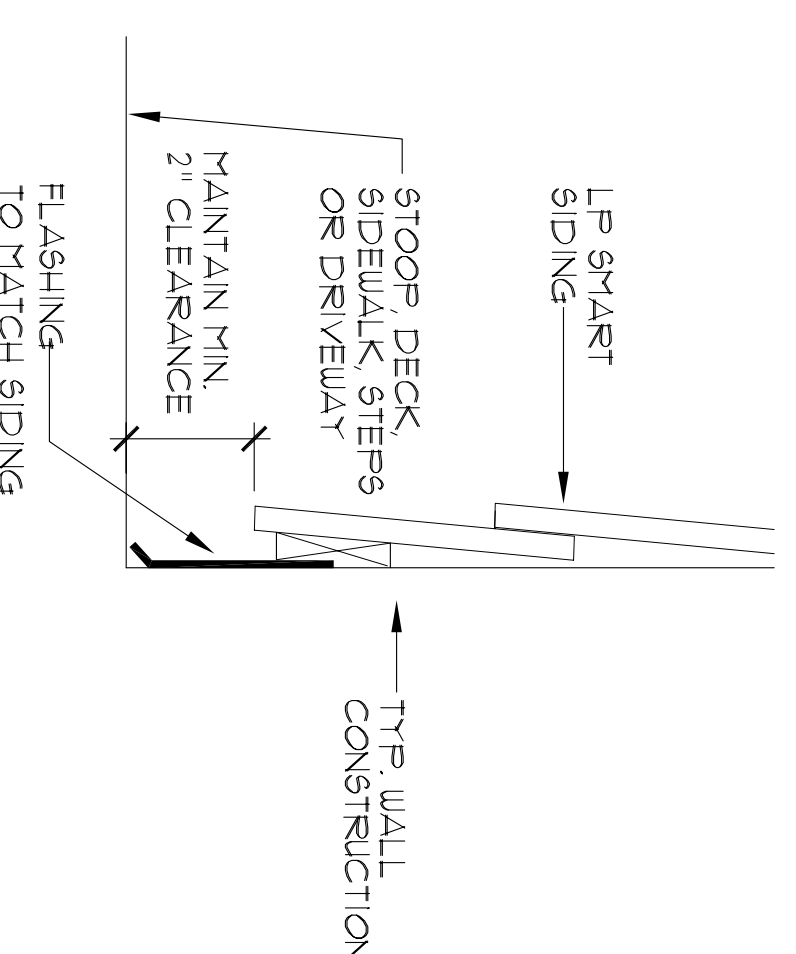
COLUMN DETAIL
SCALE: 1/4" = 1'-0"



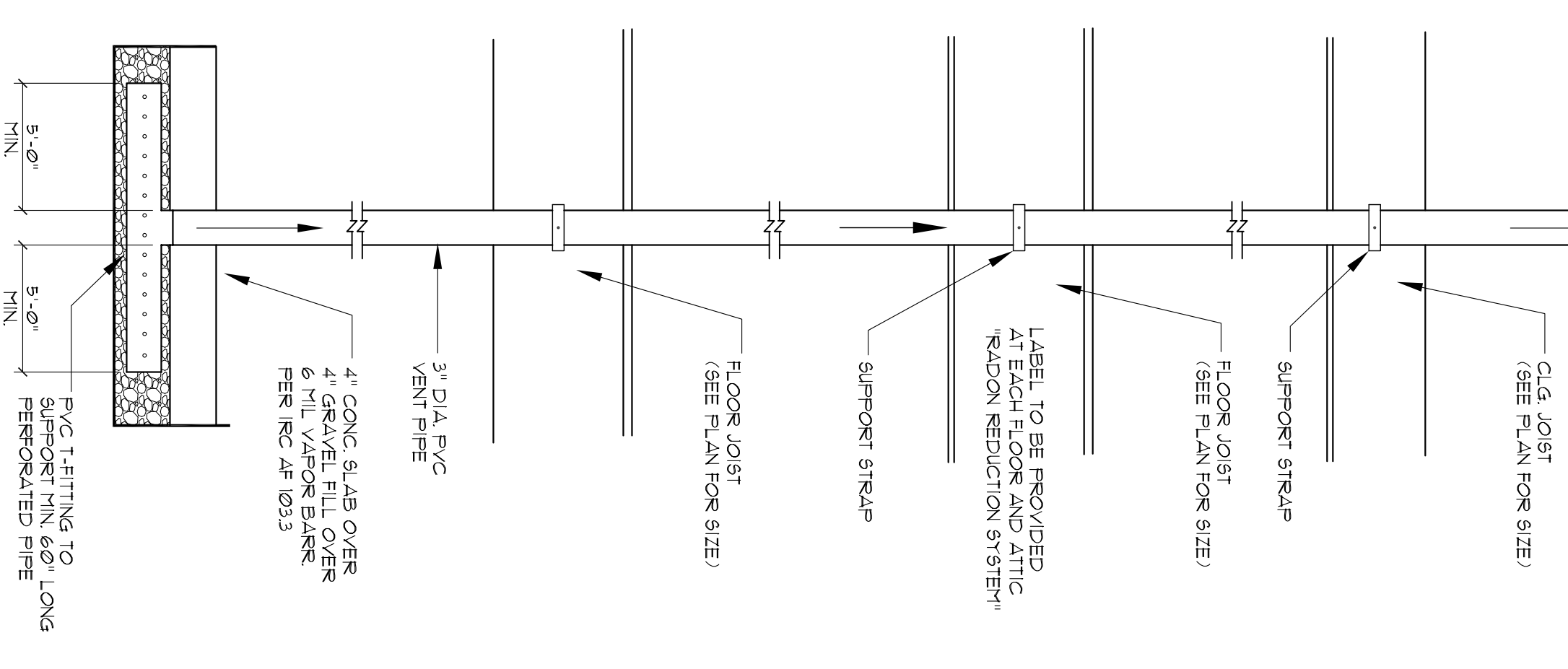
RAKE SECTION
SCALE: 3/4" = 1'-0"



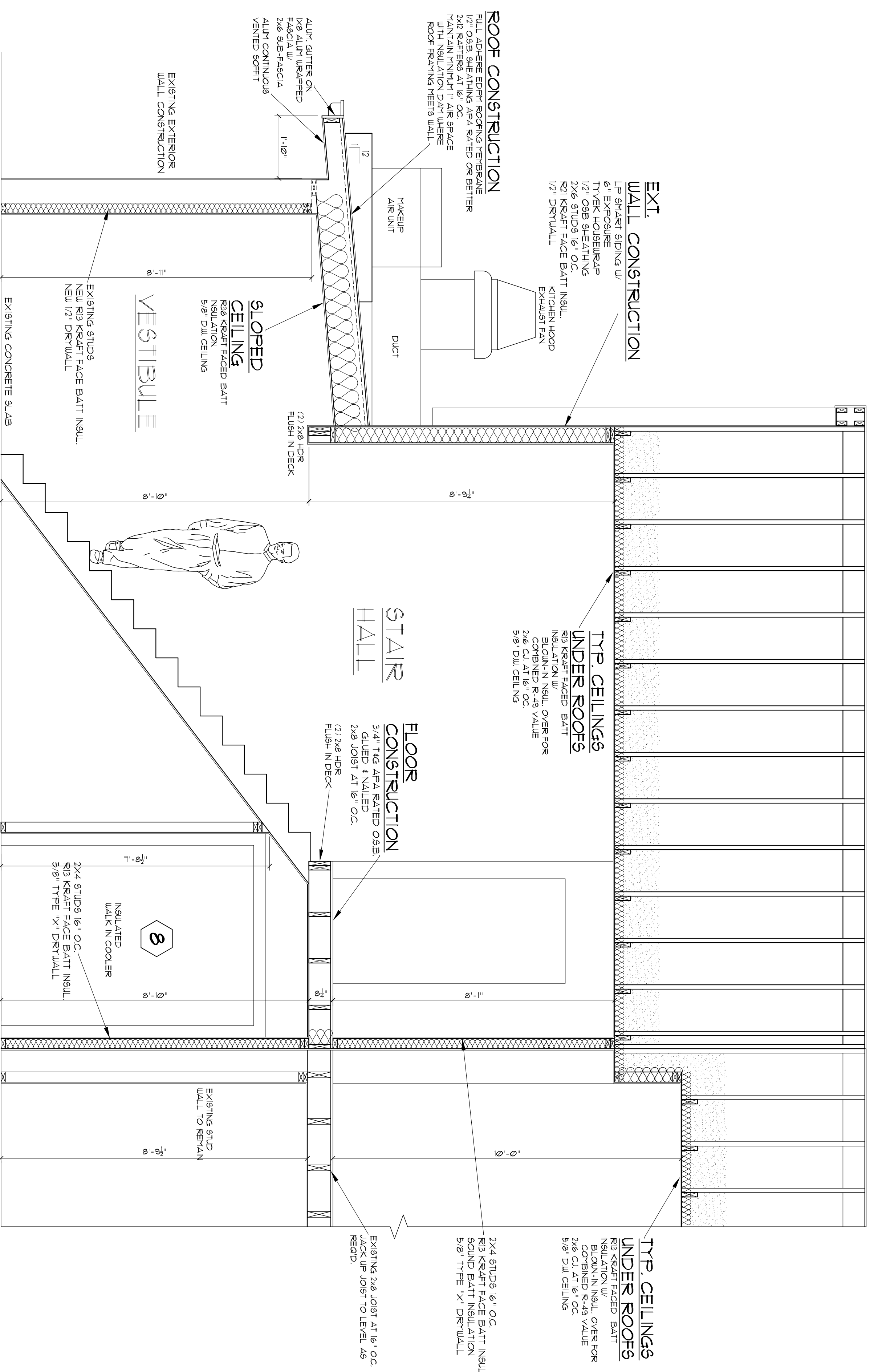
BAND BOARD DETAIL
SCALE: 3/4" = 1'-0"



SIDING DETAIL
SCALE: 3/4" = 1'-0"



RADON MITIGATION DETAIL
SCALE: NO SCALE



CROSS SECTION "B"
SCALE: 1/2" = 1'-0"

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MIDWEST DESIGN GROUP

DESIGNERS
HUNTLEY, IL 60142
OFFICE: 224-800-3330
EMAIL: ADM.MIDWEST@GMAIL.COM
PROFESSIONAL DESIGN FIRM
LICENSE# 184-000283

RENOVATION TO:
140 BROAD STREET
LAKE GENEVA WI 53147

STAMP
MICHAEL J. WOODER
ARCHITECT
ILLINOIS
LICENSE# 184-000283

DATE	REV#	DESCRIPTION OF REVISION
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X-140 BROAD STREET, 249



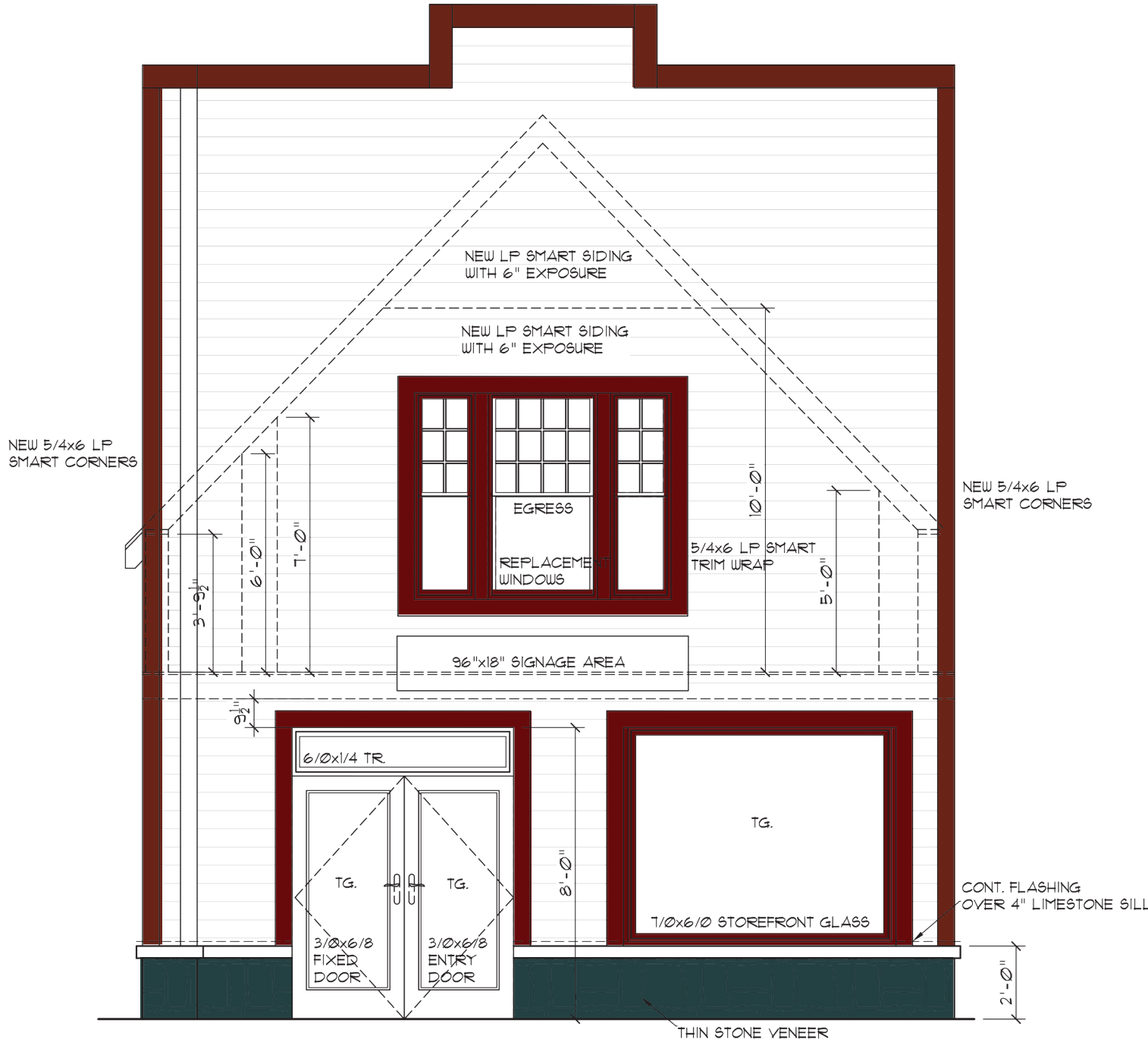
C: 33 M: 88 Y: 88 K: 49



C: 82 M: 58 Y: 58 K: 47



C: 0 M: 0 Y: 0 K: 0



FRONT ELEVATION W/ RENOVATION

SCALE: 1/4" = 1'-0"

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: September 15, 2025

Agenda Item 6b

Applicant:

Emily Kornak
918 W Main Street
Lake Geneva, WI 53147

Request:

918 W Main Street
Downtown Design Review of Mural

Description:

The applicant proposes installing a wall painted Mural on the south façade of the building located at 918 W Main Street. The mural will be painted onto a ten (10) foot by twelve (12) foot panel and attached to the wall with anchor hooks in the grout. This Mural is consistent in color and theme to the existing murals located throughout Downtown Lake Geneva.

Staff has reviewed the application for consistency with the standards for Murals (Section 98-726) and find no inconsistency between this proposal and the standards.

Staff Recommendations:

Staff recommend *approval* of the proposed Mural.

APPLICATION FOR SITE PLAN REVIEW

City of Lake Geneva

Site Address/Parcel No. and full Legal Description required (attach separate sheet if necessary):

918 W Main Street/ ZOP 00348; The Lake Geneva Public Library

Name and Address of Current Owner: The City of Lake Geneva, under management of Library

Emily Kornak, Library Director 918 W Main Street, Lake Geneva WI 53147

Telephone No. with area code & Email of Current Owner: _____

262-249-5283; ekornak@lakegeneva.lib.wi.us

Owner Signature: 

Emily Kornak (Jun 26, 2025 15:05 CDT)

Name and Address of Applicant:

Emily Kornak, Library Director Lake Geneva Library. 918 W Main St Street Lake Geneva, WI 53147

Telephone No. with area code & Email of Applicant: _____

262-249-5283; ekornak@lakegeneva.lib.wi.us

Proposed Use: Mural Installation on panel

Zoning District in which land is located: Commercial C zoning district

Names and Addresses of architect, professional engineer and contractor of project:

Lake Geneva BID; 626 Geneva Street Lake Geneva WI 53147

Short statement describing activities to take place on site:

Mural Installation on a 10x12 panel with temporary anchor hooks in grout

Site Plan Review Fee: \$400.00, payable upon filing application

Jun 26, 2025

Date



Emily Kornak (Jun 26, 2025 15:05 CDT)

Signature of Applicant

Petitioner Name _____

Project Address _____

OFFICE USE ONLY

Description of Request _____

Agreement for Services

REIMBURSABLE BY THE PETITIONER / APPLICANT. The city may retain the services of the professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City’s review of a proposals coming before the Plan commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any financing charges that may accrue. The City applies the charges for these services to the Petitioner. The City Administrator at any time may require an applicant to submit an advance deposit of **\$500 to \$5,000 depending on the complexity and anticipated involvement of the City’s consultants** or continuing advance deposits against future billings by the City for recovery of costs provide by this ordinance 98-935(4). **An advanced deposit shall be required for the application related to Extraterritorial matters.** Surplus deposits shall be returned to the Applicant at the conclusion of the project.
The Lake Geneva Library

_____, as applicant/petitioner for

Project:

Mural Installation on South facing wall

Project Address:

918 W Main Street - ZOP 00348

Parcel No. _____

Name:

Lake Geneva Library; 918 W Main Street, Lake Geneva WI 53147

Address: _____

Cell Phone: (262) - 716 - 9529

Phone: (262) - 249 - 5283

Email: ekornak@lakegeneva.lib.wi.us

Dated this 26 Day of June, 2025

Emily Kornak

Printed Name of Applicant / Petitioner



Emily Kornak (Jun 26, 2025 15:05 CDT)

Signature of Applicant/Petitioner

Applicant/Petitioner agrees that in addition to those normal costs payable by an applicant/petitioner (e.g., filing or permit fees, publication expenses, recording fees, etc.), that in the event the action applied or petitioned for requires the City of Lake Geneva, in the judgment of its staff, to obtain additional professional service(s), (e.g., engineering, surveying, planning, legal) than would be routinely available "in house" to enable the City to properly address, take appropriate action on, or determine the same, applicant/petitioner shall reimburse the City for the costs thereof

Section 98-935 Fees:

(1) Fees for Procedures or Permits Requested by a Private Party: The fees for the procedures and permits established by this Chapter shall be established by resolution of the Common Council of the City of Lake Geneva

(2) Fees for Procedures Requested by the City of Lake Geneva: There shall be no fee in the case of applications filed in the public interest by the Common Council or the Plan Commission, other agency, or official of the City of Lake Geneva.

(3) Payment of Fees: Fees shall be payable at the time applications are filed with the appropriate officer of the City (per the requirements of this Chapter), and are not refundable.

(4) Professional Consultant Review Services: The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposal coming before the Plan Commission. The City may apply the charges for these services to the Petitioner. The City will require the Petitioner to sign a professional consultant review services form. The City Administrator at any time may require an applicant to submit an advance deposit **of \$500 to \$5,000 depending on the complexity and anticipated involvement of the City's consultants** or continuing advance deposits against future billings by the City for recovery of costs provide by this ordinance 98-935(4). **An advanced deposit shall be required for the application related to Extraterritorial matters.** The City may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until such fees are paid by the Petitioner. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal. Review fees which are applied to a Petitioner, but which are not paid, may be assigned by the City as a special assessment to the subject property.

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
SITE PLAN REVIEW AND APPROVAL (Requirements per Section 98-908)**

This form should be used by the Applicant as a guide to submitting a complete application for a site plan review and by the City to process said application. Part II should be used by the Applicant to submit a complete application; Parts I - III should be used by the City as a guide when processing said application.

I. RECORDATION OF ADMINISTRATIVE PROCEDURES

- _____ **Pre-submittal staff meeting scheduled:**
- Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
- _____ **Follow-up pre-submittal staff meetings scheduled for:**
- _____ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
- _____ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
- _____ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
- _____ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____
- _____ **Application form filed with Zoning Administrator:** Date: _____ by: _____
- _____ **Application fee of \$ _____ received by Zoning Administrator:** Date: _____ by: _____
- _____ **Reimbursement of professional consultant costs agreement executed:** Date: _____ by: _____

II. APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 8 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 1 initial draft application packet and 1 digital copy for staff review, followed by one revised draft final application packet based upon staff review and comments.

- Initial Packet (1 Copy and 1 Digital Copy to Zoning Administrator) Date: _____ by: _____
- ↓ Draft Final Packet (8 Copies and 1 Digital Copy to Zoning Administrator) Date: _____ by: _____
- ↓

- _____ (a) **A written description of the intended use describing in reasonable detail the:**
- _____ Existing zoning district(s) (and proposed zoning district(s) if different);
- _____ Land use plan map designation(s);
- _____ Current land uses present on the subject property;
- _____ Proposed land uses for the subject property (per Section 98-206);
- _____ Projected number of residents, employees, and daily customers;
- _____ Proposed amount of dwelling units, floor area, impervious surface area, and landscape surface area, and resulting site density, floor area ratio, impervious surface area ratio, and landscape surface area ratio;
- _____ Operational considerations relating to hours of operation, projected normal and peak water usage, sanitary sewer or septic loadings, and traffic generation;

- _____ Operational considerations relating to potential nuisance creation pertaining to noncompliance with the performance standards addressed in Article VII (Sections 98-701-98-721) including: street access, traffic visibility, parking, loading, exterior storage, exterior lighting, vibration, noise, air pollution, odor, electromagnetic radiation, glare and heat, fire and explosion, toxic or noxious materials, waste materials, drainage, and hazardous materials;
- _____ If no nuisances will be created (as indicated by complete and continuous compliance with the provisions of Article VII), then include the statement "The proposed development shall comply with all requirements of Article VII.";
- _____ Exterior building and fencing materials (Sections 98-718 and 98-720);
- _____ Possible future expansion and related implications for points above;
- _____ Any other information pertinent to adequate understanding by the Plan Commission of the intended use and its relation to nearby properties.

_____ (b) **A Small Location Map** at 11" x 17" showing the subject property, all properties within 300 feet, and illustrating its relationship to the nearest street intersection. (A photocopy of the pertinent section of the City's Official Zoning Map with the subject property clearly indicated shall suffice to meet this requirement.)

_____ (c) **A Property Site Plan drawing which includes:**

- _____ A title block which indicates the name, address and phone/fax number(s) of the current property owner and/or agent(s) (developer, architect, engineer, planner) for project;
- _____ The date of the original plan and the latest date of revision to the plan;
- _____ A north arrow and a graphic scale (not smaller than one inch equals 100 feet);
- _____ A reduction of the drawing at 11" x 17";
- _____ A legal description of the subject property;
- _____ All property lines and existing and proposed right-of-way lines with bearings and dimensions clearly labeled;
- _____ All existing and proposed easement lines and dimensions with a key provided and explained on the margins of the plan as to ownership and purpose;
- _____ All required building setback lines;
- _____ All existing and proposed buildings, structures, and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities, and walls;
- _____ The location and dimension (cross-section and entry throat) of all access points onto public streets;
- _____ The location and dimension of all on-site parking (and off-site parking provisions if they are to be employed), including a summary of the number of parking stalls provided versus required by the Ordinance;
- _____ The location and dimension of all loading and service areas on the subject property and labels indicating the dimension of such areas;
- _____ The location of all outdoor storage areas and the design of all screening devices;
- _____ The location, type, height, size and lighting of all signage on the subject property to include a photometric plan;
- _____ The location, height, design/type, illumination power and orientation of all exterior lighting on the subject property -- including the clear demonstration of compliance with Section 98-707;
- _____ All engineering requirements for utilities, site designs, etc;
- _____ The location and type of any permanently protected green space areas;
- _____ The location of existing and proposed drainage facilities for storm water;

___ In the legend, data for the subject property on:

- ___ Lot Area;
- ___ Floor Area;
- ___ Floor Area Ratio (b/a);
- ___ Impervious Surface Area;
- ___ Impervious Surface Ratio (d/a);
- ___ Building Height.

___ ___ (d) **A Detailed Landscaping Plan of the subject property:**

- ___ Scale same as main plan (> or equal to 1" equals 100')
- ___ Map reduction at 11" x 17"
- ___ Showing the location of all required buffer yard and landscaping areas
- ___ Showing existing and proposed Landscape Point fencing
- ___ Showing berm options for meeting said requirements
- ___ Demonstrating complete compliance with the requirements of Article VI
- ___ Providing individual plant locations and species, fencing types and heights, and berm heights;

___ ___ (e) **A Grading and Erosion Control Plan:**

- ___ Same scale as the main plan (> or equal to 1" equals 100')
- ___ Map reduction at 11" x 17"
- ___ Showing existing and proposed grades including retention walls and related devices, and erosion control measures.

___ ___ (f) **Elevation Drawings of proposed buildings or remodeling of existing buildings:**

- ___ Showing finished exterior treatment;
- ___ With adequate labels provided to clearly depict exterior materials, texture, color and overall appearance;
- ___ Perspective renderings of the proposed project and/or photos of similar structures may be submitted, but not in lieu of adequate drawings showing the actual intended appearance of the buildings.

NOTE: Initiation of Land Use or Development Activity: Absolutely no land use or development activity, including site clearing, grubbing, or grading shall occur on the subject property prior to the approval of the required site plan. Any such activity prior to such approval shall be a violation of law and shall be subject to all applicable enforcement mechanisms and penalties.

NOTE: Modification of an Approved Site Plan: Any and all variation between development and/or land use activity on the subject property and the approved site plan is a violation of law. An approved site plan shall be revised and approved via the procedures of Subsections 98-908(2) and (4) so as to clearly and completely depict any and all proposed modifications to the previously approved site plan, prior to the initiation of said modifications.

III. FINAL APPLICATION PACKET INFORMATION

___ **Receipt of 1 full scale copy in blue/line or black/line of complete Final Application Packet by Zoning Administrator:** Date: _____ by: _____

___ **Receipt of 8 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator:** Date: _____ by: _____

___ **A digital copy of Final Application Packet shall be emailed to the Building and Zoning Department upon submittal deadline.** Date: _____ by: _____

Development Review Committee (DRC) Application

Complete as much detailed information as possible to allow for a comprehensive departmental review prior to a Development Review Committee meeting. This application must be returned to the Building Inspector, with all conceptual plans, designs and other information prior to the scheduling a DRC meeting.

Applicant Information

Property Address 918 W Main Street
Applicant name Emily Kornak
Applicant email ekornak@lakegeneva.lib.wi.us Phone Number 262-249-5283

Architect/Contractor/Designer Name Lake Geneva BID
Architect/Contractor/Designer Email director@downtownlakegeneva.org Phone Number 262-716-9529

Type of Construction: New Addition Remodel X
Type of Development: Single-family Multi-family Commercial Industrial
 Type of Business

Engineering

Site Plans should include the following: Project title and owner's/developer's name and address noted, architect's and/or engineer's name and address noted, property boundaries and dimensions, abutting property zoning classifications, general description of building materials, façade and roof detail, setback lines indicated, easements for access, if any, 100-year floodplain identification, existing and proposed topography shown at a contour interval of one foot, indicating proposed grade and location of improvements, signage and outdoor lighting, number of parking spaces provided, type, size and location of all structures with all building dimensions shown, location of existing and general location of proposed sanitary sewers, storm sewers, water-mains, and any proposed stormwater management facilities, location, extent and type of proposed landscaping and landscaping plantings and buffers to adjacent property, including fencing or other screening, location of pedestrian sidewalks and walkways, graphic outline of any development staging that is planned, driveway locations and sizes, handicap accessibility, environmental concerns (odor, smoke, noise, graphic scale and north arrow.

- Storm water management provisions provided? YES / NO
 - As-built/certification notification
- Erosion control plan provided? YES / NO
- Wetlands, floodplains, environmental corridors, groundwater Identified. YES / NO
- Utility Plans Provided
 - Watermain
 - Sanitary Sewer
 - Storm Water
- Is a Land Division required? YES / NO
- Access points and dimensions shown? YES / NO
 - WISDOT Right-of-way?
 - County Right-of-way?

- Estimated Traffic impacts None
 - Traffic Study Required YES/NO
 - Traffic Control Plan Required YES/NO
 - Will construction affect street parking or intersections? YES / NO
- Paving Materials, Typical Sections? YES / NO
- WDNR Notice of Intent required? (Land disturbance more than 1 acre)? YES / NO
- Watermain extension required? YES / NO
- Sanitary sewer extension required? YES / NO
- SEWRPC Service Area Amendment needed? YES / NO
- Is a Chapter 30 Permit (wetland/waterway) required? YES / NO
- Proposed building/expansion dimensions _____
- Will there be signage? YES / NO type (mounted, freestanding) _____
- Exterior lighting plans? YES / NO
- What kind of noise or level of noise will the business have? Minimal, just painting and 4 screws installed
- Detailed property Site Plan? YES / NO Date of Plan: _____
- Green Space Calculations (Existing vs. Proposed) YES / NO
- Are landscape plans provided? YES / NO
- Is a Land Division required? YES / NO

Water/Sewer Utilities

If an existing structure please circle the following:

- Will existing sewer & water connections be used? YES / NO
- Will your project require the installation of a grease interceptor? YES / NO

If the development is Commercial or Industrial, please provide the following:

- Water service size requirement _____
- Estimated daily water usage in gallons per day _____
- Estimated maximum water flow in gallons per minute _____
- Number of bathrooms _____
- Brief description of process (if Industrial) _____

If the development is a multi-family dwelling, please provide the following:

- Number of units _____
- Number of bedrooms in each unit _____
- Water service size requirement _____

PUBLIC LIBRARY



RESOLUTION OF THE PLAN COMMISSION

Resolution approving a request for Downtown Design Review filed by Emily Kornak, 918 W Main Street, Lake Geneva, WI, to paint a Mural on the south façade of the building located at 918 W Main Street, Tax Key No. ZOP 00348.

Committee:	N/A		
Fiscal Impact:	N/A		
File Number:	PC-041	Date:	September 15, 2025

WHEREAS, the City of Lake Geneva Plan Commission has considered a Downtown Design Review application filed by Emily Kornak, 918 W Main Street, Lake Geneva, WI, to paint a Mural on the south façade of a building located at 9158 W Main Street, Tax Key No. ZOP00348, and

WHEREAS, the Plan Commission made the following finding of fact:

1. The proposed Mural is consistent with the Downtown Design Standards of Section 98-913(9), and
2. The proposed Mural is consistent with the Mural Standards of Section 98-726, and

NOW, THEREFORE, BE IT RESOLVED, that the Plan Commission hereby approves the Downtown Design Review application filed by Emily Kornak, 918 W Main Street, Lake Geneva, WI, to paint a Mural on the south façade of the building located at 918 W Main Street, Tax Key No. ZOP00348, per the findings of fact stated above.

PC Action: **Adopted** **Failed** **Vote** _____

Mayoral Action: **Accept** **Veto**

Todd Krause, Plan Commission Chair Date

Attest:

Amanda Rotondi, Building & Zoning Clerk Date

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: August 15, 2025

Agenda Item #6c

Applicant:
Emily Kornak
918 W Main Street
Lake Geneva, WI

Request:
918 W Main Street
Downtown Design Review of Façade Remodel including: 1) adding windows to the east façade and 2) filling existing restroom door openings with matching brick and louvred metal panel on the south façade.

Description:

The applicant proposes making the following changes to the building at 918 W Main Street:

- Install new windows on the east façade of the library building. The windows will match the existing building windows.
- Remove the exterior restroom doors on the south façade of the building. The openings will be filled with bricks matching the existing bricks and a louvered metal panel necessary for the HVAC system.

Finish Materials:

The applicant proposes the following building finishes:

- New windows will match existing windows.
- New bricks will match existing bricks.
- New louvered metal panel will be finished with a dark red finish to complement the bricks.

Staff Recommendations:

Staff believe the work proposed meets the requirements of the Downtown Design Overlay Zoning district (Section 98- 913).

Staff recommends *approval* with the following conditions:

1. Substantial conformance to the submitted *Design Intent Perspective* Plan prepared by OPN Architects and dated 09.09.25.
2. The applicant shall secure all required permits prior to the start of construction.



City of Lake Geneva
 Building and Zoning
 626 Geneva Street
 Lake Geneva, WI 53147

APPLICATION FOR DOWNTOWN DESIGN REVIEW

Site Address & Parcel No.:

Lake Geneva Public Library, 918 W Main St, Lake Geneva WI 53147

Name & Address of Current Building Owner:

City of Lake Geneva

626 Geneva St, Lake Geneva WI 53147

Telephone Number of Current Building Owner: 262-249-5283

Email Address: ekornak@lakegeneva.lib.wi.us

Owner Signature: *Emily Kornak*

Name & Address of Applicant:

Emily Kornak

918 W Main St, Lake Geneva WI 53147

Telephone Number of Applicant: 262-249-5283

Email Address: ekornak@lakegeneva.lib.wi.us

Proposed Design Change:

Modification to add new windows to the east elevation of the library program room facing Wrigley Drive. Removal of exterior public restrooms and infill of existing public park restroom doors and adjacent metal panel to match adjacent masonry wall finish.

Zoning District: RH Rural Holdings

Names & Address of Architect, Engineer, and/or Contractor of Project:

OPN Architects

Ryan Frank

301 N. Broom St., Suite 100, Madison, WI, 53703

(608) 819-0260, rfrank@opnarchitects.com

Description of Project:

Interior renovation of existing program room and adjacent spaces to remove exterior public access toilets and utilize space to expand program room and add new mechanical and storage spaces. Upgrades will include mechanical, electrical, and plumbing improvements as they relate to "area of work" only. Asbestos and lead paint will be removed prior to construction.

Date: 8/29/2025

Signature of Applicant: *Emily Kornak*

02/27/2025

1

Applicant/Petitioner agrees that in addition to those normal costs payable by an applicant/petitioner (e.g., filing or permit fees, publication expenses, recording fees, etc.), that in the event the action applied or petitioned for requires the City of Lake Geneva, in the judgment of its staff, to obtain additional professional service(s), (e.g., engineering, surveying, planning, legal) than would be routinely available "in house" to enable the City to properly address, take appropriate action on, or determine the same, applicant/petitioner shall reimburse the City for the costs thereof

Section 98-935 Fees:

(1) Fees for Procedures or Permits Requested by a Private Party: The fees for the procedures and permits established by this Chapter shall be established by resolution of the Common Council of the City of Lake Geneva

(2) Fees for Procedures Requested by the City of Lake Geneva: There shall be no fee in the case of applications filed in the public interest by the Common Council or the Plan Commission, other agency, or official of the City of Lake Geneva.

(3) Payment of Fees: Fees shall be payable at the time applications are filed with the appropriate officer of the City (per the requirements of this Chapter), and are not refundable.

(4) Professional Consultant Review Services: The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposal coming before the Plan Commission. The City may apply the charges for these services to the Petitioner. The City will require the Petitioner to sign a professional consultant review services form. The City Administrator at any time may require an applicant to submit an advance deposit of **\$500 to \$5,000 depending on the complexity and anticipated involvement of the City's consultants** or continuing advance deposits against future billings by the City for recovery of costs provide by this ordinance 98-935(4). **An advanced deposit shall be required for the application related to Extraterritorial matters.** The City may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until such fees are paid by the Petitioner. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal. Review fees which are applied to a Petitioner, but which are not paid, may be assigned by the City as a special assessment to the subject property.

LAKE GENEVA PUBLIC LIBRARY - PROGRAM ROOM RENOVATION

918 W MAIN ST
LAKE GENEVA, WI 53147

DRAWING INDEX

GENERAL DRAWINGS

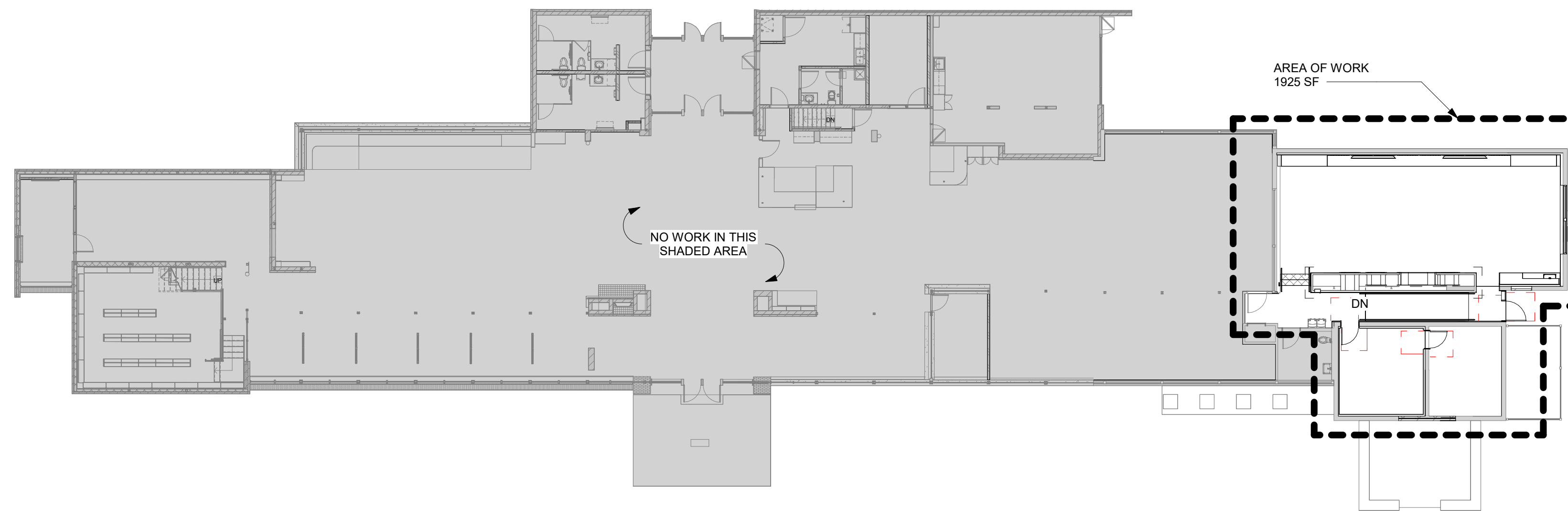
SHEET NUMBER	SHEET NAME
G000	INDEX, SEALS, LOCATION MAP

ARCHITECTURAL DRAWINGS

SHEET NUMBER	SHEET NAME
A101	LEVEL 1 FLOOR PLAN
A401	EXTERIOR DETAILS
A601	EXTERIOR AND INTERIOR ELEVATIONS
A701	DESIGN INTENT PERSPECTIVES



PROJECT LOCATION MAP: NOT TO SCALE



LEVEL 1 SCOPE OF WORK
1/16" = 1'-0"

All questions regarding these plans and specifications should be directed to:

RYAN FRANK, AIA
Project Manager
rfrank@opnarchitects.com
608-819-0260



301 N Broom St., Suite 100
Madison, WI 53703
P: 608-819-0260
www.opnarchitects.com

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Owner

LAKE GENEVA PUBLIC LIBRARY
918 W MAIN ST
LAKE GENEVA, WI 53147



Project

LAKE GENEVA PUBLIC LIBRARY -
PROGRAM ROOM RENOVATION
918 W MAIN ST
LAKE GENEVA, WI 53147

Structural Engineer

STRATEGIC STRUCTURAL DESIGN
725 HEARTLAND TRAIL, SUITE 201
MADISON, WI 53717
P. (608) 841-1850

Mechanical Engineer

HENNEMAN ENGINEERING
1241 JOHN Q. HAMMONS DR, SUITE 503
MADISON, WI 53717
P. (608) 833-7000

Electrical Engineer

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Key Plan

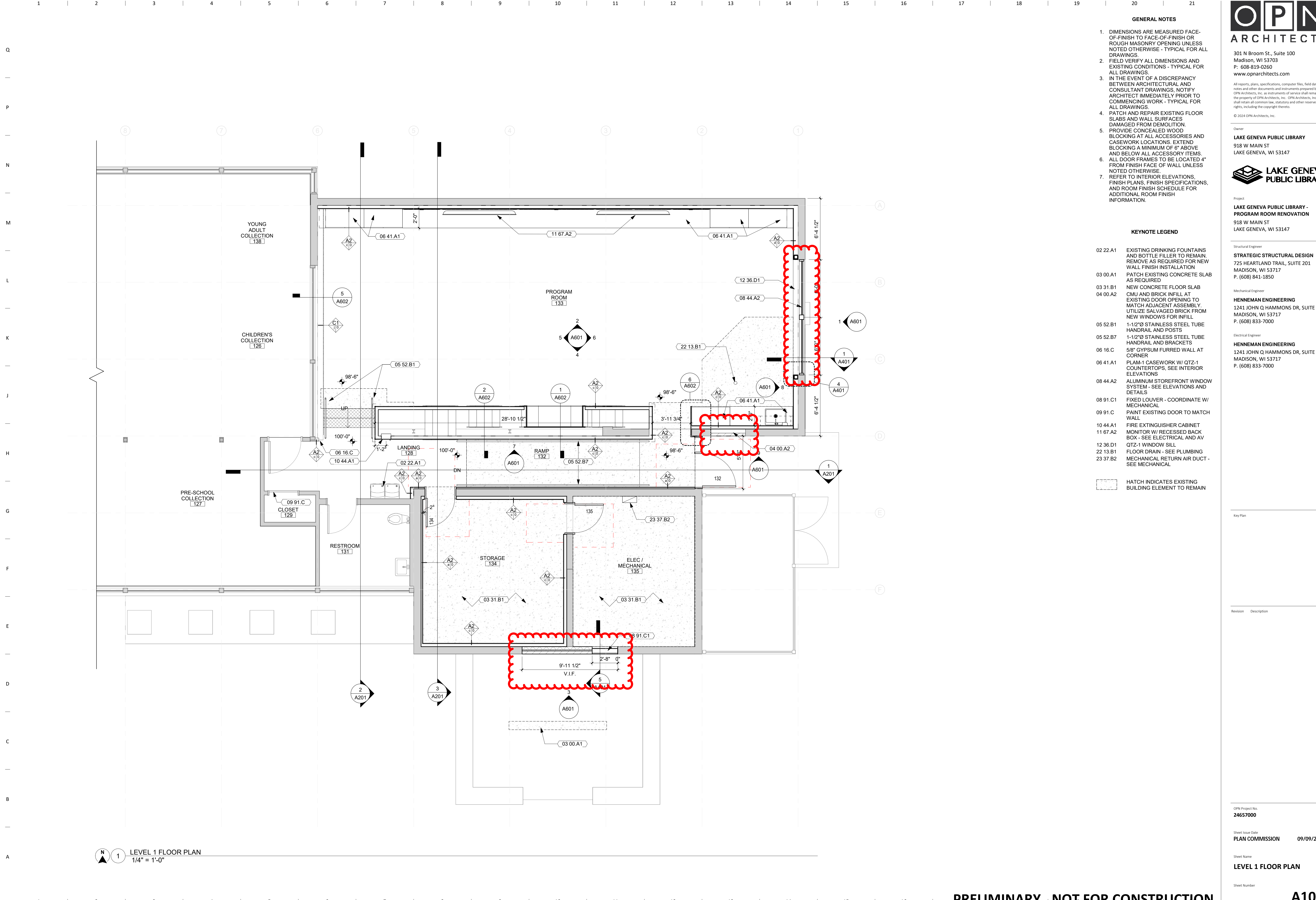
Revision Description Date

OPN Project No.
24657000

Sheet Issue Date
PLAN COMMISSION 09/09/2025

Sheet Name
INDEX, SEALS, LOCATION
MAP
Sheet Number

PRELIMINARY. NOT FOR CONSTRUCTION.



GENERAL NOTES

- DIMENSIONS ARE MEASURED FACE-OF-FINISH TO FACE-OF-FINISH OR ROUGH MASONRY OPENING UNLESS NOTED OTHERWISE - TYPICAL FOR ALL DRAWINGS.
- FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS - TYPICAL FOR ALL DRAWINGS.
- IN THE EVENT OF A DISCREPANCY BETWEEN ARCHITECTURAL AND CONSULTANT DRAWINGS, NOTIFY ARCHITECT IMMEDIATELY PRIOR TO COMMENCING WORK - TYPICAL FOR ALL DRAWINGS.
- PATCH AND REPAIR EXISTING FLOOR SLABS AND WALL SURFACES DAMAGED FROM DEMOLITION.
- PROVIDE CONCEALED WOOD BLOCKING AT ALL ACCESSORIES AND CASEWORK LOCATIONS. EXTEND BLOCKING A MINIMUM OF 6" ABOVE AND BELOW ALL ACCESSORY ITEMS.
- ALL DOOR FRAMES TO BE LOCATED 4" FROM FINISH FACE OF WALL UNLESS NOTED OTHERWISE.
- REFER TO INTERIOR ELEVATIONS, FINISH PLANS, FINISH SPECIFICATIONS, AND ROOM FINISH SCHEDULE FOR ADDITIONAL ROOM FINISH INFORMATION.

KEYNOTE LEGEND

- 02 22.A1 EXISTING DRINKING FOUNTAINS AND BOTTLE FILLER TO REMAIN. REMOVE AS REQUIRED FOR NEW WALL FINISH INSTALLATION
 - 03 00.A1 PATCH EXISTING CONCRETE SLAB AS REQUIRED
 - 03 31.B1 NEW CONCRETE FLOOR SLAB CMU AND BRICK INFILL AT EXISTING DOOR OPENING TO MATCH ADJACENT ASSEMBLY. UTILIZE SALVAGED BRICK FROM NEW WINDOWS FOR INFILL
 - 04 00.A2
 - 05 52.B1 1-1/2" Ø STAINLESS STEEL TUBE HANDRAIL AND POSTS
 - 05 52.B7 1-1/2" Ø STAINLESS STEEL TUBE HANDRAIL AND BRACKETS
 - 06 16.C 5/8" GYPSUM FURRED WALL AT CORNER
 - 06 41.A1 PLAM-1 CASEWORK W/ QTZ-1 COUNTERTOPS. SEE INTERIOR ELEVATIONS
 - 08 44.A2 ALUMINUM STOREFRONT WINDOW SYSTEM - SEE ELEVATIONS AND DETAILS
 - 08 91.C1 FIXED LOUVER - COORDINATE W/ MECHANICAL
 - 09 91.C PAINT EXISTING DOOR TO MATCH WALL
 - 10 44.A1 FIRE EXTINGUISHER CABINET MONITOR W/ RECESSED BACK BOX - SEE ELECTRICAL AND AV
 - 11 67.A2 QTZ-1 WINDOW SILL
 - 12 36.D1 FLOOR DRAIN - SEE PLUMBING
 - 23 37.B2 MECHANICAL RETURN AIR DUCT - SEE MECHANICAL
- HATCH INDICATES EXISTING BUILDING ELEMENT TO REMAIN



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Madison, WI 53703
P: 608-819-0260
www.opnarchitects.com

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Owner
LAKE GENEVA PUBLIC LIBRARY
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LAKE GENEVA, WI 53147



Project
LAKE GENEVA PUBLIC LIBRARY - PROGRAM ROOM RENOVATION
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Key Plan

Revision	Description	Date

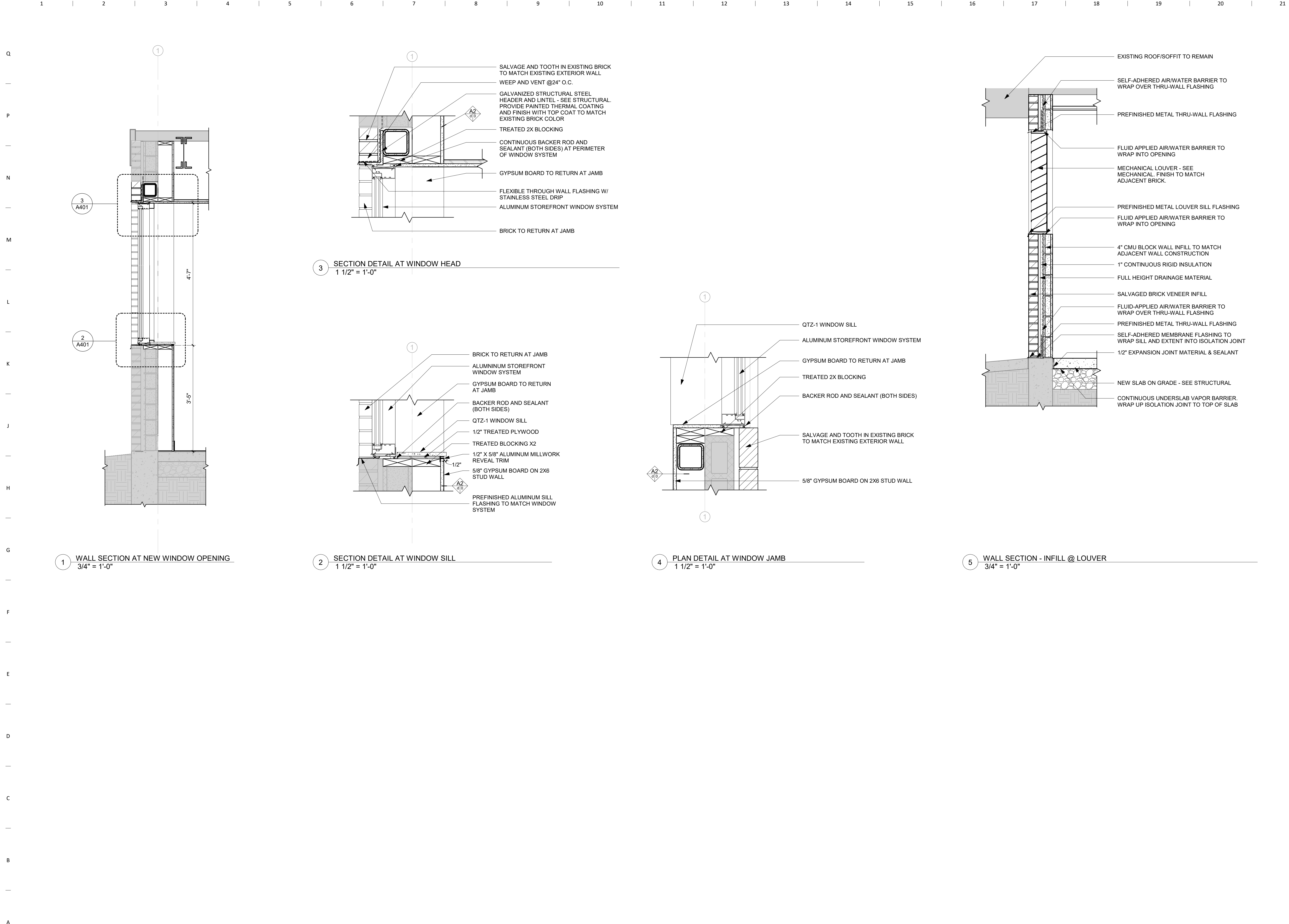
OPN Project No.
24657000

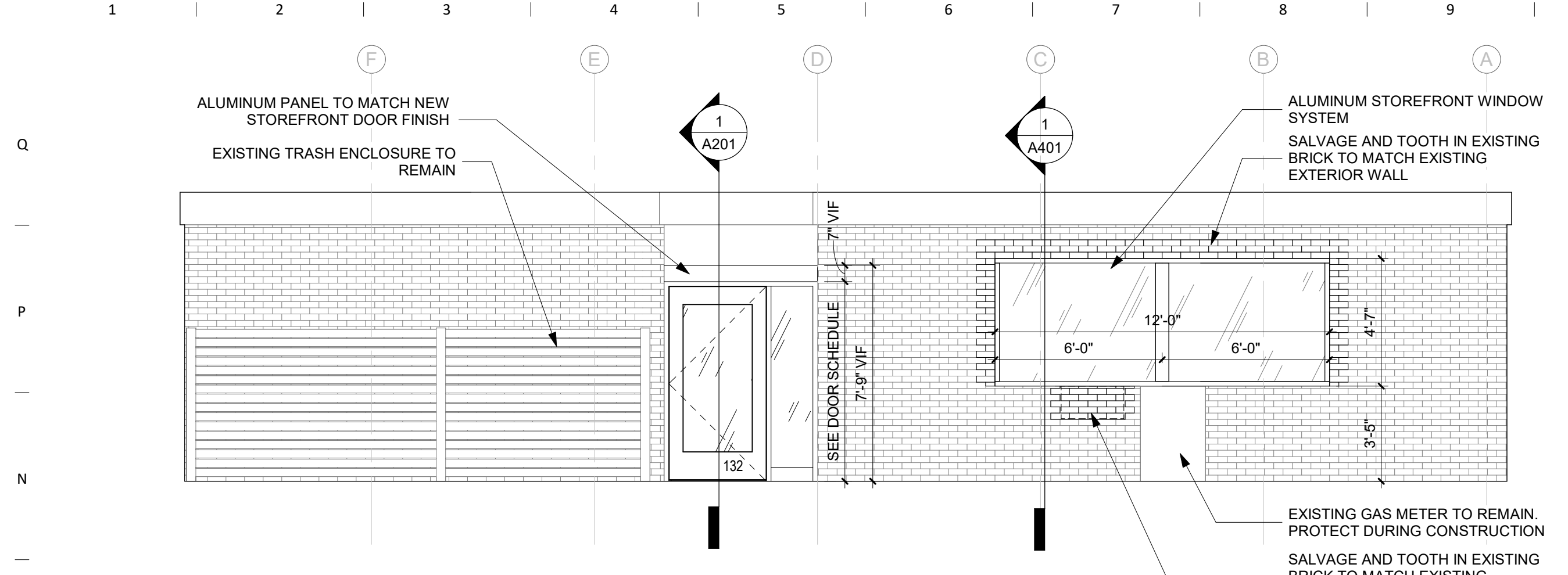
Sheet Issue Date
PLAN COMMISSION 09/09/2025

Sheet Name
LEVEL 1 FLOOR PLAN

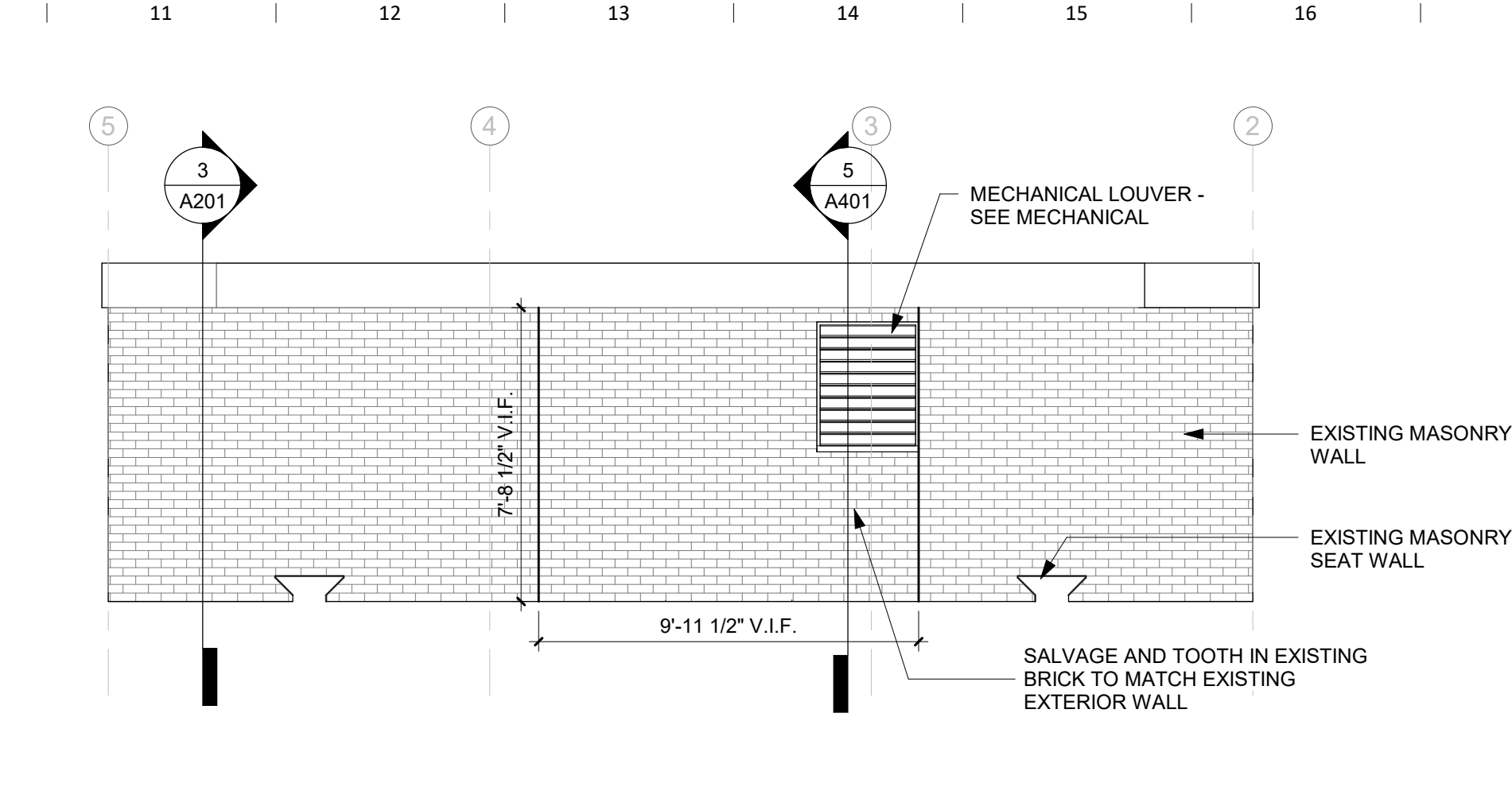
Sheet Number

LEVEL 1 FLOOR PLAN
1/4" = 1'-0"

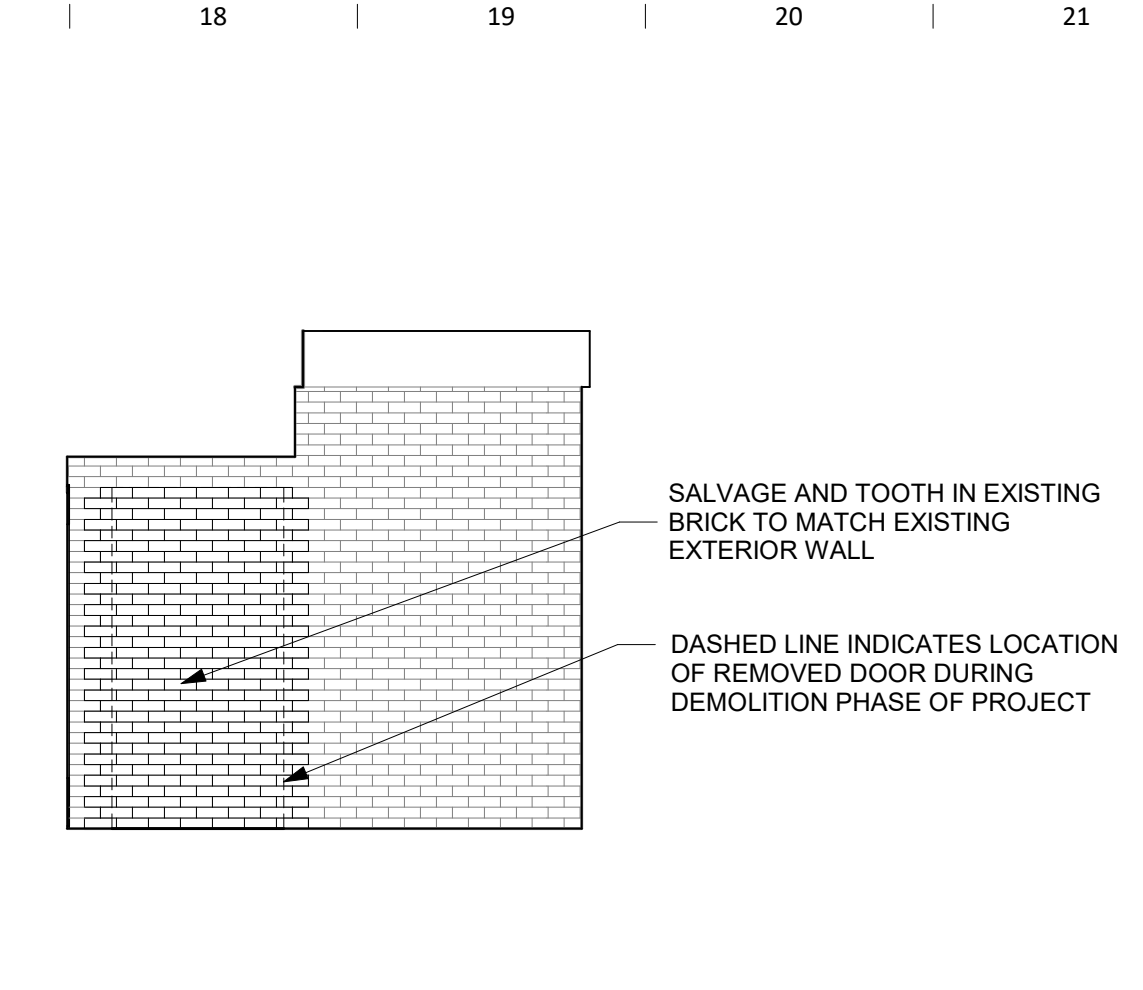




1 EXTERIOR ELEVATION - EAST
1/4" = 1'-0"



3 EXTERIOR ELEVATION - SOUTH
1/4" = 1'-0"



9 EXTERIOR ELEVATION - SOUTH
1/4" = 1'-0"



Key Plan

Revision Description Date

OPN Project No.
24657000

Sheet Issue Date
PLAN COMMISSION 09/09/2025

Sheet Name
EXTERIOR AND INTERIOR ELEVATIONS
Sheet Number



PROGRAM ROOM EAST EXTERIOR PERSPECTIVE - EXISTING



PROGRAM ROOM EAST EXTERIOR PERSPECTIVE - PROPOSED



PUBLIC RESTROOM SOUTH EXTERIOR PERSPECTIVE - EXISTING



PUBLIC RESTROOM SOUTH EXTERIOR PERSPECTIVE - PROPOSED

Amanda Rotondi, Building & Zoning Clerk Date

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: September 15, 2025

Agenda Item #7a

Applicant:

Megan Theune-Baillargeon
5000 S Towne Drive, Suite 160
New Berlin, WI

Request:

Snake Road Vacant Property
Tax Key No. JA432800004
Extraterritorial Land Division-Certified
Survey Map

Summary Description:

The parcel in question is unimproved and contains a large area of mature trees on the northeastern portion. The parcel also contains a creek on the northern portion. The applicant is requesting the lot division for the purpose of constructing a residential structure.

Action by the Plan Commission:

City of Lake Geneva City Code Section 66-15 *Extraterritorial Land Division Policies* provides policies to govern the Plan Commission in their approval of division of land with the extraterritorial area in order to protect rural character and farming viability. It is the responsibility of the Plan Commission to review the application against these policies and determine viability of the land division.

Staff Review Comments:

Staff believe that policy number three (3) of Section 66-13 speaks most closely to this land division request as follows: “The minimum density of residential development in the mile and ½ extraterritorial area shall be one acre.” The two (2) lots will consist of more than one acre each; therefore, meeting the intention of this policy.

Staff further believe that policy number five (5) is applicable to this property given that it contains an area mapped as Primary Environmental by the City of Lake Geneva. The policy states that: “Any lands falling within the limits of environmental corridor, as mapped by the city will be required to record a public open space easement specifying that the use shall be consistent with conservancy area zoning in the city zoning ordinance.” Staff recommend conditioning approval of the land division on requiring the Certified Survey Map note that a portion of the property is mapped Primary Environmental by the City of Lake Geneva.

Staff Recommendation on the proposed Conditional Use Permit:

1. Staff recommend that the Plan Commission approve the application based on the application consistency with the policies of Section 66-15 of the City of Lake Geneva City Code.
2. Staff further recommend the Plan Commission condition approval on the inclusion of a note on the Certified Survey Map that acknowledges a portion of each lot contains land mapped as Primary Environmental by the City of Lake Geneva.

City of Lake Geneva



APPLICATION FOR LAND DIVISION REVIEW

CERTIFIED SURVEY MAP or

SUBDIVISION PLAT

NAME AND ADDRESS OF CURRENT OWNER:

Dreamfield LLC. Attn. Mike Zinsky

1 N Franklin Avenue, Ste. 3175

Chicago, IL 60606

TELEPHONE NUMBER OF CURRENT OWNER: (312)832-6100

OWNER SIGNATURE: _____

EMAIL ADDRESS: mzinsky@wмитеam.com

PROJECT ADDRESS vacant Snake Rd, Lake Geneva, WI TAX KEY NUMBER: JA 432800004

NAME AND ADDRESS OF APPLICANT:

Megan Theune-Baillargeon | Lynch & Associates Engineering Consultants, LLC

5000 S Towne Drive, Suite 160

New Berlin, WI 53151

TELEPHONE NUMBER OF APPLICANT: (262)330-0500

EMAIL ADDRESS: MTHEUNE@LYNCH-ENGINEERING.COM

NAME AND ADDRESS OF SURVEYOR:

Ritchie P. Wenzel, PLS-4027 Lynch & Associates Engineering Consultants, LLC

5000 S Towne Drive, Suite 160

New Berlin, WI 53151

TELEPHONE NUMBER OF SURVEYOR: (262)330-0500

SHORT STATEMENT DESCRIBING PURPOSE OF APPLICATION:

2 Lot Certified Survey Map

\$200.00 fee, payable upon filing application

SUBMITTAL CHECKLIST

- X LOCATION MAP SHOWING LOCATION OF PARCELS TO BE DIVIDED OR PARTIALLY DIVIDED WITH TOWN OR TOWNS, AND PARCELS WITHIN 1,000-FT OF BOUNDARY OF SUBJECT PROPERTY.

- X SKETCH MAP TO APPROXIMATE SCALE SHOWING ENTIRE PARCELS TO BE DIVIDED OR PARTIALLY DIVIDED, AND SHOWING THE APPROXIMATE CONFIGURATION OF PROPOSED LOTS AND ROADS WITHIN THOSE PARCELS.

- X CITY OF LAKE GENEVA SIGNATURE BLOCK ON FACE OF CSM OR PLAT, PER STATE STATUTES.

- X PROVIDE 1 FULL SET - 11" X 17" OF CSM OR PLAT PRIOR TO PLACEMENT PLAN COMMISSION AGENDA. ON

- X PROVIDE 1 DIGITAL COPY OF THE FULL APPLICATION PACKET TO THE LAKE GENEVA BUILDING AND ZONING DEPARTMENT AT BZADMIN@CITYOFLAKEGENEVA.COM OR BZCLERK@CITYOFLAKEGENEVA.COM

I AM AWARE THAT THE CITY OF LAKE GENEVA IS ACTIVELY ENGAGED IN THE REVIEW, APPROVAL OR DENIAL OF LAND DIVISIONS WITHIN ITS EXTRATERRITORIAL LAND DIVISION REVIEW AREA.

I UNDERSTAND THAT THE CITY OF LAKE GENEVA LAND DIVISION ORDINANCE REQUIRES THE CITY TO DENY LAND DIVISIONS WHICH CREATE NEW, BUILDABLE PARCELS OR LOTS WITHIN THE EXTRATERRITORIAL AREA WITH OVERALL DENSITY THAT EXCEEDS MORE THAN ONE DWELLING UNIT PER THIRTY-FIVE ACRES UNLESS THE CITY DETERMINES THAT THE LAND DIVISION CONSTITUTES INFILL DEVELOPMENT.

August 5, 2025
DATE

Megan Theune-Bogn
SIGNATURE OF APPLICANT
Megan Theune-Baillargeon | Lynch & Associates Engineering Consultants, LLC

Megan Theune-Baillargeon Snake Rd, Lake Geneva, WI Cost Recovery # 25-455
 Petitioner Name Project Address AR#
 OFFICE USE ONLY Description of Request Land Div. Review

Agreement for Services

REIMBURSABLE BY THE PETITIONER / APPLICANT. The city may retain the services of the professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposals coming before the Plan commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any financing charges that may accrue. The City applies the charges for these services to the Petitioner. The City Administrator at any time may require an applicant to submit an advance deposit of **\$500 to \$5,000 depending on the complexity and anticipated involvement of the City's consultants** or continuing advance deposits against future billings by the City for recovery of costs provide by this ordinance 98-935(4). **An advanced deposit shall be required for the application related to Extraterritorial matters.** Surplus deposits shall be returned to the Applicant at the conclusion of the project.

Megan Theune-Baillargeon , as applicant/petitioner for
 Project: "Barndominium"
 Project Address: Snake Rd, Lake Geneva, WI
 Parcel No. JA 432800004
 Name: Megan Theune-Baillargeon | Lynch & Associates Engineering Consultants, LLC
 Address: 5000 S Towne Drive, Suite 160
 New Berlin, WI 53151
 Cell Phone: () - - Phone: (262) - 330 - 0500

Email: MTHEUNE@LYNCH-ENGINEERING.COM

Dated this 5th Day of August , 20 25

Megan Theune-Baillargeon

Printed Name of Applicant / Petitioner

Megan Theune-Bgn

Signature of Applicant/Petitioner

Applicant/Petitioner agrees that in addition to those normal costs payable by an applicant/petitioner (e.g., filing or permit fees, publication expenses, recording fees, etc.), that in the event the action applied or petitioned for requires the City of Lake Geneva, in the judgment of its staff, to obtain additional professional service(s), (e.g., engineering, surveying, planning, legal) than would be routinely available "in house" to enable the City to properly address, take appropriate action on, or determine the same, applicant/petitioner shall reimburse the City for the costs thereof

Section 98-935 Fees:

(1) Fees for Procedures or Permits Requested by a Private Party: The fees for the procedures and permits established by this Chapter shall be established by resolution of the Common Council of the City of Lake Geneva.

(2) Fees for Procedures Requested by the City of Lake Geneva: There shall be no fee in the case of applications filed in the public interest by the Common Council or the Plan Commission, other agency, or official of the City of Lake Geneva.

(3) Payment of Fees: Fees shall be payable at the time applications are filed with the appropriate officer of the City (per the requirements of this Chapter), and are not refundable.

(4) Professional Consultant Review Services: The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposal coming before the Plan Commission. The City may apply the charges for these services to the Petitioner. The City will require the Petitioner to sign a professional consultant review services form. The City Administrator at any time may require an applicant to submit an advance deposit of **\$500 to \$5,000 depending on the complexity and anticipated involvement of the City's consultants** or continuing advance deposits against future billings by the City for recovery of costs provide by this ordinance 98-935(4). **An advanced deposit shall be required for the application related to Extraterritorial matters.** The City may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until such fees are paid by the Petitioner. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal. Review fees which are applied to a Petitioner, but which are not paid, may be assigned by the City as a special assessment to the subject property.

CERTIFIED SURVEY MAP NO. _____

BEING A REDIVISION OF LOT 4 OF CSM NO. 4328 RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS IN VOLUME 28 PAGE 44, OF CERTIFIED SURVEY MAPS, IN WALWORTH COUNTY, AS DOCUMENT NO. 802681 ON NOVEMBER 15, 2010, LOCATED IN THE NORTHWEST 1/4 AND THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 35, TOWNSHIP 2 NORTH, RANGE 17 EAST OF THE FOURTH PRINCIPAL MERIDIAN LOCATED IN THE TOWN OF GENEVA, WALWORTH COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE:

I RITCHIE P. WENZEL, PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY:

THAT I HAVE SURVEYED, DIVIDED AND MAPPED A PARCEL OF LAND, BEING PART OF THE NORTHWEST 1/4 AND THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 35, TOWNSHIP 2 NORTH, RANGE 17 EAST OF THE FOURTH PRINCIPAL MERIDIAN LOCATED IN THE TOWN OF GENEVA, WALWORTH COUNTY, WISCONSIN. DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST 1/4 CORNER OF SAID SECTION 35 BEING THE POINT OF BEGINNING; THENCE NORTH 01°00'43" WEST, ALONG THE WEST LINE OF SAID SOUTHWEST 1/4 SECTION, 968.11 FEET; THENCE NORTH 81°07'00" EAST, 60.57 FEET; THENCE NORTH 53°17'09" EAST, 960.53 FEET; THENCE SOUTH 79°38'44" EAST, 486.65 FEET; THENCE SOUTH 01°19'41" EAST, 1433.77 FEET TO A POINT ON THE CENTERLINE OF SNAKE ROAD; THENCE SOUTHWESTERLY ALONG SAID CENTERLINE AND THE ARC OF A CURVE TO THE RIGHT (CENTRAL ANGLE = 32°30'24", RADIUS = 189.53 FEET, CHORD BEARS SOUTH 74°24'06" WEST, 106.09 FEET) 107.53 FEET TO A POINT ON THE SOUTH LINE OF SAID SECTION 35; THENCE SOUTH 89°53'56" WEST ALONG THE SAID SOUTH LINE, 1222.50 FEET TO THE POINT OF BEGINNING.

THE GROSS AREA OF SAID PARCEL CONTAINING 40.58 ACRES OR 1,767,723 SQUARE FEET OF LAND MORE OR LESS.

THAT I HAVE MADE SUCH SURVEY, LAND DIVISION AND MAP BY THE DIRECTION OF DREAMFIELD LLC, A DELAWARE LIMITED LIABILITY COMPANY, OWNER OF SAID LAND. THAT SUCH MAP IS A CORRECT REPRESENTATION OF THE EXTERIOR BOUNDARIES OF LAND SURVEYED AND LAND DIVISION MADE THEREOF. THAT I HAVE FULLY COMPLIED WITH THE PROVISION OF S. 236.34 OF THE WISCONSIN STATUTES AND THE PLATTING ORDINANCE OF RACINE COUNTY AND THE TOWN OF DOVER IN SURVEYING, DIVIDING, AND MAPPING THE SAME.

DATED THIS 5th DAY OF August, 2025.



RITCHIE P. WENZEL
PROFESSIONAL LAND SURVEYOR S-4027



LYNCH & ASSOCIATES
ENGINEERING & CONSTRUCTION, LLC
5000 S. TOWNE DRIVE, SUITE 160
NEW BERLIN, WI 53151
440 MILWAUKEE AVENUE
BURLINGTON, WI 53105
(262) 402-5040

Revised: 08/05/2025
Revised: 07/02/2025
Date: 05/30/2025
SHEET 1 OF 5

CERTIFIED SURVEY MAP NO.

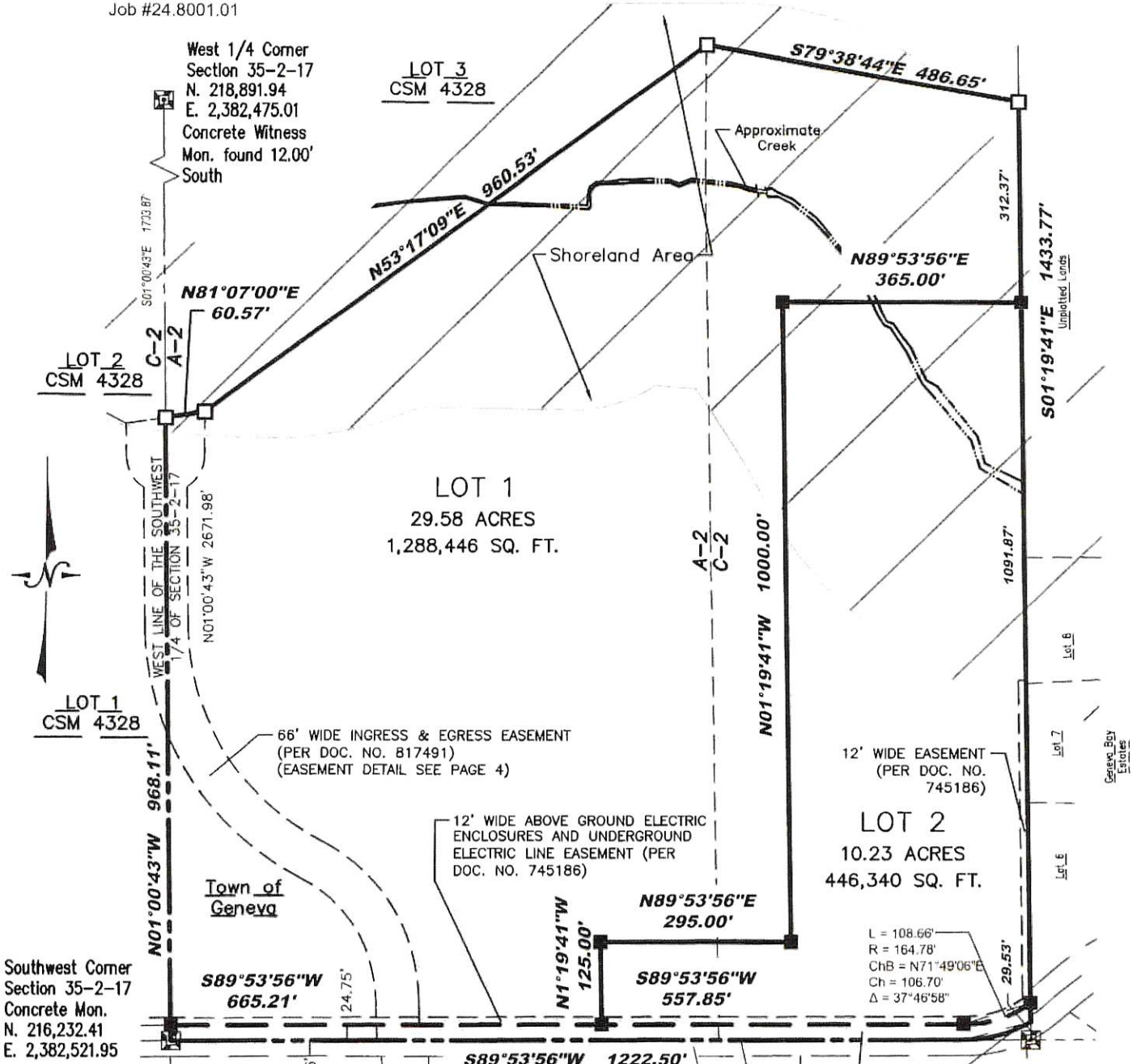
BEING A REDIVISION OF LOT 4 OF CSM NO. 4328 RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS IN VOLUME 28 PAGE 44, OF CERTIFIED SURVEY MAPS, IN WALWORTH COUNTY, AS DOCUMENT NO. 802681 ON NOVEMBER 15, 2010, LOCATED IN THE NORTHWEST 1/4 AND THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 35, TOWNSHIP 2 NORTH, RANGE 17 EAST OF THE FOURTH PRINCIPAL MERIDIAN LOCATED IN THE TOWN OF GENEVA, WALWORTH COUNTY, WISCONSIN.

SURVEYOR:
 RITCHIE P. WENZEL
 5000 S. TOWNE DRIVE
 SUITE 160
 NEW BERLIN, WI 53151
 Phone: (262) 402-5040
 Email: rwenzel@lynch-engineering.com
 Job #24.8001.01

OWNER/SUBDIVIDER:
 DREAMFIELD LLC,
 A DELAWARE LIMITED LIABILITY COMPANY
 1 N. FRANKLIN AVENUE; STE. 3175
 CHICAGO, IL 60606

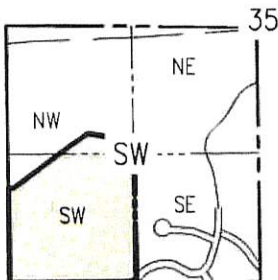
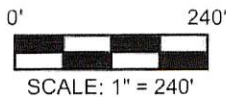
NOTE: APPROXIMATE ORDINARY HIGH WATER MARK - FOR REFERENCE ONLY PER STATE STATUTE 236.025.

ANY LAND BELOW THE ORDINARY HIGH WATER MARK OF A LAKE OR A NAVIGABLE STREAM IS SUBJECT TO THE PUBLIC TRUST IN NAVIGABLE WATERS THAT IS ESTABLISHED UNDER ARTICLE IX, SECTION 1, OF THE STATE CONSTITUTION



Legend:

- Found Concrete Monument
- Found 3/4" Iron Rod
- Set 3/4"x18" Iron Rod Weighing 1.18 lbs/Ft



24.75' OF ROW TO BE DEDICATED TO PUBLIC FOR ROAD PURPOSES
 0.76 ACRES
 32,937 SQ. FT.



LYNCH & ASSOCIATES
 ENGINEERING CONSULTANTS, INC.
 5000 S. TOWNE DRIVE, SUITE 160
 NEW BERLIN, WI 53151
 440 MILWAUKEE AVENUE
 BURLINGTON, WI 53105
 (262) 402-5040

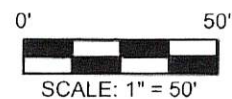
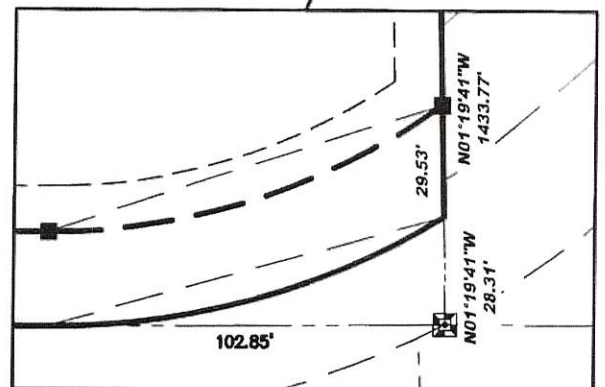
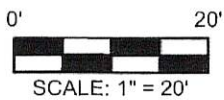
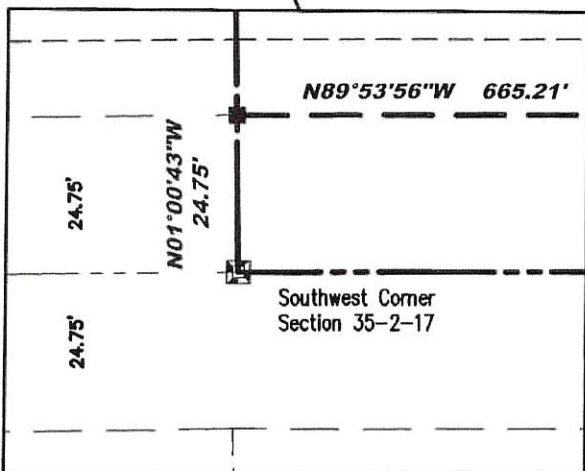
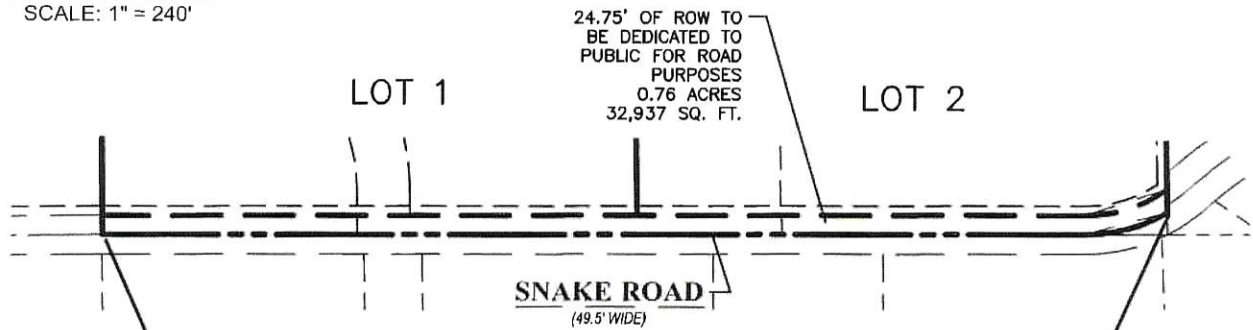
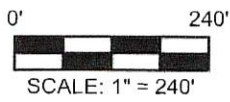
Bearings Referenced to Grid North of the Wisconsin State Plane Coordinate System, South Zone, (NAD-83), with the West line of the Southwest 1/4 of Section 35-2-17 having an assumed bearing of N 01°00'43"W

Revised: 08/05/2025
 Revised: 07/02/2025
 Date: 05/30/2025
 SHEET 2 OF 5

CERTIFIED SURVEY MAP NO. _____

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ROW DETAIL



LYNCH & ASSOCIATES
ENGINEERING CONSULTANTS, INC.
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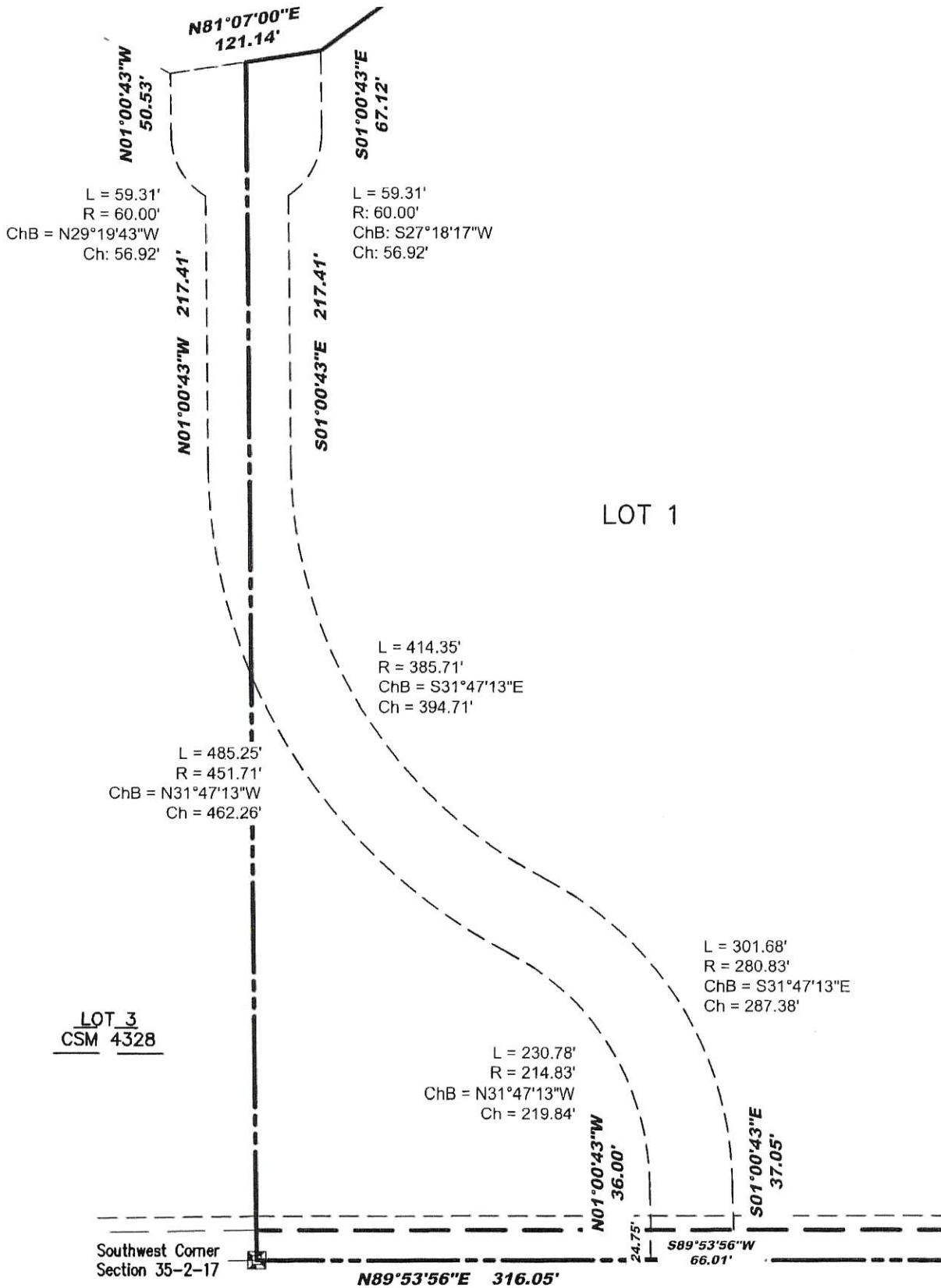


Revised: 08/05/2025
Revised: 07/02/2025
Date: 05/30/2025
SHEET 3 OF 5

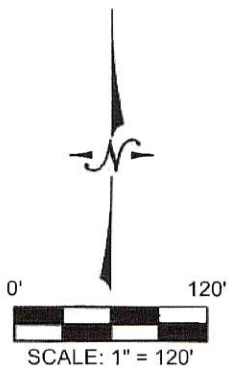
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EASEMENT DETAIL PER DOC. NO. 817491



LYNCH & ASSOCIATES
 ENGINEERS AND CONSULTANTS, INC.
 5000 S. TOWNE DRIVE, SUITE 160
 NEW BERLIN, WI 53151
 440 MILWAUKEE AVENUE
 BURLINGTON, WI 53105
 (262) 402-5040



Revised: 08/05/2025
 Revised: 07/02/2025
 Date: 05/30/2025
 SHEET 4 OF 5

RESOLUTION OF THE PLAN COMMISSION

Resolution approving a request for Extraterritorial Land Division filed by Megan Thuene-Baillargeon, 5000 S Towne Drive, Suite 160, New Berlin, WI, to divide the existing parcel identified by Tax Key No. JA432800004 into two (2) parcels.

Committee:	N/A		
Fiscal Impact:	N/A		
File Number:	PC-042	Date:	September 15, 2025

WHEREAS, the City of Lake Geneva Plan Commission has considered an Extraterritorial Land Division application filed by Megan Thuene-Baillargeon, 5000 S Towne Drive, Suite 160, New Berlin, WI, to divide the existing parcel identified by Tax Key No. JA432800004 into two (2) parcels; and,

WHEREAS, the Plan Commission made the following finding of fact:

1. The proposed Extraterritorial Land Division is consistent with the policies set forth by City of Lake Geneva City Code Section 66-15.

WHEREAS, the Plan Commission has assigned the following conditions of approval:

1. The Certified Survey Map shall acknowledge that the created parcels contain areas designated as Primary Environmental Corridors by the City of Lake Geneva.

NOW, THEREFORE, BE IT RESOLVED, that the Plan Commission hereby approves the Extraterritorial Land Division application filed by Megan Thuene-Baillargeon, 5000 S Towne Drive, Suite 160, New Berlin, WI, to divide the existing parcel identified by Tax Key No. JA432800004 into two (2) parcels per the findings of fact and conditions stated above.

PC Action: **Adopted** **Failed** **Vote** _____

Mayoral Action: **Accept** **Veto**

Todd Krause, Plan Commission Chair Date

Attest:

Amanda Rotondi, Building & Zoning Clerk Date

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date September 15, 2025

Agenda Item: #8a

Applicant:

Shadi Qattawi
25414 West Cedar Crest Lane
Lake Villa, Illinois

Request:

140 Broad Street

Conditional Use Permit:

- Establish an Indoor Commercial Entertainment use on the first floor; and,
- Expand the existing Commercial Apartment use on the second floor

Please note that applicants did not submit revised plans or additional information for consideration prior to this continued public hearing.

Attachments are from previous agenda.

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date August 18, 2025

Agenda Item: #7a

Applicant:
Shadi Qattawi
25414 West Cedar Crest Lane
Lake Villa, Illinois

Request:
140 Broad Street
Conditional Use Permit:

- Establish an Indoor Commercial Entertainment use on the first floor; and,
- Expand the existing Commercial Apartment use on the second floor

Description:
This application is for a Conditional Use Permit to allow for the establishment of an Indoor Commercial Entertainment (Restaurant) use on the ground floor and an expansion of the existing Commercial Apartment use on the upper floor of the existing building at 140 Broad Street.

Project Details from CUP Submittal

- The applicant proposes a façade rehabilitation to change the storefront into one more conducive to restaurant use. This building and location are appropriate for both restaurant use and upper floor commercial apartment.
- The applicant proposes an addition to the second floor of the building to accommodate an expansion of the existing commercial apartment use.
- Commercial apartments are permitted only by conditional use permit in the CB Commercial Business district. Although this use exists, expansion requires a new conditional use permit.
- Commercial apartments throughout downtown are common and an historically appropriate use.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Conditional Use Permit (CUP):

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUPs; and,
- Provide specific suggested *conditions* to modify the project as submitted.

Staff Review Comments:

The proposed conditional uses are typical uses found throughout the downtown area. This building was previously used for retail with the commercial apartment on the second floor. A use change to restaurant and commercial apartment is similar and is not anticipated to create nuisances for neighboring properties.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
- a. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - b. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - c. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 - d. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 - e. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
 - f. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the proposed Conditional Use Permit:

1. Staff recommend the Plan Commission to recommend approval of the proposed conditional uses as submitted.
2. Staff recommend the Plan Commission adopt the *affirmative set of findings* provided above.
3. Finally, staff recommend that *the following additional conditions of approval* be recommended:
 - a. Substantial conformance to the submitted Front Elevation W/Renovation Plan and Renovation Plan drawn by Midwest Design Group dated 11-22-25 revised 4-22-25, and
 - b. The applicant shall secure all required state and municipal permits prior to start of construction.



APPLICATION FOR CONDITIONAL USE
City of Lake Geneva

Site Address/Parcel No. and full Legal Description required (attach separate sheet if necessary):
140 Broad Street, Lake Geneva, WI 53147. Tax Key ZOP 00331

Name and Address of Current Owner: Constance M. Brunk, 7220 Aldrich Ave, Richfield, MN 55423

Telephone No. with area code & Email of Current Owner: Major@majorreo.com
310-487-6382

Owner Signature: *Constance M. Brunk*

Name and Address of Applicant:
Shadi Qattawi (Member), Name: King of Lobster Chicago LLC. 25414 W. Cedar Crest Lane., Lake Villa,
IL 60046

Telephone No. with area code & Email of Applicant: 773-759-9009, shqattawi@yahoo.com

Proposed Conditional Use: Full remodel of the interior and exterior of the building to accommodate a
food/restaurant type business.

Zoning District in which land is located: Lake Geneva Downtown Business District

Names and Addresses of architect, professional engineer and contractor of project:
Contractor: Architekton LLC., 2463 Vista Drive, Lake Geneva, WI 53147. Architect: Midwest Design Group, Michael J. McGee A-07250
Office: 224-800-3030, Email: adam.mgd@gmail.com, Lic# 184-004261

Short statement describing activities to take place on site:
Rehabilitation of commercial and residential spaces: Complete Rehabilitation of the commercial space on the lower level for a restaurant
specializing in Lobster Roll Sandwiches, as well as the renovation of the upper level residential unit. The scope includes the
development of new interiors and exteriors in accordance with the blueprints and design plans. Our goal is to create an inviting dining
atmosphere on the lower level while ensuring the upper unit is transformed into a modern comfortable living space.

Conditional Use Fee payable upon filing application: \$450.00 [\$150.00 for Application Under Sec. 98-407(3)]

6-11-25
Date

Shadi Qattawi
Signature of Applicant

pd. 6/16/25

Shadi Qattawi 140 Broad St Lake Geneva WI 53147 Cost Recovery # 25-450
Petitioner Name Project Address ART# 3785
OFFICE USE ONLY Description of Request CUP

Agreement for Services

REIMBURSABLE BY THE PETITIONER / APPLICANT. The city may retain the services of the professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposals coming before the Plan commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any financing charges that may accrue. The City applies the charges for these services to the Petitioner. The City Administrator at any time may require an applicant to submit an advance deposit of **\$500 to \$5,000 depending on the complexity and anticipated involvement of the City's consultants** or continuing advance deposits against future billings by the City for recovery of costs provide by this ordinance 98-935(4). **An advanced deposit shall be required for the application related to Extraterritorial matters.** Surplus deposits shall be returned to the Applicant at the conclusion of the project.

Shadi Qattawi, as applicant/petitioner for

Project: Complete renovation of commercial space and residential space

Project Address: 140 Broad St Lake Geneva WI 53147

Parcel No. ZOP 00331 Tax Key

Name: _____

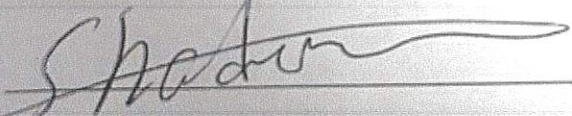
Address: 25414 W. Cedar Crest Lane., Lake Villa IL 60046

Cell Phone: (773) - 759 - 9009 Phone: (_____) - _____ - _____

Email: Shqattawi@yahoo.com

Dated this June Day of 11, 2025

Shadi Qattawi
Printed Name of Applicant / Petitioner


Signature of Applicant/Petitioner

Applicant/Petitioner agrees that in addition to those normal costs payable by an applicant/petitioner (e.g., filing or permit fees, publication expenses, recording fees, etc.), that in the event the action applied or petitioned for requires the City of Lake Geneva, in the judgment of its staff, to obtain additional professional service(s), (e.g., engineering, surveying, planning, legal) than would be routinely available "in house" to enable the City to properly address, take appropriate action on, or determine the same, applicant/petitioner shall reimburse the City for the costs thereof

Section 98-935 Fees:

(1) Fees for Procedures or Permits Requested by a Private Party: The fees for the procedures and permits established by this Chapter shall be established by resolution of the Common Council of the City of Lake Geneva

(2) Fees for Procedures Requested by the City of Lake Geneva: There shall be no fee in the case of applications filed in the public interest by the Common Council or the Plan Commission, other agency, or official of the City of Lake Geneva.

(3) Payment of Fees: Fees shall be payable at the time applications are filed with the appropriate officer of the City (per the requirements of this Chapter), and are not refundable.

(4) Professional Consultant Review Services: The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposal coming before the Plan Commission. The City may apply the charges for these services to the Petitioner. The City will require the Petitioner to sign a professional consultant review services form. The City Administrator at any time may require an applicant to submit an advance deposit of **\$500 to \$5,000 depending on the complexity and anticipated involvement of the City's consultants** or continuing advance deposits against future billings by the City for recovery of costs provide by this ordinance 98-935(4). **An advanced deposit shall be required for the application related to Extraterritorial matters.** The City may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until such fees are paid by the Petitioner. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal. Review fees which are applied to a Petitioner, but which are not paid, may be assigned by the City as a special assessment to the subject property.

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
CONDITIONAL USE REVIEW AND APPROVAL (Requirements per Section 98-905)**

This form should be used by the Applicant as a guide to submitting a complete application for a conditional use and by the City to process said application. Parts II and III should be used by the Applicant to submit a complete application; Parts I - IV should be used by the City as a guide when processing said application.

I. RECORDATION OF ADMINISTRATIVE PROCEDURES

___ Pre-submittal staff meeting scheduled:

Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

Follow-up pre-submittal staff meetings scheduled for:

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Application form filed with Zoning Administrator: Date: _____ by: _____

___ Application fee of \$ _____ received by Zoning Administrator: Date: _____ by: _____

___ Reimbursement of professional consultant costs agreement executed: Date: _____ by: _____

II. APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 1 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 1 initial draft application packet and 1 digital copy for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (1 Copy and 1 Digital Copy to Zoning Administrator) Date: _____ by: _____

↓ *Draft Final Packet (1 Copies and 1 Digital Copy to Zoning Administrator)* Date: _____ by: _____

↓

___ (a) **A map of the proposed conditional use:**

- ___ Showing all lands for which the conditional use is proposed;
- ___ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;
- ___ Map and all its parts are clearly reproducible with a photocopier;
- ___ Map size of 11" by 17" and map scale not less than one inch equals 800 ft;
- ___ All lot dimensions of the subject property provided;
- ___ Graphic scale and north arrow provided.

___ (b) **A map, such as the Land Use Plan Map, of the generalized location of the subject property in relation to the City as a whole:**

___ (c) **A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations;**

_____ (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.

_____ (e) Written justification for the proposed conditional use:
_____ Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. (See below)

III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

The proposed conditional use application for a restaurant with residential living space above aligns with the City of Lake Geneva's comprehensive plan by revitalizing a decrepit building in the downtown area, enhancing the aesthetic appeal and functionality of the space. This project supports the city's goals of promoting mixed-use developments, fostering economic growth, and providing vibrant community spaces.

2. How is the proposed conditional use, in its specific location, in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

The proposed conditional use application for a restaurant with residential space above aligns with Lake Geneva's comprehensive plan by revitalizing a deteriorating property, promoting mixed-use development, enhancing downtown vitality, and supporting local economic growth.

3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?

The project enhances the area by revitalizing a deteriorating building while providing adequate parking and maintaining traffic flow. Environmental factors have been considered, and no significant negative effects on public health, safety, or welfare are anticipated. Overall, the development aims to contribute positively to the community.

4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

This project complements existing commercial and residential properties, enhancing the neighborhood's vibrancy while ensuring compatible impacts through thoughtful design and

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

The proposed conditional use is located in an area well-served by existing utilities and public services, ensuring no additional burden on those resources.

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

Yes, the potential public benefits of the conditional use application, including economic revitalization and enhanced local amenities, outweigh any potential adverse impacts, especially with the applicant's proposed mitigation measures.

IV. FINAL APPLICATION PACKET INFORMATION

____ Receipt of 1 full scale copy in blueline or blackline of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ Receipt of 1 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ A digital copy of Final Application Packet shall be emailed to the Building and Zoning Department upon submittal deadline. Date: _____ by: _____

____ Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice published on _____ and _____ by: _____

____ Conditional Use recorded with the County Register of Deeds Office: Date: _____ by: _____

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
SITE PLAN REVIEW AND APPROVAL (Requirements per Section 98-908)**

This form should be used by the Applicant as a guide to submitting a complete application for a site plan review and by the City to process said application. Part II should be used by the Applicant to submit a complete application; Parts I - III should be used by the City as a guide when processing said application.

I. RECORDATION OF ADMINISTRATIVE PROCEDURES

___ **Pre-submittal staff meeting scheduled:**

Date of Meeting: _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

Follow-up pre-submittal staff meetings scheduled for:

___ **Date of Meeting:** _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

___ **Date of Meeting:** _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

___ **Date of Meeting:** _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

___ **Date of Meeting:** _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

___ **Application form filed with Zoning Administrator:** **Date:** _____ **by:** _____

___ **Application fee of \$ _____ received by Zoning Administrator:** **Date:** _____ **by:** _____

___ **Reimbursement of professional consultant costs agreement executed:** **Date:** _____ **by:** _____

II. APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 1 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 1 initial draft application packet and 1 digital copy for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (1 Copy and 1 Digital Copy to Zoning Administrator) **Date:** _____ **by:** _____
 ↓ *Draft Final Packet (1 Copies and 1 Digital Copy to Zoning Administrator)* **Date:** _____ **by:** _____
 ↓

- ___ (a) **A written description of the intended use describing in reasonable detail the:**
- ___ Existing zoning district(s) (and proposed zoning district(s) if different);
 - ___ Land use plan map designation(s);
 - ___ Current land uses present on the subject property;
 - ___ Proposed land uses for the subject property (per Section 98-206);
 - ___ Projected number of residents, employees, and daily customers;
 - ___ Proposed amount of dwelling units, floor area, impervious surface area, and landscape surface area, and resulting site density, floor area ratio, impervious surface area ratio, and landscape surface area ratio;
 - ___ Operational considerations relating to hours of operation, projected normal and peak water usage, sanitary sewer or septic loadings, and traffic generation;

- ___ Operational considerations relating to potential nuisance creation pertaining to noncompliance with the performance standards addressed in Article VII (Sections 98-701-98-721) including: street access, traffic visibility, parking, loading, exterior storage, exterior lighting, vibration, noise, air pollution, odor, electromagnetic radiation, glare and heat, fire and explosion, toxic or noxious materials, waste materials, drainage, and hazardous materials;
- ___ If no nuisances will be created (as indicated by complete and continuous compliance with the provisions of Article VII), then include the statement "The proposed development shall comply with all requirements of Article VII.";
- ___ Exterior building and fencing materials (Sections 98-718 and 98-720);
- ___ Possible future expansion and related implications for points above;
- ___ Any other information pertinent to adequate understanding by the Plan Commission of the intended use and its relation to nearby properties.

___ (b) A **Small Location Map** at 11" x 17" showing the subject property, all properties within 300 feet, and illustrating its relationship to the nearest street intersection. (A photocopy of the pertinent section of the City's Official Zoning Map with the subject property clearly indicated shall suffice to meet this requirement.)

___ (c) A **Property Site Plan** drawing which includes:

- ___ A title block which indicates the name, address and phone/fax number(s) of the current property owner and/or agent(s) (developer, architect, engineer, planner) for project;
- ___ The date of the original plan and the latest date of revision to the plan;
- ___ A north arrow and a graphic scale (not smaller than one inch equals 100 feet);
- ___ A reduction of the drawing at 11" x 17";
- ___ A legal description of the subject property;
- ___ All property lines and existing and proposed right-of-way lines with bearings and dimensions clearly labeled;
- ___ All existing and proposed easement lines and dimensions with a key provided and explained on the margins of the plan as to ownership and purpose;
- ___ All required building setback lines;
- ___ All existing and proposed buildings, structures, and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities, and walls;
- ___ The location and dimension (cross-section and entry throat) of all access points onto public streets;
- ___ The location and dimension of all on-site parking (and off-site parking provisions if they are to be employed), including a summary of the number of parking stalls provided versus required by the Ordinance;
- ___ The location and dimension of all loading and service areas on the subject property and labels indicating the dimension of such areas;
- ___ The location of all outdoor storage areas and the design of all screening devices;
- ___ The location, type, height, size and lighting of all signage on the subject property to include a photometric plan;
- ___ The location, height, design/type, illumination power and orientation of all exterior lighting on the subject property -- including the clear demonstration of compliance with Section 98-707;
- ___ All engineering requirements for utilities, site designs, etc;
- ___ The location and type of any permanently protected green space areas;
- ___ The location of existing and proposed drainage facilities for storm water;

- ___ In the legend, data for the subject property on:
 - ___ Lot Area;
 - ___ Floor Area;
 - ___ Floor Area Ratio (b/a);
 - ___ Impervious Surface Area;
 - ___ Impervious Surface Ratio (d/a);
 - ___ Building Height.

- ___ ___ (d) **A Detailed Landscaping Plan of the subject property:**
 - ___ Scale same as main plan (> or equal to 1" equals 100')
 - ___ Map reduction at 11" x 17"
 - ___ Showing the location of all required buffer yard and landscaping areas
 - ___ Showing existing and proposed Landscape Point fencing
 - ___ Showing berm options for meeting said requirements
 - ___ Demonstrating complete compliance with the requirements of Article VI
 - ___ Providing individual plant locations and species, fencing types and heights, and berm heights;

- ___ ___ (e) **A Grading and Erosion Control Plan:**
 - ___ Same scale as the main plan (> or equal to 1" equals 100')
 - ___ Map reduction at 11" x 17"
 - ___ Showing existing and proposed grades including retention walls and related devices, and erosion control measures.

- ___ ___ (f) **Elevation Drawings of proposed buildings or remodeling of existing buildings:**
 - ___ Showing finished exterior treatment;
 - ___ With adequate labels provided to clearly depict exterior materials, texture, color and overall appearance;
 - ___ Perspective renderings of the proposed project and/or photos of similar structures may be submitted, but not in lieu of adequate drawings showing the actual intended appearance of the buildings.

NOTE: Initiation of Land Use or Development Activity: Absolutely no land use or development activity, including site clearing, grubbing, or grading shall occur on the subject property prior to the approval of the required site plan. Any such activity prior to such approval shall be a violation of law and shall be subject to all applicable enforcement mechanisms and penalties.

NOTE: Modification of an Approved Site Plan: Any and all variation between development and/or land use activity on the subject property and the approved site plan is a violation of law. An approved site plan shall be revised and approved via the procedures of Subsections 98-908(2) and (4) so as to clearly and completely depict any and all proposed modifications to the previously approved site plan, prior to the initiation of said modifications.

III.FINAL APPLICATION PACKET INFORMATION

___ **Receipt of 1 full scale copy in blue/line or black/line of complete Final Application Packet by Zoning Administrator:** Date: _____ by: _____

___ **Receipt of 1 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator:** Date: _____ by: _____

___ **A digital copy of Final Application Packet shall be emailed to the Building and Zoning Department upon submittal deadline.** Date: _____ by: _____

Development Review Committee (DRC) Application

Complete as much detailed information as possible to allow for a comprehensive departmental review prior to a Development Review Committee meeting. This application must be returned to the Building Inspector, with all conceptual plans, designs and other information prior to the scheduling a DRC meeting.

Applicant Information

Property Address 140 Broad St Lake Geneva WI 53147

Applicant name Shadi Qattawi

Applicant email Shqattawi@yahoo.com Phone Number 773-759-9009

Architect/Contractor/Designer Name _____

Architect/Contractor/Designer Email Adam.mgd@gmail.com Phone Number 224-800-3030

Type of Construction: New _____ Addition _____ Remodel x _____

Type of Development: Single-family x _____ Multi-family _____ Commercial x _____ Industrial _____

Type of Business _____

Engineering

Site Plans should include the following: Project title and owner's/developer's name and address noted, architect's and/or engineer's name and address noted, property boundaries and dimensions, abutting property zoning classifications, general description of building materials, façade and roof detail, setback lines indicated, easements for access, if any, 100-year floodplain identification, existing and proposed topography shown at a contour interval of one foot, indicating proposed grade and location of improvements, signage and outdoor lighting, number of parking spaces provided, type, size and location of all structures with all building dimensions shown, location of existing and general location of proposed sanitary sewers, storm sewers, water-mains, and any proposed stormwater management facilities, location, extent and type of proposed landscaping and landscaping plantings and buffers to adjacent property, including fencing or other screening, location of pedestrian sidewalks and walkways, graphic outline of any development staging that is planned, driveway locations and sizes, handicap accessibility, environmental concerns (odor, smoke, noise, graphic scale and north arrow).

- Storm water management provisions provided? YES / NO
 - As-built/certification notification
- Erosion control plan provided? YES / NO
- Wetlands, floodplains, environmental corridors, groundwater Identified. YES / NO
- Utility Plans Provided
 - Watermain
 - Sanitary Sewer
 - Storm Water
- Is a Land Division required? YES / NO
- Access points and dimensions shown? YES / NO
 - WISDOT Right-of-way?
 - County Right-of-way?
- Estimated Traffic impacts _____
 - Traffic Study Required YES/NO
 - Traffic Control Plan Required YES/NO
 - Will construction affect street parking or intersections? YES / NO

- Paving Materials, Typical Sections? YES / NO
- WDNR Notice of Intent required? (Land disturbance more than 1 acre)? YES / NO
- Watermain extension required? YES / NO
- Sanitary sewer extension required? YES / NO
- SEWRPC Service Area Amendment needed? YES / NO
- Is a Chapter 30 Permit (wetland/waterway) required? YES / NO
- Proposed building/expansion dimensions _____
- Will there be signage? YES / NO type (mounted, freestanding) _____
- Exterior lighting plans? YES / NO
- What kind of noise or level of noise will the business have? _____
- Detailed property Site Plan? YES / NO Date of Plan: _____
- Green Space Calculations (Existing vs. Proposed) YES / NO
- Are landscape plans provided? YES / NO
- Is a Land Division required? YES / NO

Water/Sewer Utilities

If an existing structure please circle the following:

- Will existing sewer & water connections be used? YES / NO
- Will your project require the installation of a grease interceptor? YES / NO

If the development is Commercial or Industrial, please provide the following:

- Water service size requirement _____
- Estimated daily water usage in gallons per day _____
- Estimated maximum water flow in gallons per minute _____
- Number of bathrooms _____
- Brief description of process (if Industrial) _____

If the development is a multi-family dwelling, please provide the following:

- Number of units _____
- Number of bedrooms in each unit _____
- Water service size requirement _____



Full Report

Property Location : 140 Broad St

View: Full Report View

Report Options

Print Report

Search Criteria

Search Results

Modify Search

Taxed by: City Of Lake Geneva

Taxkey # ZOP 00331

Owner:
Brunk Constance M
7220 Aldrich Ave
Richfield, MN 55423

Owner Occupied:

Property Address:

140 Broad St
Lake Geneva, WI 53147-2002

ID Walk Down

ID Walk Up

Record 1 of 1 selected records
County: Walworth
Taxed by: City Of Lake Geneva
Taxkey # ZOP 00331

Assessments

Assessment Year	Property Class	Land Assessment	Improvement Assessment	Total Assessment	Percent Of Change	Acres	Ratio
2024	Commercial	\$ 208,000	\$ 329,500	\$ 537,500	0.000 -	0.031	0.910834629
2023	Commercial	\$ 208,000	\$ 329,500	\$ 537,500	109.144 †	0.031	1.015491093
2022	Commercial	\$ 56,700	\$ 200,300	\$ 257,000	0.000 -	0.030	0.870437722
2021	Commercial	\$ 56,700	\$ 200,300	\$ 257,000	0.000 -	0.030	0.975196153
2020	Commercial	\$ 56,700	\$ 200,300	\$ 257,000	9.829 †	0.030	0.999429656
2019	Commercial	\$ 56,700	\$ 177,300	\$ 234,000	0.000 -	0.030	0.953164976
2018	Commercial	\$ 56,700	\$ 177,300	\$ 234,000	0.000 -	0.030	0.978782866
2017	Commercial	\$ 56,700	\$ 177,300	\$ 234,000	0.000 -	0.030	0.980372004
2016	Commercial	\$ 56,700	\$ 177,300	\$ 234,000	0.000 -	0.030	1.001471453

Taxes

Tax Year	Total Tax	First Dollar	Lottery Credit	Net Tax	Special Taxes	Special Assessment	Special Charges	Full Pay Amount	Ratio
2024	\$7,119.21	\$60.51		\$7,058.70		\$1,101.70		\$8,160.40	0.910834629
2023	\$6,886.55	\$64.61		\$6,821.94		\$872.53		\$7,694.47	1.015491093
2022	\$4,382.70	\$67.63		\$4,315.07		\$587.36		\$4,902.43	0.870437722
2021	\$4,339.21	\$68.05		\$4,271.16		\$586.35		\$4,857.51	0.975196153
2020	\$4,437.60	\$68.74		\$4,368.86		\$597.05		\$4,965.91	0.999429656
2019	\$4,512.34	\$75.11		\$4,437.23		\$549.82		\$4,987.05	0.953164976
2018	\$4,628.18	\$79.18		\$4,549.00		\$484.39		\$5,033.39	0.978782866
2017	\$4,866.94	\$80.27		\$4,786.67		\$506.57		\$5,293.24	0.980372004
2016	\$4,979.65	\$80.38		\$4,899.27		\$478.15		\$5,377.42	1.001471453

Assessor

Building Square Feet :	Year Built :	Township :
Bedrooms :	Year Remodeled :	Range :
Full Baths :	Effective Year Built :	Section :
Half Baths :	Air Conditioning :	Quarter :
Total Rooms :	Fireplace :	Pool :
Number of Stories :	Number of Units :	Attic :
Building Type :	Basement :	
Exterior Wall :	Heat :	
Exterior Condition :	Garage :	
Land Use :	School District : 2885 Lake Geneva J1	
Zoning :	Historic Designation :	

Legal Description

S 22 1/2' Lot 1 Blk 31 Original Plat City Of Lake Geneva

Sales

Conveyance Date : 2/24/2005	Date Recorded : 3/1/2005	Value/Sale Price : \$ 125,000.00
Grantor Name : Winter Kimme K		Transfer Fee : \$ 375.00
Grantee Name : Brunk Connie M		Document# : 632453
Conveyance Instrument : Warranty Deed	Conveyance Type :	
Conveyance Date : 4/7/1999	Date Recorded : 5/5/1999	Value/Sale Price : \$ 125,000.00
Grantor Name : Brunk Constance M		Transfer Fee : \$ 375.00
Grantor Name : Brunk Connie M		

Full Report
Property Location : 140 Broad St

Owner:

Brunk Constance M
7220 Aldrich Ave
Richfield, MN 55423

Owner Occupied:
Property Address:
140 Broad St
Lake Geneva, WI 53147-2002

County: Walworth
Taxed by: City Of Lake Geneva
Taxkey # ZOP 00331

Assessments

Assessment Year	Property Class	Land Assessment	Improvement Assessment	Total Assessment	Percent Of Change	Acres	Ratio
2023	Commercial	\$ 208,000	\$ 329,500	\$ 537,500	109.144	0.031	1.015491093
2022	Commercial	\$ 56,700	\$ 200,300	\$ 257,000	0.000	0.030	0.870437722
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2020	Commercial	\$ 56,700	\$ 200,300	\$ 257,000	9.829	0.030	0.999429656
2019	Commercial	\$ 56,700	\$ 177,300	\$ 234,000	0.000	0.030	0.953164976
2018	Commercial	\$ 56,700	\$ 177,300	\$ 234,000	0.000	0.030	0.978782866
2017	Commercial	\$ 56,700	\$ 177,300	\$ 234,000	0.000	0.030	0.980372004
2016	Commercial	\$ 56,700	\$ 177,300	\$ 234,000	0.000	0.030	1.001471453
2015	Mercantile	\$ 56,700	\$ 177,300	\$ 234,000	0.000	0.030	0.978021359

Taxes

Tax Year	Total Tax	First Dollar	Lottery Credit	Net Tax	Special Taxes	Special Assessment	Special Charges	Full Pay Amount
2023	\$6,886.55	\$64.61		\$6,821.94		\$872.53		\$7,694.47
2022	\$4,382.70	\$67.63		\$4,315.07		\$587.36		\$4,902.43
2021	\$4,339.21	\$68.05		\$4,271.16		\$586.35		\$4,857.51
2020	\$4,437.60	\$68.74		\$4,368.86		\$597.05		\$4,965.91
2019	\$4,512.34	\$75.11		\$4,437.23		\$549.82		\$4,987.05
2018	\$4,628.18	\$79.18		\$4,549.00		\$484.39		\$5,033.39
2017	\$4,866.94	\$80.27		\$4,786.67		\$606.57		\$5,293.24
2016	\$4,979.65	\$80.38		\$4,899.27		\$478.15		\$5,377.42
2015	\$5,236.00	\$81.21		\$5,154.79		\$475.79		\$5,630.58

Assessor

Building Square Feet :	Year Built :	Township :
Bedrooms :	Year Remodeled :	Range :
Full Baths :	Effective Year Built :	Section :
Half Baths :	Air Conditioning :	Quarter :
Total Rooms :	Fireplace :	Pool :
Number of Stories :	Number of Units :	Attic :
Building Type :	Basement :	
Exterior Wall :	Heat :	
Exterior Condition :	Garage :	
Land Use :	School District :	2885 Lake Geneva J1
Zoning :	Historic Designation :	

Legal Description

S 22 1/2' Lot 1 Blk 31 Original Plat City Of Lake Geneva

Sales

Conveyance Date :	2/24/2005	Date Recorded :	3/1/2005	Value/Sale Price :	\$ 125,000.00
Grantor Name :	Winter Kimme K	Transfer Fee :			\$ 375.00
Grantee Name :	Brunk Connie M	Document# :			632453
Conveyance Instrument :	Warranty Deed	Conveyance Type :			
Conveyance Date :	4/7/1999	Date Recorded :	5/5/1999	Value/Sale Price :	\$ 125,000.00
Grantor Name :	Brunk Constance M	Transfer Fee :			\$ 375.00
Grantee Name :	Brunk Connie M	Document# :			414930
Conveyance Instrument :	Quit Claim Deed	Conveyance Type :			
Conveyance Date :	6/28/1993	Date Recorded :	6/29/1993	Value/Sale Price :	
Grantor Name :	Brunk J Orion	Transfer Fee :			
Grantee Name :	Brunk Constance M	Document# :			260880
Conveyance Instrument :	Quit Claim Deed	Conveyance Type :			
Conveyance Date :	9/28/1988	Date Recorded :	10/21/1988	Value/Sale Price :	\$ 84,000.00
Grantor Name :	Breaker Matthew Walter Jr	Transfer Fee :			\$ 252.00
	Fraser, Marilyn Louise Breaker				

PERMIT CONDITIONS NOTES:

EACH PANE OF SAFETY GLAZING SHALL BE PERMANENTLY LABELED BY THE MANUFACTURER SPECIFYING THE MANUFACTURER'S NAME, AND THAT IT COMPLIES WITH TEST STANDARDS CPSC 16 CFR 1201.

CARPET SHALL MEET ILLINOIS ACCESSIBILITY CODE REQUIREMENTS, BE SECURELY ATTACHED, TEXTURE TYPE, FIRM CUSHION PAD OR BACKING, OR NO CUSHION PAD OR BACKING, MAX. 1/2" THICK PILE, AND TRIM ALONG EXPOSED EDGES THAT MEETS CHANGE OF LEVEL REQUIREMENTS.

OBTAIN SEPARATE PERMIT FOR ALL FREESTANDING AND WALL SIGNS. ALL SIGNS SHALL COMPLY WITH THE CITY OF ELGIN SIGN ORDINANCE REQUIREMENTS. INCLUDE SIGN PERMIT APPLICATION, SIGN PLAN, ELEVATIONS, AND DETAILS AND ALL DESIGNS, COLOR, AND ILLUMINATION DETAILS WITH SUBMITTAL. INDICATE THE EXACT LOCATION OF THE SIGN AND ALL EASEMENTS ON THE SITE PLAN.

INSTALLATION OR ALTERATIONS TO A FIRE ALARM SYSTEM REQUIRES A SEPARATE SUBMITTAL AND PERMIT. WORK SHALL BE COMPLETED BY STATE LICENSED CONTRACTOR. PLAN APPROVAL AND PERMIT IS REQUIRED PRIOR TO START OF WORK AND BEFORE THE ABOVE CEILING INSPECTION.

INSTALLATION OF A SPRINKLER SYSTEM REQUIRES A SEPARATE SUBMITTAL AND PERMIT. WORK SHALL BE COMPLETED STATE LICENSED CONTRACTOR. PLAN APPROVAL AND PERMIT IS REQUIRED PRIOR TO START OF WORK, AND BEFORE THE ABOVE CEILING INSPECTION.

UNIT MUST BE ADDRESSED FRONT AN REAR. ADDRESS MUST BE READABLE FROM THE STREET/ACCESS ROAD.

INSTALL FIRE EXTINGUISHERS PER NFPA 13 AND ACCESSIBILITY REQUIREMENTS DURING DEMOLITION, CONSTRUCTION, AND UPON OCCUPANCY APPROVAL. (48" FRONT REACH, 54" SIDE REACH.)

KEYS FOR THE EXISTING KNOX BOX ARE REQUIRED AT OCCUPANCY.

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES AND ORDINANCES AND ALL AUTHORITIES HAVING JURISDICTION AND IN A PROFESSIONAL MANNER. ALL INTERIOR PARTITION DIMENSIONS ON PLAN SHEETS ARE NOMINAL DIMENSIONS. THE GENERAL CONTRACTOR IS TO COORDINATE BETWEEN TRADES AFFECTED BY THE WORK AS PART OF THEIR INSTALLATION LAYOUT. ALL EXTERIOR WALLS ARE DIMENSIONED TO INTERIOR FACE OF STUDS AND EXTERIOR FACE OF SHEATHING. FINISHED DIMENSIONS AT CRITICAL AREAS SUCH AS CLOSETS, BATHUBS, ETC. MUST BE MAINTAINED.

THE SUB-CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH WORK AND NOTIFY THE SUPERINTENDENT AT ONCE OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK. CONTACT THE ARCHITECT IMMEDIATELY FOR CLARIFICATION. DO NOT SCALE DRAWINGS FOR DIMENSIONS. NOTIFY THE ARCHITECT IF QUESTIONS OR DISCREPANCIES ARISE.

LOCATIONS AND ROUTING FOR ALL PLUMBING, MECHANICAL, AND ELECTRICAL WORK ARE TO BE COORDINATED BETWEEN TRADES AFFECTED BY THE WORK AS PART OF THEIR INSTALLATION LAYOUT. NO PLUMBING, MECHANICAL, OR ELECTRICAL INFORMATION IS TO BE SCALED FROM THE DRAWINGS. ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF EACH SUB-CONTRACTOR.

EACH CONTRACTOR SHALL INCLUDE LABOR, MATERIALS, TOOLS, EQUIPMENT, ETC. AS REQUIRED TO COMPLETE THEIR WORK.

EACH CONTRACTOR IS TO CLEAN CONSTRUCTION DEBRIS THROUGHOUT THE BUILDING SITE THAT HAS BEEN GENERATED BY THEIR SCOPE OF WORK.

SUB-CONTRACTORS SHALL AMEND AND MAKE GOOD AT THEIR OWN EXPENSE ANY DEFECTS OR FAULTS IN WORKMANSHIP CAUSED BY THEIR WORK FOR A PERIOD OF ONE YEAR FROM DATE OF OCCUPANCY.

THE ARCHITECT IS NOT SUPERVISING THE CONSTRUCTION OF THIS BUILDING. THE USE OF THESE DRAWINGS BY ANY CONTRACTOR, SUB-CONTRACTOR, BUILDER, TRADESMAN, OR WORKMAN SHALL CONSTITUTE A HOLD HARMLESS AGREEMENT BETWEEN THE DRAWING USER AND THE ARCHITECT. THE USER SHALL IN FACT AGREE TO HOLD THE ARCHITECT HARMLESS FOR ANY RESPONSIBILITY IN REGARDS TO THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES AND FOR ANY SAFETY PRECAUTIONS OR PROGRAMS IN CONNECTION WITH THE WORK. THE ARCHITECT SHALL BE HELD HARMLESS FOR ANY RESPONSIBILITY ARISING FROM NEGLIGENCE OF THE CONTRACTOR(S) OR THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR RETAINS THE RIGHT TO LOCATE AND/OR RE-LOCATE ANY MECHANICAL AND/OR ELECTRICAL SYSTEMS AND INDIVIDUAL COMPONENTS OF SUCH SYSTEMS IN ACCORDANCE WITH ACCEPTABLE STANDARDS OF APPLICABLE BUILDING TRADES AS TO THE SAFETY AND EFFICIENCY OF OPERATION AS DETERMINED BY THE GENERAL CONTRACTOR. LOCATION OF MECHANICAL EQUIPMENT IS TO BE VERIFIED IN FIELD BASED UPON LAYOUT AND EQUIPMENT REQUIREMENTS. VERIFY EXACT LOCATIONS WITH GENERAL CONTRACTOR PRIOR TO INSTALLATION.

THE FILING OF REGISTERED ARCHITECT'S PLANS WITH THE BUILDING DEPARTMENT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, TENANT OR OWNER. THIS SHALL BE AGREED BEFOREHAND AND INCORPORATED INTO THE LEASE, SUCH PARTY PAYING ALL FEES INCURRED.

THE CONTRACTOR SHALL COMPLY WITH ALL STATE AND VILLAGE LAWS, ORDINANCES, RULES AND REGULATIONS PERTAINING TO THE CONSTRUCTION OF THIS OFFICE. HE SHALL ALSO FILE NECESSARY PLANS AND APPLICATIONS WITH THE CITY DEPARTMENTS AND PAY FOR, AND OBTAIN, ALL CERTIFICATES OF APPROVAL.

DIMENSIONS ARE FROM EXISTING DRYWALLED WALLS TO ROUGH FLOORS, WALLS AND CEILINGS. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR ACCURACY OF FIELD MEASUREMENTS AND CONDITIONS. WRITTEN SPECIFICATIONS SHALL HAVE PRECEDENCE OVER SCALED DRAWINGS.

ALL PLUMBING AND ELECTRICAL LINES ARE TO BE CONCEALED, UNLESS OTHERWISE SPECIFIED.

THE CONTRACTOR SHALL REMOVE RUBBISH AND DO ALL PATCHING AFTER ROUGHING IN IS COMPLETED.

PER 2018 IBC 803.5 BASE BOARD TRIM AROUND OPENINGS SHALL NOT EXCEED 10% OF THE AGGREGATE WALL & CEILING AREA & SHALL BE OF CLASS I, II, OR III MATERIALS.

PER 2018 IBC 803.3.2 INTERIOR WALL & CEILING FINISH MATERIALS SHALL HAVE A FLAME SPREAD RATING NOT GREATER THAN CLASS II FOR ANY CORRIDOR PROVIDING EXIT ACCESS OR CLASS III FOR ROOMS OR ENCLOSED SPACES WHEN TESTED IN ACCORDANCE WITH ASTM E 84 (SEE 803.6-2).

FINISHED DRYWALL AND ALL SUSPENDED CEILING TILES HEIGHTS TO BE AS NOTED. ALL SUSPENDED CEILING TILES SHALL BE AS NOTED.

THE CONTRACTOR SHALL SUBMIT A LISTED FIRESTOP SYSTEM NUMBER, AND CUT SHEET FOR EACH TYPE OF PENETRATION PRIOR TO INSTALLATION OF THE FIRESTOPPING.

GENERAL NOTES

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES AND ORDINANCES AND ALL AUTHORITIES HAVING JURISDICTION AND IN A PROFESSIONAL MANNER.

ALL INTERIOR PARTITION DIMENSIONS ON PLAN SHEETS ARE NOMINAL DIMENSIONS. THE GENERAL CONTRACTOR IS TO COORDINATE BETWEEN TRADES AFFECTED BY THE WORK AS PART OF THEIR INSTALLATION LAYOUT. ALL EXTERIOR WALLS ARE DIMENSIONED TO INTERIOR FACE OF STUDS AND EXTERIOR FACE OF SHEATHING. FINISHED DIMENSIONS AT CRITICAL AREAS SUCH AS CLOSETS, BATHUBS, ETC. MUST BE MAINTAINED.

THE SUB-CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH WORK AND NOTIFY THE SUPERINTENDENT AT ONCE OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK. CONTACT THE ARCHITECT IMMEDIATELY FOR CLARIFICATION. DO NOT SCALE DRAWINGS FOR DIMENSIONS. NOTIFY THE ARCHITECT IF QUESTIONS OR DISCREPANCIES ARISE.

ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF EACH SUB-CONTRACTOR.

EACH CONTRACTOR SHALL INCLUDE LABOR, MATERIALS, TOOLS, EQUIPMENT, ETC. AS REQUIRED TO COMPLETE THEIR WORK.

EACH CONTRACTOR IS TO CLEAN CONSTRUCTION DEBRIS THROUGHOUT THE BUILDING SITE THAT HAS BEEN GENERATED BY THEIR SCOPE OF WORK.

SUB-CONTRACTORS SHALL AMEND AND MAKE GOOD AT THEIR OWN EXPENSE ANY DEFECTS OR FAULTS IN WORKMANSHIP CAUSED BY THEIR WORK FOR A PERIOD OF ONE YEAR FROM DATE OF OCCUPANCY.

THE ARCHITECT IS NOT SUPERVISING THE CONSTRUCTION OF THIS BUILDING. THE USE OF THESE DRAWINGS BY ANY CONTRACTOR, SUB-CONTRACTOR, BUILDER, TRADESMAN, OR WORKMAN SHALL CONSTITUTE A HOLD HARMLESS AGREEMENT BETWEEN THE DRAWING USER AND THE ARCHITECT. THE USER SHALL IN FACT AGREE TO HOLD THE ARCHITECT HARMLESS FOR ANY RESPONSIBILITY IN REGARDS TO THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES AND FOR ANY SAFETY PRECAUTIONS OR PROGRAMS IN CONNECTION WITH THE WORK. THE ARCHITECT SHALL BE HELD HARMLESS FOR ANY RESPONSIBILITY ARISING FROM NEGLIGENCE OF THE CONTRACTOR(S) OR WORKERS ON THIS PROJECT.

THE GENERAL CONTRACTOR RETAINS THE RIGHT TO LOCATE AND/OR RE-LOCATE ANY MECHANICAL AND/OR ELECTRICAL SYSTEMS AND INDIVIDUAL COMPONENTS OF SUCH SYSTEMS IN ACCORDANCE WITH ACCEPTABLE STANDARDS OF APPLICABLE BUILDING TRADES AS TO THE SAFETY AND EFFICIENCY OF OPERATION AS DETERMINED BY THE GENERAL CONTRACTOR.

LOCATION OF MECHANICAL EQUIPMENT IS TO BE VERIFIED IN FIELD BASED UPON LAYOUT AND EQUIPMENT REQUIREMENTS. VERIFY EXACT LOCATIONS WITH GENERAL CONTRACTOR PRIOR TO INSTALLATION.

THE FILING OF REGISTERED ARCHITECT'S PLANS WITH THE BUILDING DEPARTMENT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, TENANT OR OWNER. THIS SHALL BE AGREED BEFOREHAND AND INCORPORATED INTO THE LEASE, SUCH PARTY PAYING ALL FEES INCURRED.

THE CONTRACTOR SHALL COMPLY WITH ALL STATE AND VILLAGE LAWS, ORDINANCES, RULES AND REGULATIONS PERTAINING TO THE CONSTRUCTION OF THIS OFFICE. HE SHALL ALSO FILE NECESSARY PLANS AND APPLICATIONS WITH THE CITY DEPARTMENTS AND PAY FOR, AND OBTAIN, ALL CERTIFICATES OF APPROVAL.

DIMENSIONS ARE FROM EXISTING DRYWALLED WALLS TO ROUGH FLOORS, WALLS AND CEILINGS. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR ACCURACY OF FIELD MEASUREMENTS AND CONDITIONS. WRITTEN SPECIFICATIONS SHALL HAVE PRECEDENCE OVER SCALED DRAWINGS.

ALL ELECTRICAL LINES ARE TO BE CONCEALED, UNLESS OTHERWISE SPECIFIED.

THE CONTRACTOR SHALL REMOVE RUBBISH AND DO ALL PATCHING AFTER ROUGHING IN IS COMPLETED.

PER IBC 803.5 TRIM AROUND OPENINGS AND BASE BDS. SHALL NOT EXCEED 10% OF THE AGGREGATE WALL & CEILING AREA & SHALL BE OF CLASS I, II, OR III MATERIALS.
PER IBC 803.3.2 INTERIOR WALL & CEILING FINISH MATERIALS SHALL HAVE A FLAME SPREAD RATING NOT GREATER THAN CLASS II FOR ANY CORRIDOR PROVIDING EXIT ACCESS OR CLASS III FOR ROOMS OR ENCLOSED SPACES WHEN TESTED IN ACCORDANCE WITH ASTM E 84 (SEE 803.6-2).

THE CONTRACTOR SHALL SUBMIT A LISTED FIRESTOP SYSTEM NUMBER AND CUT SHEET FOR EACH TYPE OF PENETRATION PRIOR TO INSTALLATION OF THE FIRESTOPPING.

CONTRACTOR RETAINS THE RIGHT TO LOCATE AND OR RELOCATE ANY MECHANICAL SYSTEMS AND INDIVIDUAL COMPONENTS OF SUCH SYSTEMS IN ACCORDANCE WITH ACCEPTABLE STANDARDS OF THE APPLICABLE BUILDING TRADES AS TO THE SAFETY AND EFFICIENCY OF OPERATION AS DETERMINED BY CONTRACTOR

LOCATION OF MECHANICAL EQUIPMENT IS TO BE VERIFIED IN FIELD BASED UPON LAYOUT AND EQUIPMENT REQUIREMENTS. VERIFY EXACT LOCATIONS WITH BUILDER PRIOR TO INSTALLATION.

THE CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND FIELD CONDITIONS PRIOR TO PROCEEDING WITH THEIR WORK. NOTIFY SUPERINTENDENT AND ARCHITECT IF DISCREPANCIES ARE FOUND. DO NOT PROCEED WITH THE WORK UNTIL ALL DISCREPANCIES ARE CORRECTED.

IECC COMPLIANCE STATEMENT

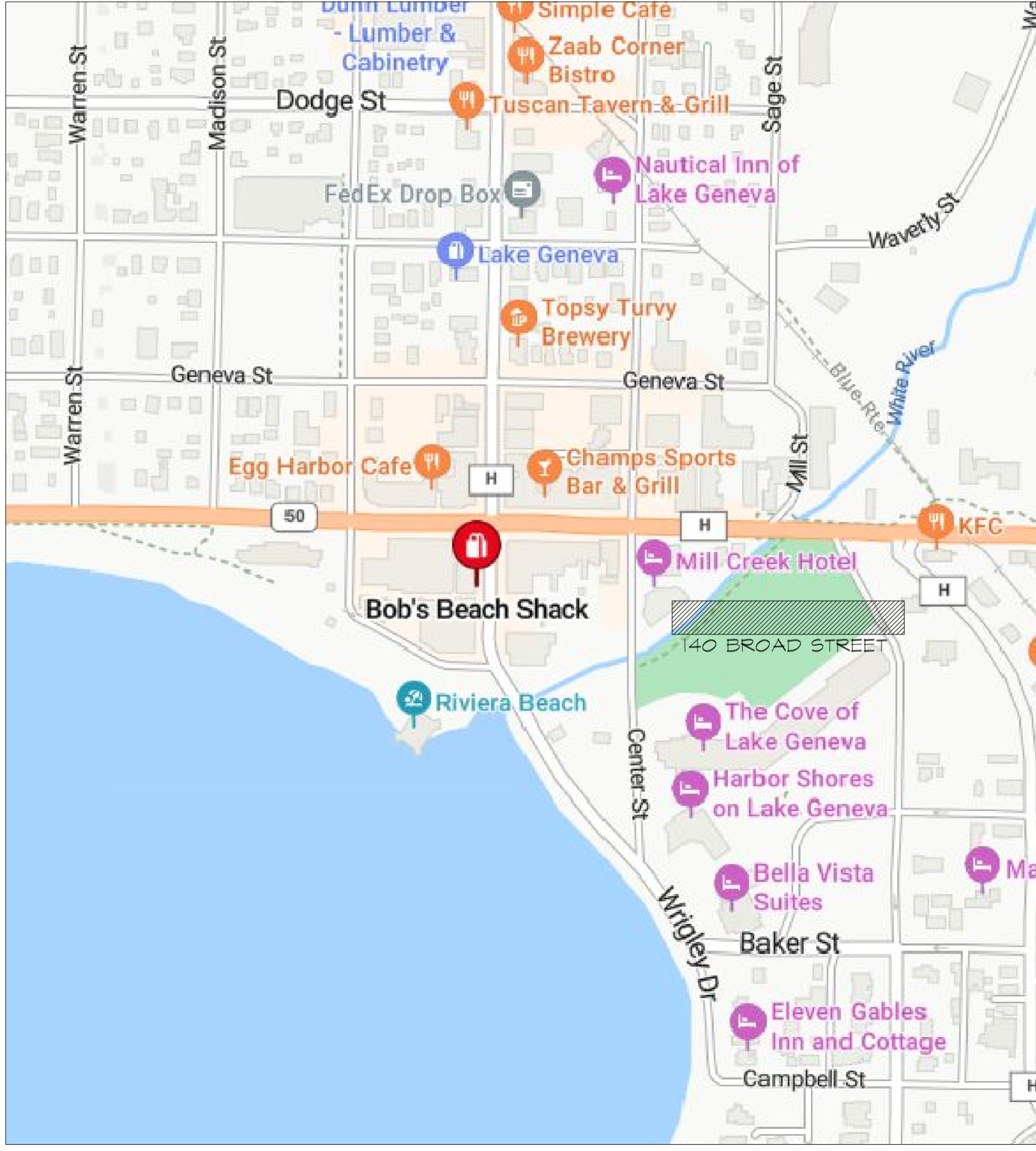
THESE PLANS HAVE BEEN PREPARED UNDER MY DIRECT SUPERVISION, THE IF USED FOR COMPLIANCE WITH SECTION R402.3.5 ENERGY PATHWAY THAT WILL BE FOLLOWED IS "UA TRADE OFF"

ATTACHED PLANS AND SPECIFICATIONS AND STATE THAT, TO THE BEST OF MY KNOWLEDGE OF MY CONTRACTUAL OBLIGATION, THEY ARE IN COMPLIANCE WITH THE INTERNATIONAL ENERGY CODE.

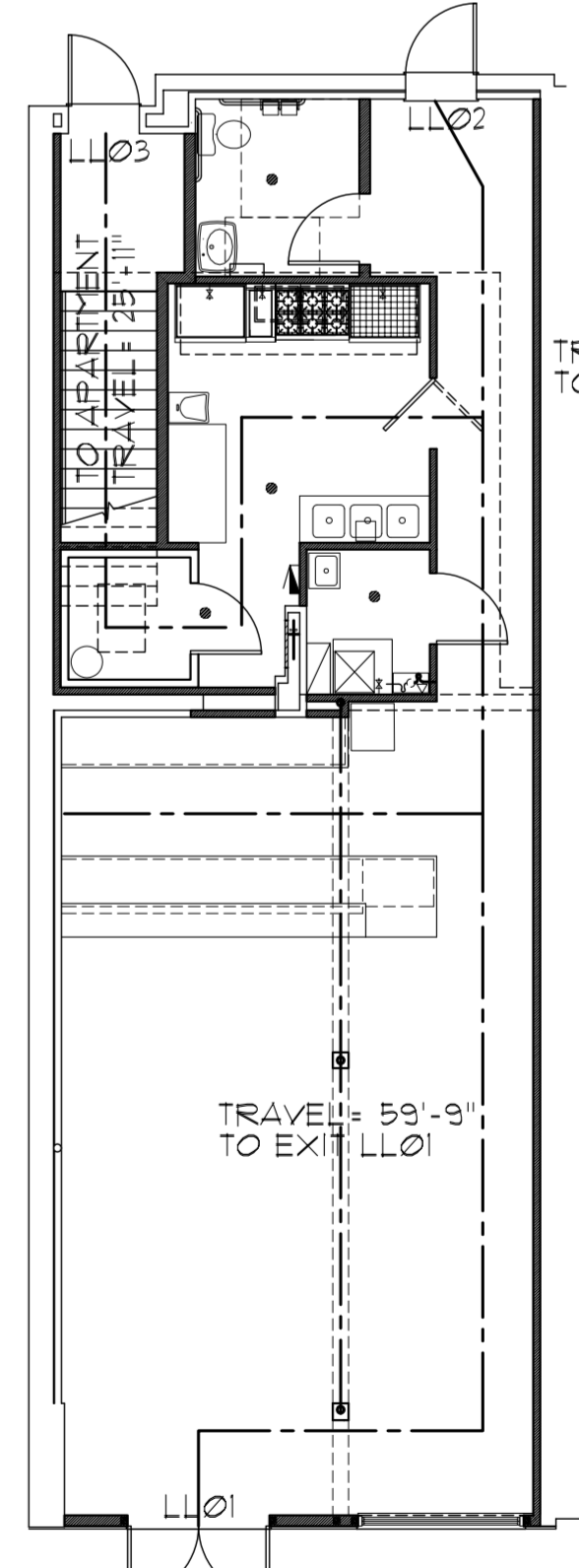
THE ARCHITECT HAS CHOSEN TO CONFORM TO THE PRESCRIPTIVE METHOD AS ALLOWED FOR IN IECC CHAPTER 1

THESE PLANS STATE CERTAIN APPLICABLE ASPECTS OF THE ENERGY CODE AND ARE NOT INTENDED TO RESTATE THE ENTIRE CODE OR ACT AS A REPLACEMENT TO THE CODE. ALL CONTRACTORS ARE TO FAMILIARIZE THEMSELVES WITH THE CODE AND FOLLOW THOSE REQUIREMENTS TO THEIR RELATED PARTICULAR TRADE AND ARE RESPONSIBLE FOR THE SAME.

BUILDING STATISTICS	BUILDING AUTHORITY & CODES	DRAWING INDEX
CLIENT - SITE LOCATION 140 BROAD STREET LAKE GENEVA WI 53141	CITY OF LAKE GENEVA, BUILDING DEPARTMENT 626 GENEVA STREET LAKE GENEVA WI 53141 PH: 262-248-3911	00 BUILDING STATISTICS, GENERAL NOTES, SITE MAP. A1 FIRST, SECOND, & FOUNDATION PLANS W/ DEMO. A2. ELEVATIONS W/ DEMO, EXIST. BUILDING CROSS SECTION W/ DEMO. B1 PROPOSED RETAIL SPACE FLOOR PLAN, PROPOSED SECOND FLOOR APARTMENT PLAN, APARTMENT LIGHT & VENT SCHEDULE. B2 EXIST. FOUNDATION PLAN W/ RENOVATION, PROPOSED ROOF PLAN W/ RENOVATION, EGRESS DISTANCE PLAN, STAIR DETAIL, EXIT CAPACITY SCHEDULE, EQUIPMENT AND ROOM FINISH SCHEDULES. B3. UNI-SEX TOILET ROOM DETAILS, RETAIL SPACE DOOR TYPES & NOTES, RETAIL SPACE INT. WALL TYPES, KITCHEN HOOD DETAILS. E1 ELECTRICAL PLANS, GENERAL NOTES & SPECIFICATIONS. M1 COMMERCIAL SPACE HVAC PLANS. P1 COMMERCIAL SPACE PLUMBING PLANS, GENERAL NOTES. P2 PLUMBING DIAGRAMS, GREASE INTERCEPTOR DET. Y1 BUILDING CROSS SECTIONS "A", RAFTER TIE DETAIL, WALL FRAMING DETAILS, WINDOW INSTALL DETS. Y2. CROSS SECTION "B" Z1. SPECIFICATIONS AND NOTES.
CONST. TYPE: TYPE V B SQUARE FEET: CONDITIONED SPACE: COMMERCIAL: 1022 SF APARTMENT: 808 SF	BUILDING: 2015 INTERNATIONAL BUILDING CODE ELECTRICAL: 2018 WISCONSIN UNIFORM COMMERCIAL CODE PLUMBING: 2018 WISCONSIN UNIFORM COMMERCIAL CODE MECHANICAL: 2015 INTERNATIONAL MECHANICAL CODE FIRE CODE: 2015 INTERNATIONAL FIRE CODE NFPA: NFPA 2013 ENERGY: 2021 INTERNATIONAL ENERGY CODE	
FIRE PROTECTION: NONE FIRE SUPPRESSION: NONE FIRE DETECTION: NEW FIRE ALARM INSTALLED	ACCESSIBILITY: 2018 WISCONSIN UNIFORM COMMERCIAL CODE	
ARCHITECT OF RECORD	COMPLIANCE STATEMENT	
MIDWEST DESIGN GROUP INC. 11445 HILLSBORO DRIVE HUNTLEY IL 60142 224-800-3030 EMAIL: adammdg@gmail.com	I HAVE PREPARED, OR CAUSED TO BE PREPARED UNDER MY DIRECT SUPERVISION, THE ATTACHED PLANS AND SPECIFICATIONS AND STATE THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF AND TO THE EXTENT OF MY CONTRACTUAL OBLIGATION, THEY ARE IN COMPLIANCE WITH THE 2018 WISCONSIN UNIFORM COMMERCIAL BUILDING CODE, AND 2015 IEBC	



SITE MAP



**EGRESS
DISTANCE PLAN**
SCALE: 1/8" = 1'-0"

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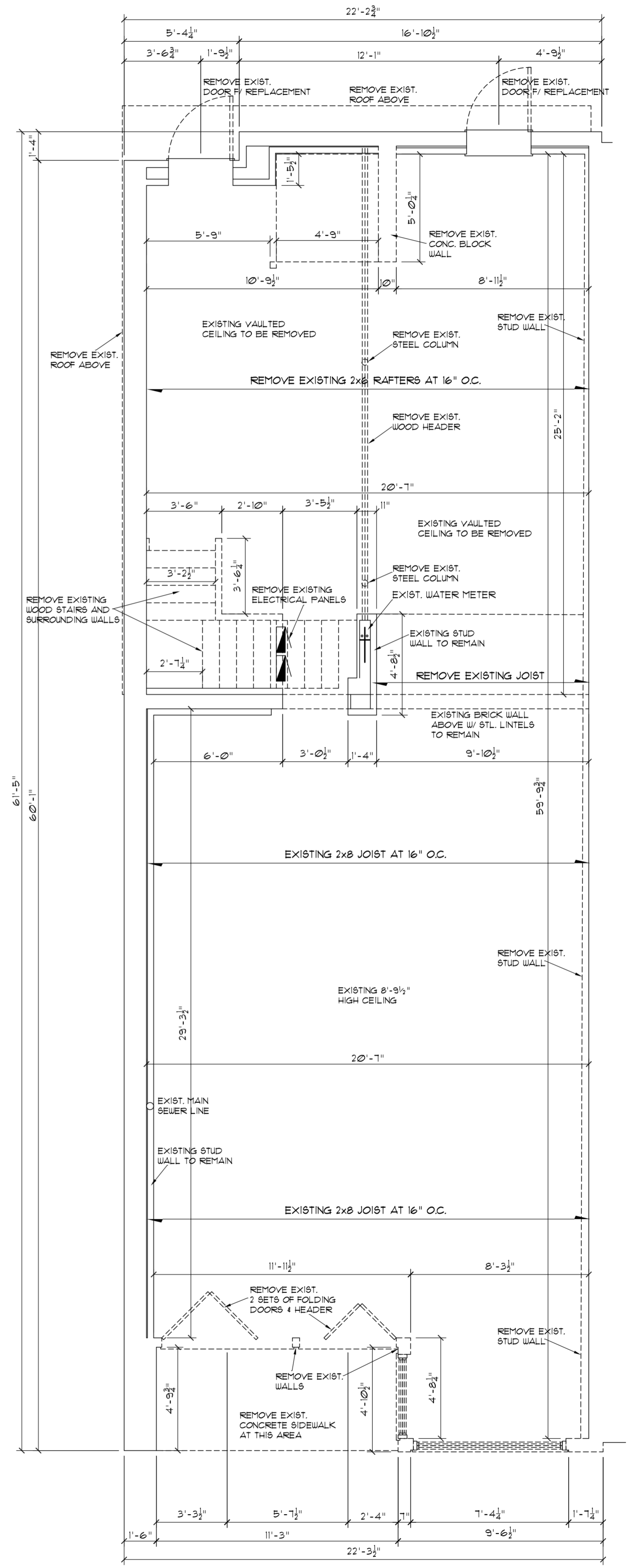
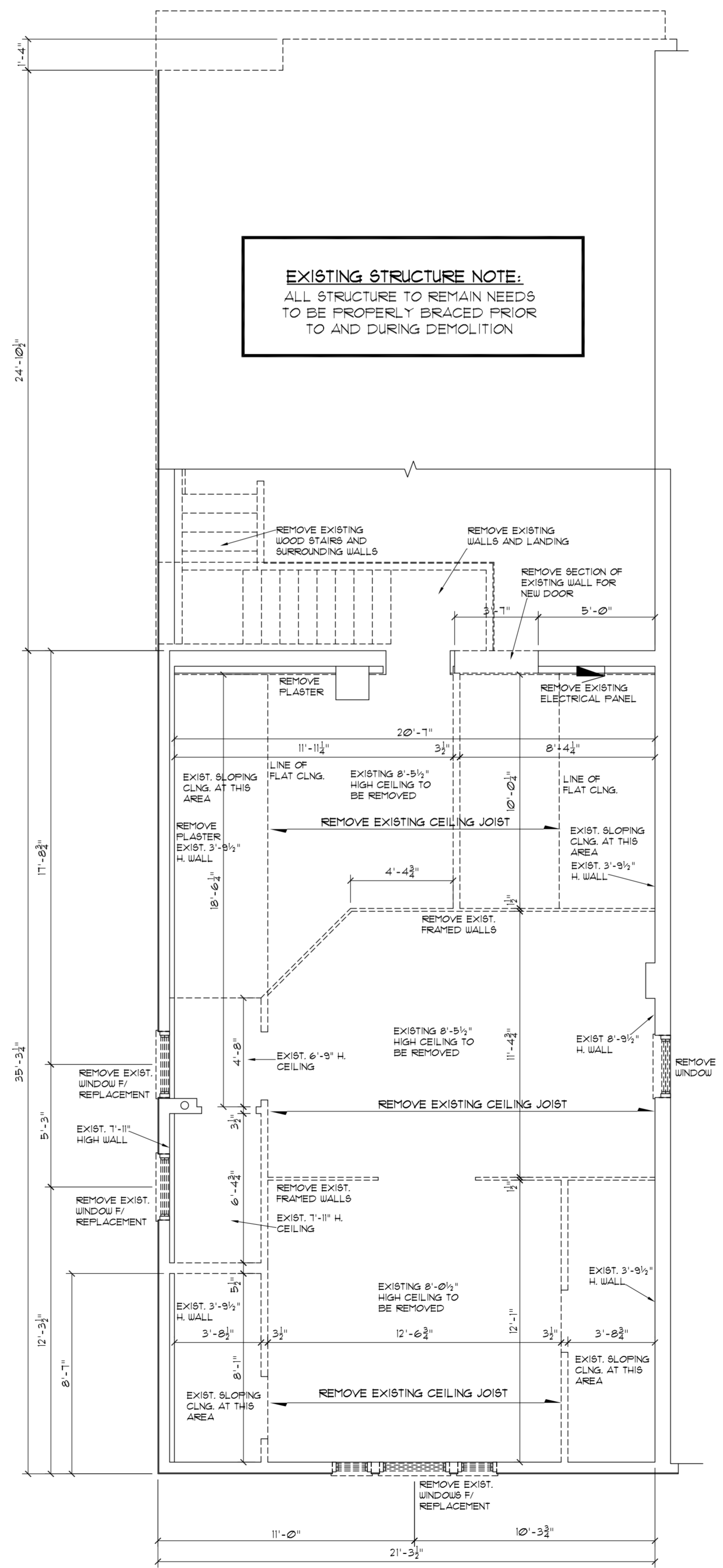
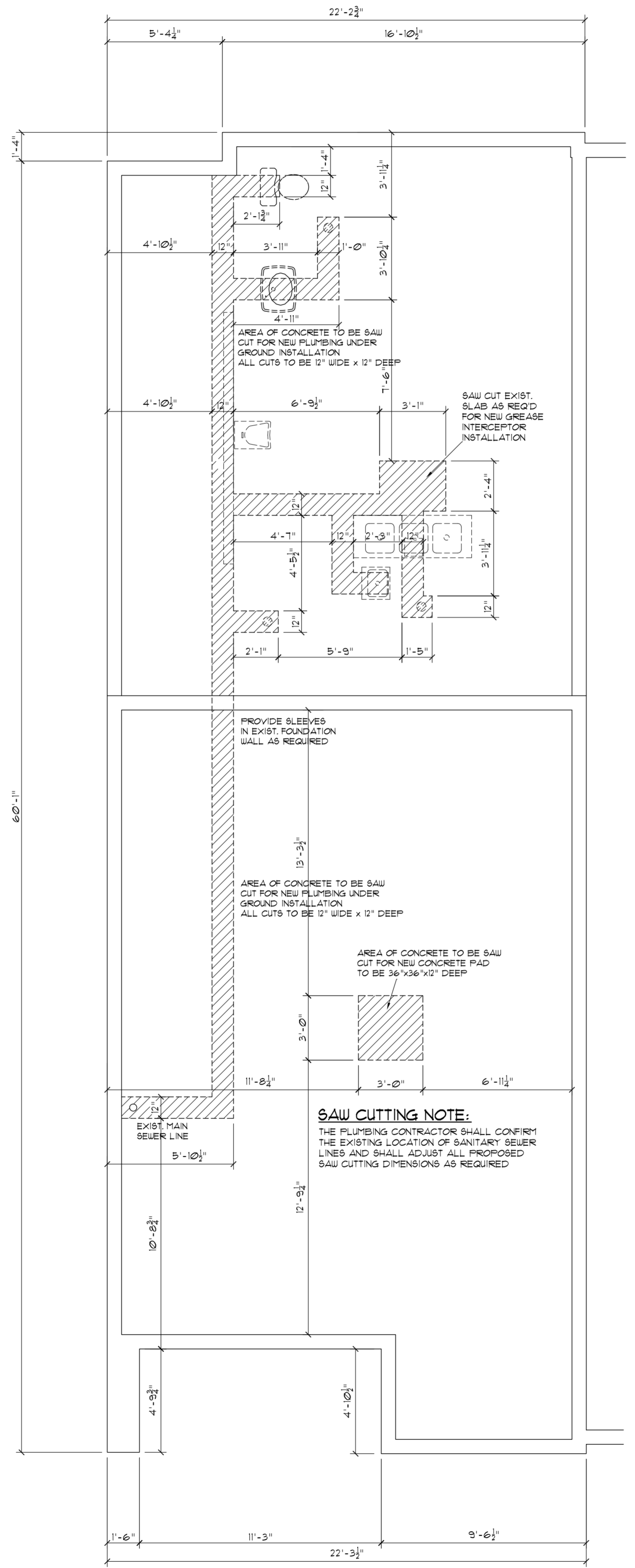
WISCONSIN ARCHITECT
MICHAEL J. MOFFET
4-28-25
EXP: 1-30-26

DATE	DESCRIPTION OF REVISION
11-22-24	1 PRELIMINARY PLAN FOR REVIEW
12-23-24	2 PHASE 1 PLANS FOR BIDDING ONLY
4-22-25	3 PHASE 2 FINAL PLANS FOR PERMIT

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DEMOLITION NOTES

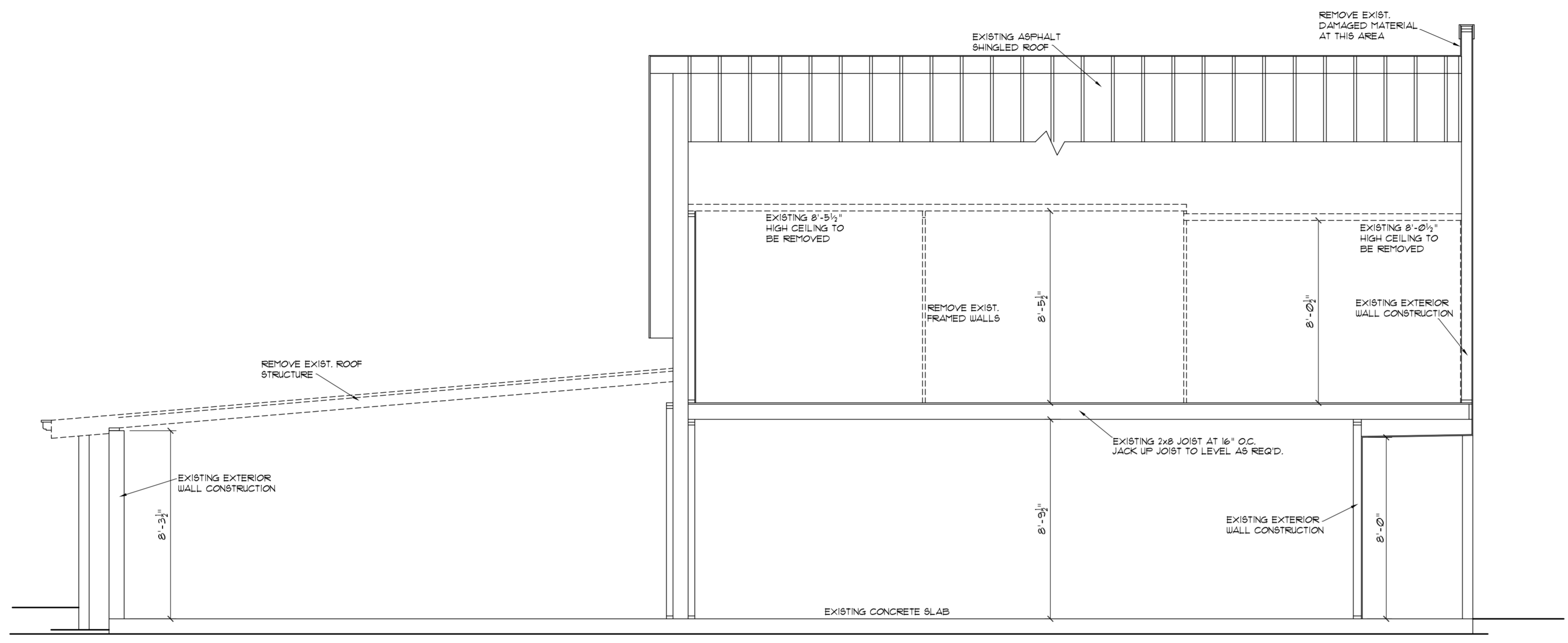
- A. G.C. TO FAMILIARIZE THEMSELVES W/ ALL EXISTING CONDITIONS PRIOR TO PROCEEDING W/ ANY WORK.
- B. G.C. SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AND SHALL REPORT ALL DISCREPANCIES TO THE ARCHITECT PRIOR TO COMMENCING WORK.
- C. PRIOR TO AND DURING DEMOLITION CONTRACTOR SHALL MAINTAIN ALL LIFE SAFETY AND EXIT DEVICES AS REQUIRED BY CITY ORDINANCES. NOTIFY BUILDING OWNER PRIOR TO MOVING OR TAMPERING WITH DEVICES. PROTECT ALL SMOKE DETECTORS FROM CONSTRUCTION DUST AND DEBRIS.
- D. ALL DEBRIS, EXCESS MATERIAL ECT. TO BE REMOVED BY THE CONTRACTOR BY THE END OF THE DAY. THE JOB IS TO BE LEFT SUFFICIENTLY CLEAN AS TO WARRANTY OWNER'S APPROVAL. DEMOLISH EXISTING CONSTRUCTION ONLY TO THE EXTENT NECESSARY TO COMPLETE THE INSTALLATION OF NEW WORK. ALL REMAINING EXISTING SURFACES TO BE SQUARE, LEVEL AND PLUMB.
- F. CAREFULLY REVIEW PLANS AND DETERMINE UTILITIES THAT ARE REQUIRED TO BE DISCONNECTED AND THOSE THAT WILL REMAIN FUNCTIONAL. COORDINATE WORK WITH THE APPROPRIATE UTILITY PROVIDER. SCHEDULE WORK FOR A MINIMUM OF INTERRUPTION.
- G. REMOVE AND SECURE ALL GAS, PLUMBING, ELECTRICAL, AND OTHER UTILITIES ASSOCIATED WITH EQUIPMENT REMOVED FROM SITE. INSTALL REQUIRED MATERIALS TO SECURE AND MAKE SAFE ALL UTILITIES TO REMAIN.
- H. G.C. TO CAP OFF ALL ABANDONED PLUMBING, ELECTRICAL, HVAC, AND GAS TO SOURCE IF POSSIBLE AND AS REQUIRED.
- I. PROTECT ALL PUBLIC AREAS FROM CONSTRUCTION DEBRIS, DUST, ECT.
- J. PREVENT PUBLIC ACCESS TO THE WORK AREA. INSTALL BARRIERS AND SIGNAGE TO ALERT THE GENERAL PUBLIC, EMPLOYEES, AND CONTRACTORS OF DANGERS.
- K. ALL ITEMS THAT ARE MARKED OR SHOWN AS EXISTING TO REMAIN ARE TO BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION.
- L. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING SHEETS FOR ADDITIONAL DEMOLITION WORK NOTES AND INFORMATION.
- M. ALL UNUSED DRAINS, VENTS AND WATER WILL BE CAPPED WITHIN 24" OF ORIGIN. (NO DEAD ENDS).



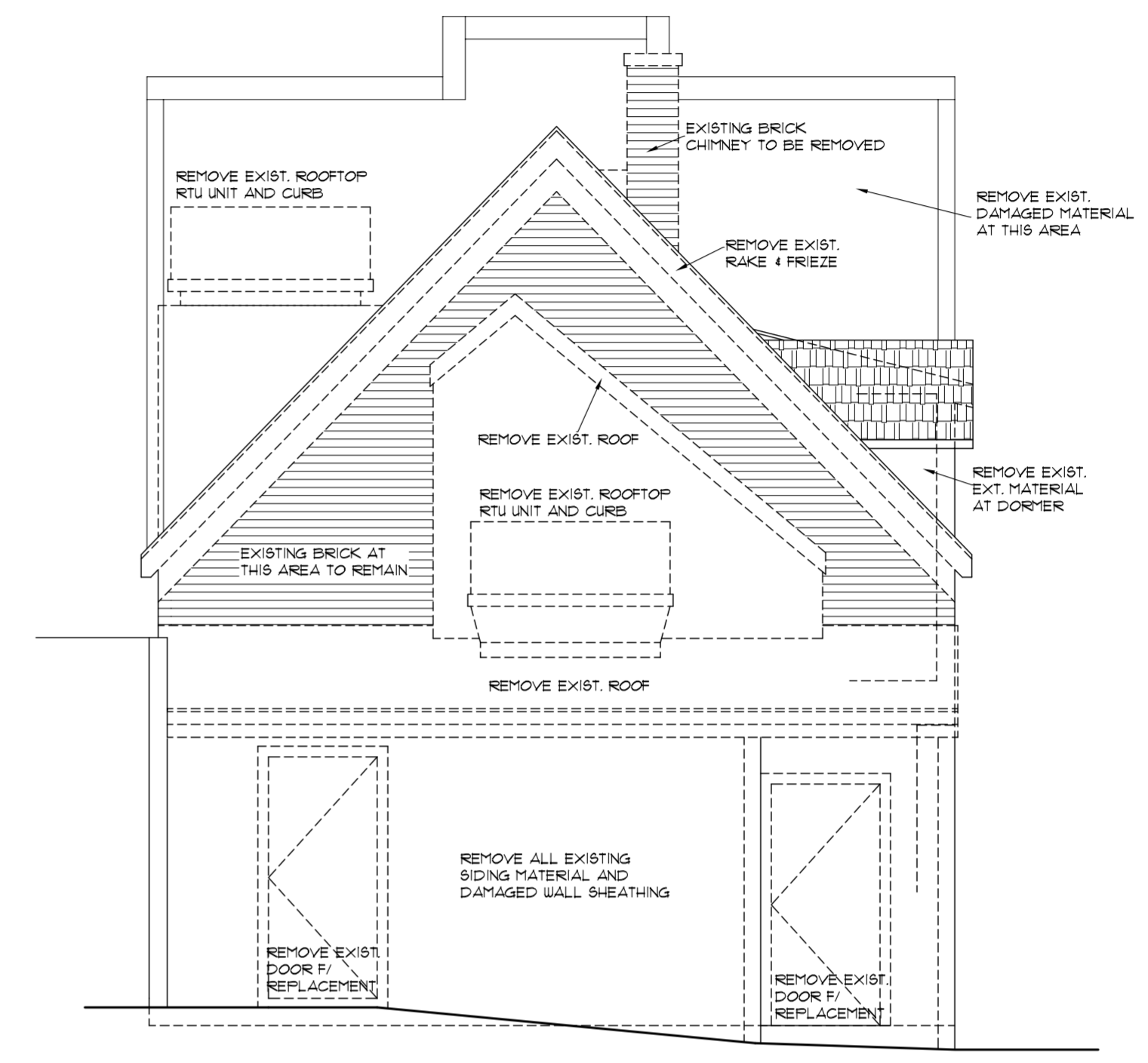
EXISTING STRUCTURE NOTE:
 ALL STRUCTURE TO REMAIN NEEDS TO BE PROPERLY BRACED PRIOR TO AND DURING DEMOLITION

SAW CUTTING NOTE:
 THE PLUMBING CONTRACTOR SHALL CONFIRM THE EXISTING LOCATION OF SANITARY SEWER LINES AND SHALL ADJUST ALL PROPOSED SAW CUTTING DIMENSIONS AS REQUIRED

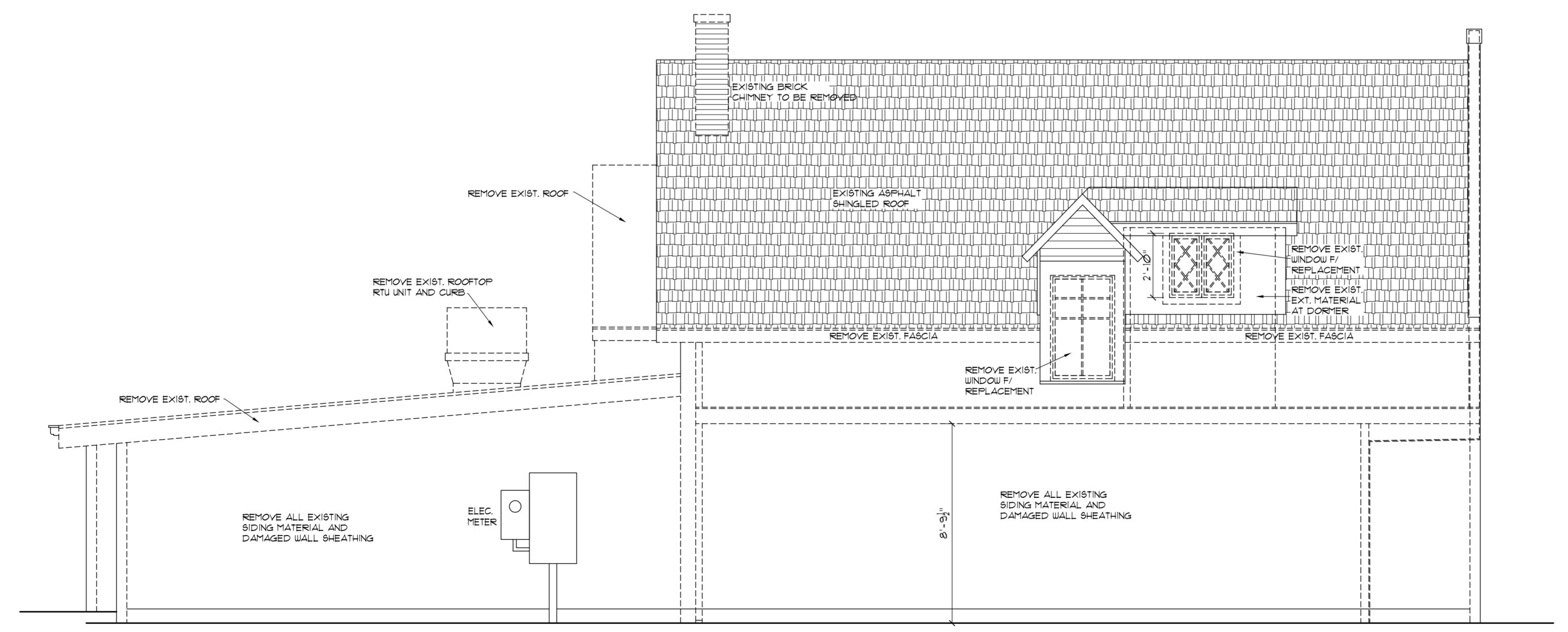
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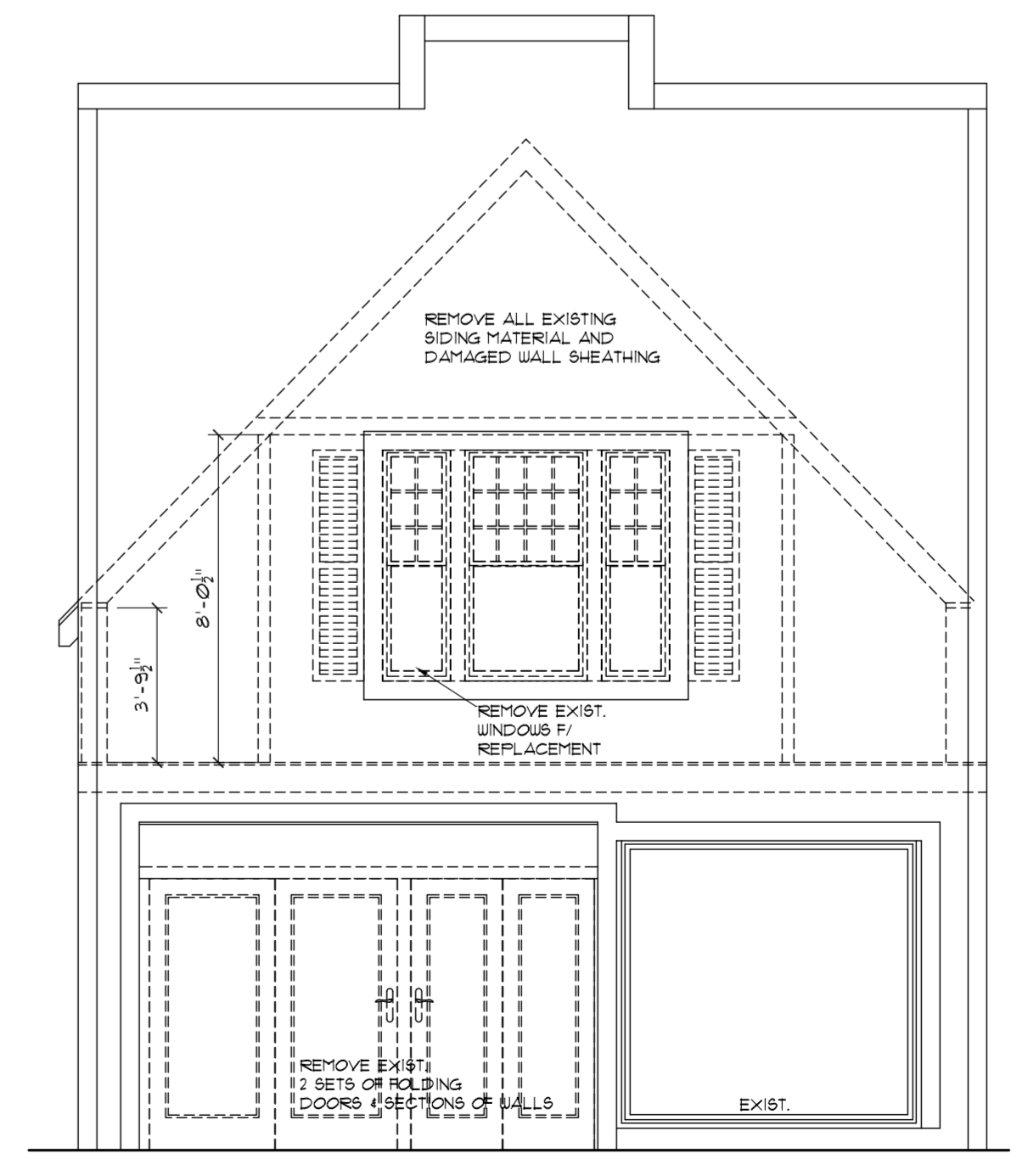
EXISTING BUILDING SECTION W/ DEMO.
SCALE: 1/4" = 1'-0"



REAR ELEVATION W/ DEMO.
SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION W/ DEMO.
SCALE: 1/4" = 1'-0"



FRONT ELEVATION W/ DEMO.
SCALE: 1/4" = 1'-0"

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APARTMENT LIGHT AND VENT SCHEDULE

ROOM NAME	AREA	LIGHT (SF.)		VENT	
		REQ	ACT	REQ	ACT
GREAT RM.-KITCHEN	316	25.28	**15.0	12.64	**7.5
BEDROOM 1	160	12.80	15.0	6.40	7.5
BEDROOM 2	137	10.96	15.0	5.48	7.5
BATH	48	3.84	8.0	**48CFM	6.4

REQ'D. LIGHT - 8% OF HABITABLE ROOM AREA
7% OF KITCHEN AREA
8% OF BATHROOM AREA (MIN. 3 SF.)
* BATHROOM/WATERCLOSET - ARTIFICIAL LIGHT
REQ'D. VENTIL. - 4% OF HABITABLE ROOM AREA
3.5% OF KITCHEN AREA
OR 1 AIR CHANGE EVERY 30 MINUTES
4% OF UTILITY RM AREA
** BATHROOM/WATER CLOSET INDICATES MECH. VENTIL.
1 CFM/SF. FOR INTERMITTENT

MECHANICAL ROOM NOTE:
VINTL FLANK W/ FLOOR PAN & DRAIN TO SANITARY 5/8" FIRECODE DW ALL WALLS & CLG. 94% HI-EFF. FURNACE (2) FIRE SYSTEM FOR SUPPLY & VENT OF COMBUSTION AIR & EXHAUST

BRACING NOTE:
WALLS ARE REQUIRED TO BE BRACED AT A MAX. OF 25'-0" O.C. (BUT NOT TO BE LESS THAN 16% OF THE WALL LENGTH) WITH 48" WIDE BID THE HEIGHT OF THE STORY WITH STRUCTURAL PANEL SHEATHING.

ENERGY CODE NOTES:
ALL WINDOWS AND GLAZED DOORS SHALL FOLLOW THE NOTED MAXIMUM "U" FACTORS, AND REQUIREMENTS NOTED BELOW.
MAXIMUM "U" FACTOR FOR WINDOWS AND GLAZED DOORS: 0.30
MAXIMUM "U" FACTOR FOR SKYLITES: 0.85
ALL NEW WINDOWS AND GLAZED DOORS MUST BEAR THE MANUFACTURER'S STICKERS SO COMPLIANCE CAN BE CONFIRMED.
BUILDING FRAMING CANNOT BE USED AS AIR SUPPLY DUCTS.
A MINIMUM OF 50% OF ALL LAMPS IN PERMANENTLY INSTALLED BLOWER DOOR TEST REQUIRED PER SECTION R402.412

GENERAL NOTES:
PROVIDE PERMANENT IDENTIFICATION COMPLETED AND POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL LISTING THE FREQUENT R-W VALUES OF INSULATION INSTALLED. WINDOW U-FACTOR EQUIPMENT EFFICIENCY, DUCT SYSTEMS, AND AIR LEAKAGE PER IECC R403.

ENVELOPE NOTES:
THE BUILDING THERMAL ENVELOPE SHALL BE DURABLE SEALED TO LIMIT INFILTRATION WITH A SUITABLE SOLID SEALING BEHIND TUBS AND SHOWERS ON EXTERIOR WALLS.

PENETRATION NOTE:
PENETRATIONS BETWEEN STORIES AND THE ROOF SPACE SHALL BE FIRESTOPPED AS WELL AS SOFFITS, DROPPED CEILING, ECT.

DESIGN LOADS
WIND SPEED LOAD: ONE HUNDRED FIFTEEN (15) MILES PER HOUR
ROOF SNOW LOAD / LIVE LOAD: THIRTY (30) PSF.
FLOOR LIVE LOADS FOR SLEEPING, AND NON SLEEPING ROOM ARE LISTED THIRTY (30) PSF, AND FOURTY (40) PSF.

STRUCTURAL FRAMING LUMBER
FLOOR JOISTS, CEILING JOISTS, HEADERS AND RAFTERS IN-GRADE BASE VALUE AS DETERMINED BY WESTERN WOOD PRODUCTS ASSOCIATION (USE NO MULTIPLIER AGAINST BASE VALUE)

ENGINEERED WOOD PRODUCTS
MANUFACTURED STRUCTURAL WOOD PRODUCTS SUCH AS HEADERS AND BEAMS HAVE BEEN DESIGNED BASED UPON MICRROLAMBS AND PARALLAMBS AS MANUFACTURED BY TRUS-JOIST WEYERHAEUSER
1B MICRROLAMBS Pb = 2600 psi E = 1,800,000
2D PARALLAMBS Pb = 2900 psi E = 2,000,000

ENERGY CODE NOTES:
GLAZED DOORS SHALL FOLLOW THE NOTED MAXIMUM "U" FACTORS, AND REQUIREMENTS NOTED BELOW.
MAXIMUM "U" FACTOR FOR GLAZED DOORS: 0.30

BRACING NOTE:
WALLS ARE REQUIRED TO BE BRACED AT A MAX. OF 25'-0" O.C. (BUT NOT TO BE LESS THAN 16% OF THE WALL LENGTH) WITH 48" WIDE BID THE HEIGHT OF THE STORY WITH STRUCTURAL PANEL SHEATHING.

BEAM/ POST NOTE:
BEAM/ POST CONNECTION TO MEET IRC 2018 R502 & BEARING THE ENDS OF EACH JOIST BEAM OR GIRDER SHALL HAVE NO LESS THAN 110" OF BEARING ON WOOD OR METAL, AND NOT LESS THAN 3" ON MASONRY OR CONCRETE.

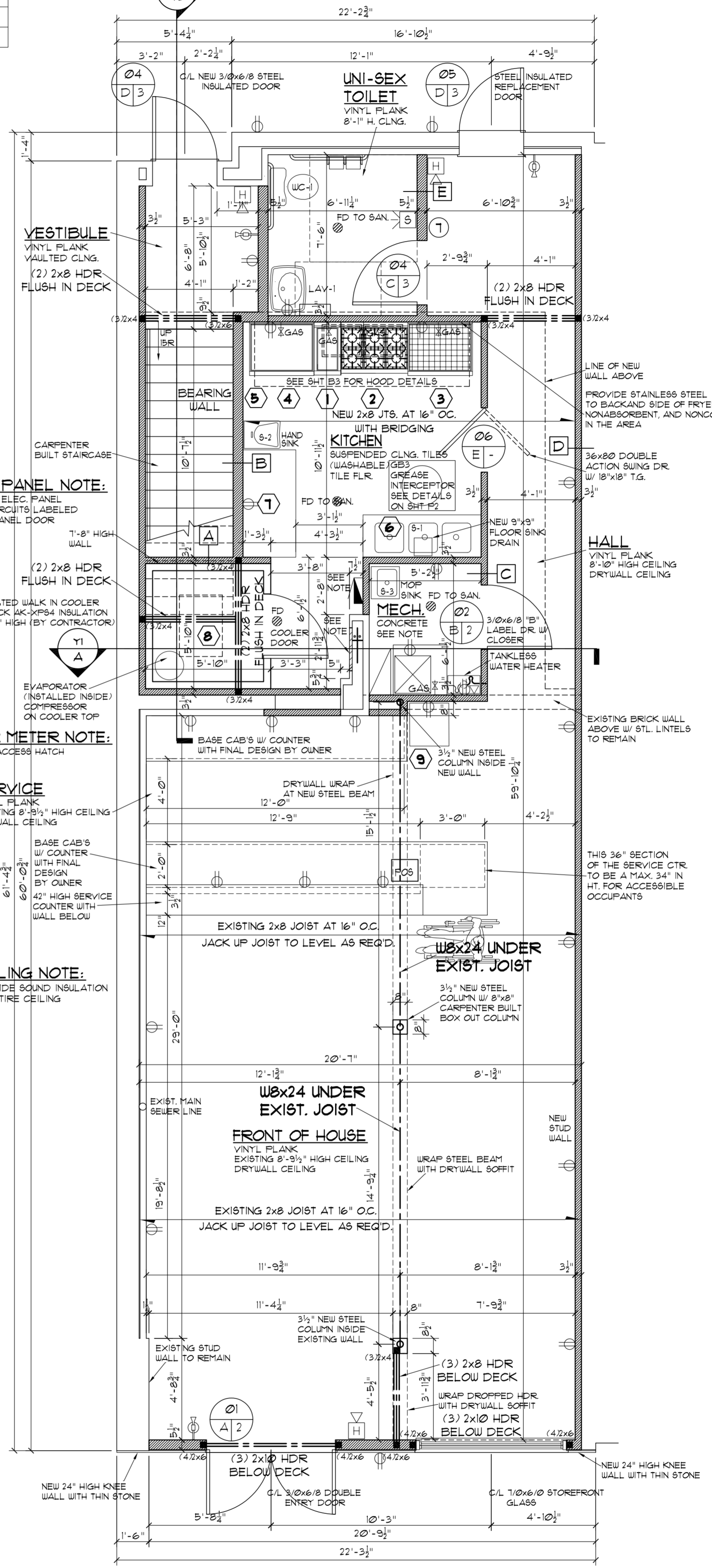
GENERAL NOTE:
ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED MATERIAL.
ALL FASTENERS HANGERS, AND FLASHING FOR PRESSURE TREATED WOOD SHALL BE COMPATIBLE WITH ACG TREATED LUMBER.

FIRE SUPPRESSION NOTE!
FIRE SPRINKLER AND ALARM SYSTEMS DESIGN AND PLANS BY OTHERS. SPRINKLER LINES AND EQUIPMENT ARE NOT SHOWN ON THIS DRAWING.

OCCUPANT LOAD NOTES:
OCCUPANT LOAD OF THE RETAIL SHALL BE POSTED IN A CONSPICUOUS PLACE NEAR THE EXIT OR DOORWAY FROM THE ROOM OR SPACE. THE LOCAL AUTHORITY SHALL HAVE FINAL APPROVAL OF THE POSTED OCCUPANT LOAD.

FIRE EXTINGUISHER NOTES:
-@3- PROVIDE 10LB, "ABC" TYPE FIRE EXTINGUISHER MOUNT 48" HIGH MAX. TO HANDLE TYPE "K" IN KITCHEN.
1. ALL PORTABLE FIRE EXTINGUISHERS MUST COMPLY WITH 2018 NFPA Pamphlet #10 AND THE LOCAL FIRE DEPARTMENT. IN ADDITION THEY MUST BE PROVIDED DURING THE CONSTRUCTION OF THE BUILDING AS REQUIRED BY THE FIRE DEPARTMENT.
THE FIRE EXTINGUISHERS MUST BEAR THE LABEL OF AN APPROVED AGENCY, AND INSPECTION TAG.

FIRE ALARM SUBCONTRACTOR TO SUBMIT ALL REQUIRED SHOP DRAWINGS, DIAGRAMS AND CUT SHEETS OF DEVICES REQUIRED FOR A COMPLETE INSTALLATION. CONSULT LOCAL AUTHORITIES FOR EXACT REQUIREMENTS.



PROPOSED RENTAL SPACE FLOOR PLAN W/ RENOVATION

SCALE: 1/4" = 1'-0"
COMMERCIAL SPACE: 1022 SF
RESIDENTIAL APARTMENT: 95 SF

FINISH NOTES

INSTALL TAPERED WALLBOARD WITH METAL CORNER BEADS. MACHINE TAPE ALL JOINTS. WALLBOARD SHALL BE ATTACHED ACCORDING TO MANUFACTURER'S INSTRUCTIONS. PATCH ALL SCREW HEADS AND LEAVE SURFACE FREE OF DEFECTS. USE FIRE-CODE WALLBOARD WHERE REQUIRED FOR FIRE-RATING AND PROVIDE WATER RESISTANT WALLBOARD AT ALL WET AREAS.

TILE FLOORS, WALLS AND BASE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS AND IN ACCORDANCE WITH THE CERAMIC TILE ASSOCIATION'S RECOMMENDATION FOR EACH USE.

INTERIOR WALLS TO HAVE PRIME COAT PLUS ONE TOP COAT OF FLAT LATEX PAINT.
ALL INTERIOR FINISHES TO BE SELECTED BY THE OWNER PRIOR TO CONSTRUCTION.
ANY WOOD IN OR ON THE EXTERIOR WALLS ARE REQUIRED TO HAVE A 1 HOUR FIRE RATING, OR BE FIRE RETARDANT TREATED.

HVAC NOTES:

THE INTERIOR DESIGN TEMPERATURES USED FOR LOAD CALCULATIONS SHALL BE A MAX. OF 72 DEGREES F. FOR HEATING.
THE INTERIOR DESIGN TEMPERATURES USED FOR LOAD CALCULATIONS SHALL BE A MIN. OF 70 DEGREES F. FOR COOLING.
A PROGRAMMABLE THERMOSTAT IS PROVIDED TO CONTROL THE HEATING AND COOLING SYSTEMS.

IF PROVIDING DUCTWORK IN ANY ATTIC SPACES, SUPPLY DUCTS IN ATTICS SHALL HAVE R-8 INSULATION, R-6 IF NOT COMPLETELY IN THE THERMAL ENVELOPE.
THE BUILDING ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE AS OUTLINED IN THE 2018 IECC.

THE HEATING AND COOLING SYSTEMS SHALL COMPLY WITH THE 2021 IECC, AND SHALL BE SIZED BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE WITH ACCA MANUAL 4 AND IN ACCORDANCE WITH ACCA MANUAL "S" APPROVED HEATING AND COOLING CALCULATION METHODS.

DUCT SYSTEMS SERVING HEATING, COOLING, AND VENTILATION EQUIPMENT SHALL BE FABRICATED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 2018 IECC M1601, AND ACCA MANUAL D OR OTHER APPROVED METHODS.

- ALL DUCTWORK LOCATED IN UNCONDITIONED ATTICS MUST BE PROVIDED WITH MINIMUM R-8 INSULATION. ALL OTHER DUCTS IN UNCONDITIONED SPACES SHALL HAVE A MINIMUM R-6 INSULATION.
- ALL DUCTS, AIR HANDLERS, FILTER BOXES AND BUILDING CAVITIES USED FOR DUCTS SHALL BE SEALED.
- BUILDING FRAMING CANNOT BE USED AS AIR SUPPLY DUCTS.

- MINIMUM OF ONE (1) THERMOSTAT CONTROLLING HVAC SHALL BE PROGRAMMABLE, CAPABLE OF CONTROLLING SYSTEM ON A DAILY BASIS PER 2018 IECC R403.1.
- BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS IRC OR IMC, OUTDOOR AIR INTAKES AND EXHAUST SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN SYSTEM IS NOT OPERATING PER 2018 IECC R403.9.
- PROVIDE OUTSIDE AIR FOR COMBUSTION AT FURNACE, BOILER AND WATER HEATER.

- MECHANICAL LOCATIONS TO BE DETERMINED BY CONTRACTOR, AND MAY VARY FROM LOCATIONS SHOWN ON PLAN.
THE CONTRACTOR IS TO PROVIDE A FINAL BLOWER DOOR TEST AND AIR DUCT TEST REPORT PRIOR TO OR AT FINAL INSPECTION.

THE AIR BARRIER SHALL BE INSTALLED BEFORE ELECTRICAL OR COMMUNICATION BOXES OR AIR SEALED BOXES SHALL BE INSTALLED.
A WHOLE HOUSE MECHANICAL VENTILATION SYSTEM SHALL CONSIST OF ONE OR MORE SUPPLY OR EXHAUST FANS, OR A COMBINATION OF SUCH, AND ASSOCIATED DUCTS AND CONTROLS. INDICATE THE VENTILATION RATE OR WEATHER IT WILL BE PROVIDED CONTINUOUSLY, OR INTERMITTENTLY.

KITCHEN EXHAUST HOOD NOTE:

EXHAUST HOOD SYSTEMS CAPABLE OF EXHAUSTING IN EXCESS OF FOUR HUNDRED (400) CUBIC FEET PER MINUTE SHALL BE MECHANICALLY OR NATURALLY PROVIDED WITH MAKEUP AIR AT A RATE APPROXIMATELY EQUAL TO THE EXHAUST RATE. SUCH MAKEUP AIR SYSTEMS SHALL BE EQUIPPED WITH NOT LESS THAN ONE DAMPER EACH DAMPER SHALL BE A GRAVITY DAMPER OR AN ELECTRICALLY OPERATED DAMPER THAT AUTOMATICALLY OPENS WHEN THE EXHAUST SYSTEM OPERATES. DAMPERS SHALL BE ACCESSIBLE FOR INSPECTION, SERVICE, REPAIR, AND REPLACEMENT WITHOUT REMOVING PERMANENT CONSTRUCTION OR ANY OTHER DUCTS NOT CONNECTED TO THE DAMPED BEING INSPECTED, SERVICED, REPAIRED, OR REPLACED.

TUB-SHOWER NOTE:

PROVIDE FIBERGLASS OR GLASS MAT GYPSUM BACKERS INSTALLED FOR WALL TILE APPLIED IN ALL TUB / SHOWER AREAS AND WALL PANELS IN SHOWER AREAS WHICH ARE IN DIRECT CONTACT WITH WATER OR HIGH HUMIDITY.
ALL GLAZING IN DOORS AND ENCLOSURES FOR TUBS AND SHOWERS SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION. GLAZING IN ANY PART OF A BUILDING ENCLOSURE THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION. GLAZING WITHIN 60 INCHES MEASURED HORIZONTALLY AND IN A STRAIGHT LINE FROM THE WATERS EDGE OF A BATHTUB IS CONSIDERED TO BE A HAZARDOUS LOCATION.

WINDOW FALL PROTECTION NOTE:

ALL WINDOWS SHOWN SHALL FOLLOW FALL PROTECTION CODE R312.2 OF THE 2018 IRC CODE AND COMPLY WITH SEC. R312.2. ALL WINDOWS WHERE THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LESS THAN 24" ABOVE THE FINISHED FLOOR AND GREATER THAN 72" ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW ON EXTERIOR OF THE BUILDING, THE OPERABLE WINDOW SHALL COMPLY, OPERABLE WINDOW OPENINGS WILL NOT ALLOW A 4" DIAMETER SPHERE TO PASS THROUGH WHERE THE WINDOW OPENING ARE IN THEIR LARGEST OPENED POSITION, OR HAVE FALL PROTECTION DEVICES THAT COMPLY WITH ASTM F2080.

WINDOW NOTES:

ALL WINDOWS SHOWN ARE UNITS IN FEET AND INCHES.
ALL WINDOWS TO FOLLOW R312 OF THE 2018 IRC CODE.
ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MIN NET CLEAR OPENING OF 5.7 SF.

KITCHEN NOTE:

REFER TO KITCHEN DESIGNERS LAYOUT FOR KITCHEN FINAL LAYOUT WITH ALL TRADES TO FOLLOW

GAS APPLIANCE NOTE:

ADEQUATE SUPPLY OF COMBUSTION AIR SHALL BE PROVIDED FOR ALL GAS APPLIANCES IN ACCORDANCE WITH IPFC'S SPECIFICATIONS AND 2018 IRC.

GLAZING NOTE!

ALL GLAZING REQUIREMENTS TO FOLLOW THE WISCONSIN UNIFORM CODE AND FOLLOW MANUFACTURER'S SPECIFICATIONS

BATH VENTING NOTE:

ALL BATHROOM EXHAUST FANS ARE TO BE DUCTED TO THE EXTERIOR

ATTIC ACCESS NOTE:

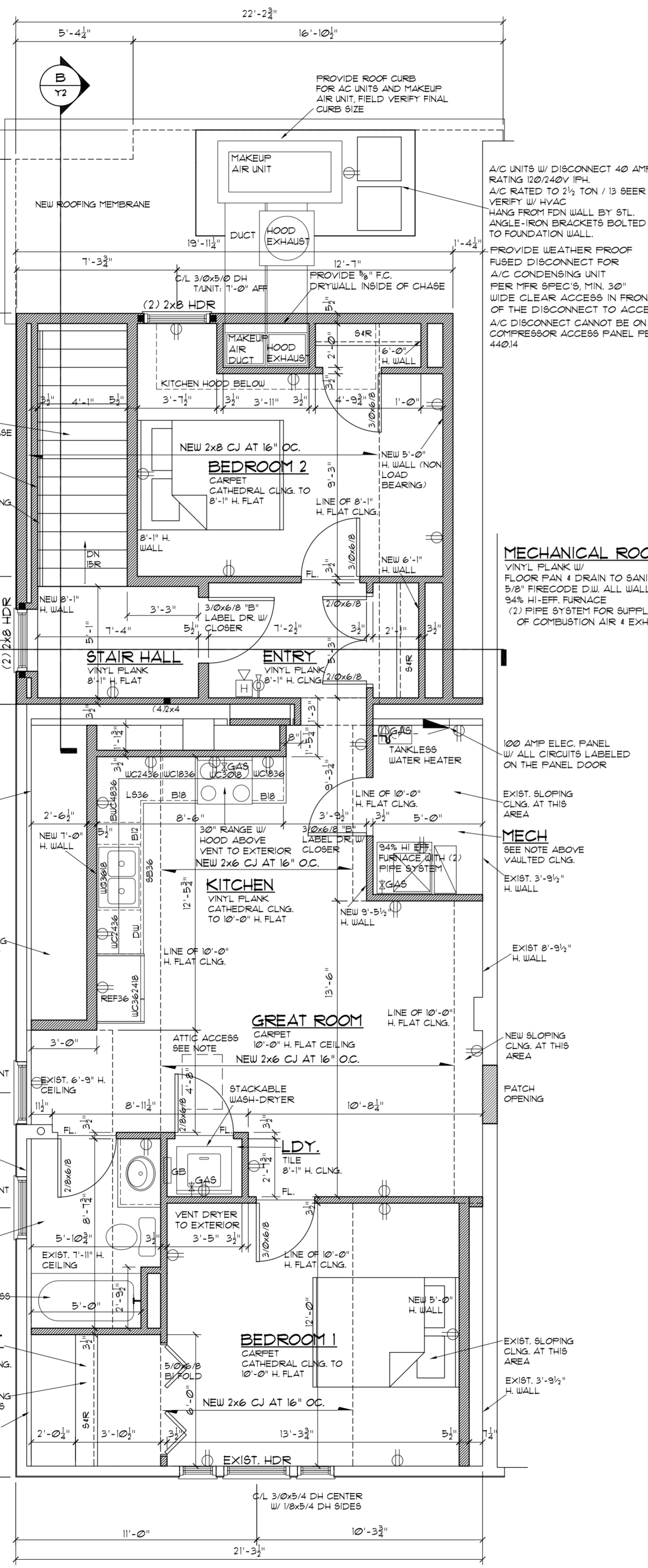
ACCESS PANELS TO ATTICS SHALL BE WEATHER STRIPPED AND INSULATED TO A LEVEL EQUAL TO THE INSULATION ON THE SURROUNDING SURFACES.
22"x36" ATTIC ACCESS, VERIFY LOCATION FOR MIN 30" HEADROOM ABOVE OPENING PER R501

CARPENTRY NOTE:

PROVIDE SOLID BACKING AT ALL WALL MOUNTED FIXTURES.

PLUMBING NOTES:

MECHANICAL PIPING CARRYING FLUIDS ABOVE 105 DEGREES F SHALL HAVE R-3 INSULATION PER 2018 IECC CODE REQUIREMENTS.
HOT WATER SUPPLY SHALL BE RECIRCULATING WITH AN AUTOMATIC OR MANUAL RECIRCULATING PUMP.



PROPOSED SECOND FLOOR APARTMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"
RESIDENTIAL APARTMENT: 850 SF.

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EQUIPMENT SCHEDULE

KITCHEN EQUIPMENT

TAG	QTY.	MANUFACTURE	DESCRIPTION	MODEL NUMBER	REMARKS
1	1	VULCAN	66 GAS FLOOR DEEP FRYER	LG300-2	30000 BTU, 3/4" NPT.
2	1	VULCAN	60" 6 BURNER GAS RANGE W/ OVEN	9X36-6B	168000 BTU (ON LEGS)
3	1	MOTAK	36" GAS CHARBROILER	MBR36	105000 BTU (COUNTERTOP)
4	1	WOLF	TEFPANYAKI GRIDDLER	TYG36C	30000 BTU (COUNTERTOP)
5	1	ACCUREX	RESTAURANT HOOD SYSTEM 10'-0" x 3'-0"	SEE CUT SHEETS	HOOD MAKEUP AIR-FIRE SUPPRESSION
6	1	JOHN BOOS	66 3-COMP SINK	E388-1620-12R18-X	
7	1	MOTAK	SANDWICH - SALAD PREP TABLE W/ REFRIGERATED BASE	MST-60-24-X 60 1/5"	115V ON CASTERS
8	1	AMERIKOOLER	WALK IN COOLER	QC060611-NBRC-448A	208/230V
9	1	TRUE	REFRIGERATED MERCHANDISER ONE SECTION	CVM-15-HC-EGC01	115V/60/1-PH 2.5 AMPS

OWNER HAS THE ABILITY TO SUBSTITUTE ANY ON THE EQUIPMENT LISTED ABOVE FOR A EQUAL ITEM.

FOOD SERVICE EQUIPMENT NOTES:

ALL FOOD SERVICE EQUIPMENT MUST MEET NATIONAL SANITATION FOUNDATION STANDARDS.

ALL HAND SINKS MUST BE EQUIPPED WITH DISPENSED SOAP AND PAPER TOWELS, OR OTHER APPROVED DRYING DEVICE. WASTE RECEPTACLES MUST BE PROVIDED AT ALL HAND SINKS. COVERED WASTE RECEPTACLES MUST BE PROVIDED IN THE WOMEN RESTROOM. "HANDS FREE" FAUCETS ARE REQUIRED AT ALL HAND SINKS IN ALL FOOD PREPARATION AND HANDLING AREAS.

ALL SURFACES OF CABINETRY AND COUNTERS IN AND AROUND FOOD PREPARATION, HANDLING, AND STORAGE, AND BAR AREAS MUST BE SEALED OR OTHERWISE FINISHED TO PROVIDE A CLEANABLE FINISH.

ALL TABLE TOP OR COUNTER TOP APPLIANCES SHALL HAVE 4" LEGS, OR CASTERS 6" STAINLESS STEEL.

ROOM FINISH SCHEDULE - COMMERCIAL SPACE

ROOM NAME	FLOOR	BASE	WALLS	CEILING	CLG' HGT	NOTES
FRONT OF HOUSE	VINYL PLANK	WOOD BASE	GYP BD	5/8" GYP. BD. TYPE "X"	8'-9 1/2" AFF	
SERVICE	VINYL PLANK	WOOD BASE	GYP BD	5/8" GYP. BD. TYPE "X"	8'-9 1/2" AFF	
MECH.	CONCRETE	VINYL BASE	GYP BD	5/8" GYP. BD. TYPE "X"	8'-9 1/2" AFF	
KITCHEN	TILE	TILE BASE	GYP BD	SUSPENDED CLNG.-CLEANABLE	8'-1" AFF	FRP PANELS ON WALLS TO CEILING
UNIT-BEX TOILET	VINYL PLANK	WOOD BASE	GYP BD	5/8" GYP. BD. TYPE "X"	8'-1" AFF	TILE ON WALLS 48" HIGH
HALL	VINYL PLANK	TILE BASE	GYP BD	5/8" GYP. BD. TYPE "X"	8'-9 1/2" AFF	

CUTTING AND NOTCHING

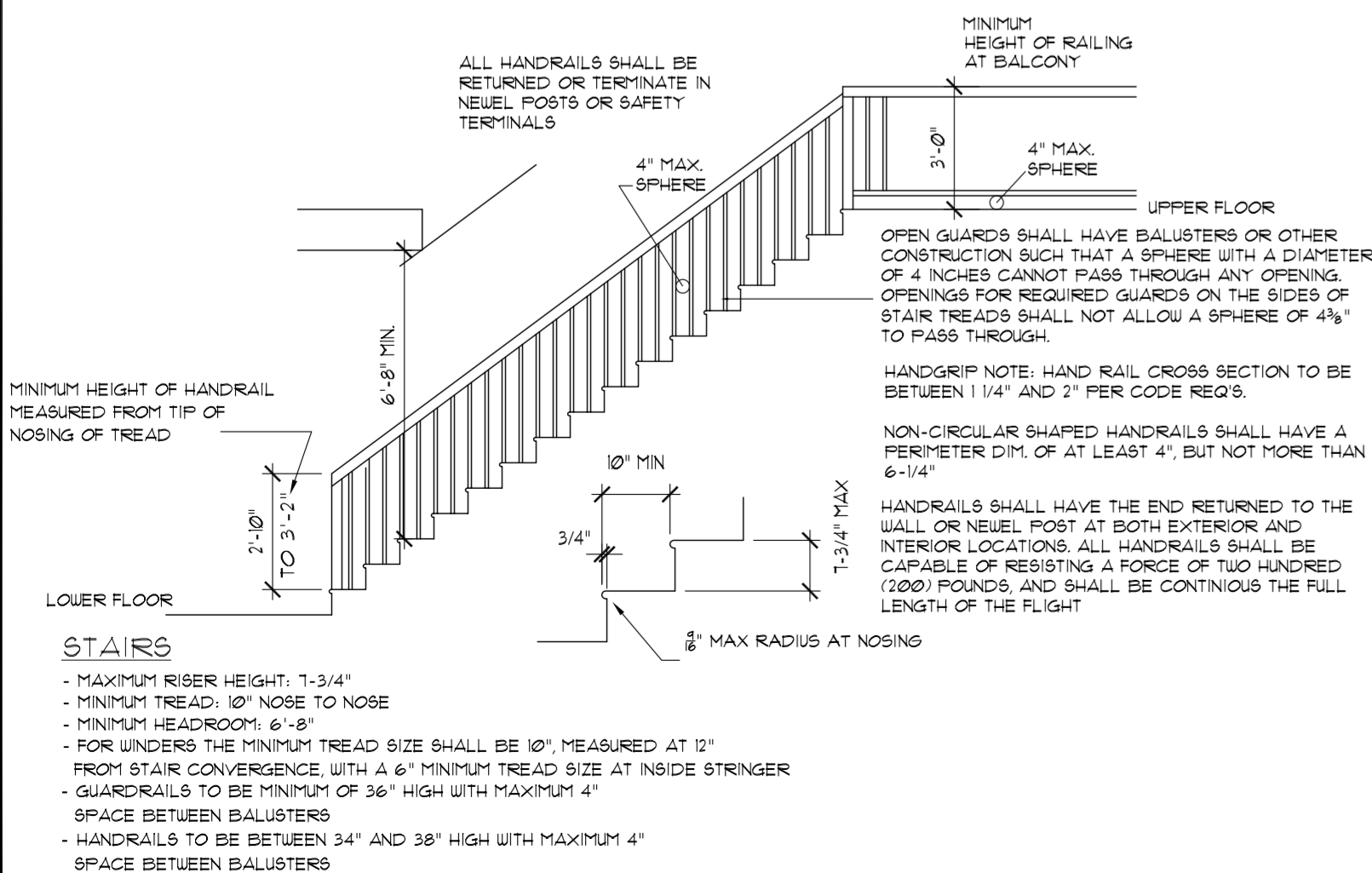
ANY STUD IN AN EXTERIOR WALL OR BEARING PARTITION MAY BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25 PERCENT OF ITS WIDTH. STUDS IN NON-BEARING PARTITIONS MAY BE NOTCHED TO A DEPTH NOT TO EXCEED 40 PERCENT OF A SINGLE STUD WIDTH. ANY STUD MAY BE BORED OR DRILLED PROVIDED THAT THE DIAMETER OF THE RESULTING HOLE IS NO GREATER THAN 40 PERCENT OF THE STUD WIDTH. THE EDGE OF THE HOLE IS NO CLOSER THAN 5/8" INCH TO THE EDGE OF THE STUD, AND THE HOLE IS NOT LOCATED IN THE SAME SECTION AS A CUT OR NOTCH. A STUD MAY BE BORED TO A DIAMETER NOT EXCEEDING 60 PERCENT OF ITS WIDTH, PROVIDED THAT SUCH STUDS LOCATED IN EXTERIOR WALLS OR BEARING PARTITIONS ARE DOUBLED AND THAT NOT MORE THAN TWO SUCCESSIVE STUDS ARE BORED. BORING OR NOTCHING IN EXCESS OF THAT NOTED SHALL BE REINFORCED WITH METAL SPLICE PLATES.

WHERE PIPING OR DUCTWORK IS PLACED IN OR PARTLY IN AN EXTERIOR WALL OR INTERIOR LOAD WALL, NECESSITATING A CUTTING OF THE TOP PLATE BY MORE THAN 50 PERCENT OF ITS WIDTH, THE PLATE SHALL BE REINFORCED WITH 24 GAUGE STEEL ANGLE OR OTHER EQUIVALENT SUPPORT SPANNING THE DISTANCE BETWEEN THE APPROPRIATE STUDS.

NOTCHES IN THE TOP OR BOTTOM OF SOLID JOISTS SHALL NOT EXCEED ONE-SIXTH THE DEPTH OF THE JOIST AND SHALL BE LOCATED IN THE MIDDLE THIRD OF THE SPAN. WHERE JOISTS ARE NOTCHED ON THE ENDS, THE NOTCH SHALL NOT EXCEED ONE-FOURTH THE JOIST DEPTH. CANTILEVERED PORTIONS LESS THAN 4 INCHES WIDE SHALL NOT BE NOTCHED UNLESS THE REDUCED SECTION PROPERTIES AND LUMBER DEFECTS ARE CONSIDERED IN THE DESIGN. WHEN IT IS NECESSARY TO PROVIDE A SPACE FOR PIPES, DUCTS OR VENTS, THE DOUBLE JOISTS REQUIRED TO SUPPORT BEARING PARTITIONS WHICH RUN PARALLEL TO THE FLOOR JOISTS SHALL BE SPACED APART TO ACCOMMODATE THE PIPES, DUCTS, VENTS AND BLOCK AT 4 FEET ON CENTER.

EXIT CAPACITY SCHEDULE

EXIT NUMBER	EXIT MARK	CLEAR DIMENSION	EXIT CALCULATION		
			EXIT UNITS	FACTOR PER PERSON	EXIT CAP. PERSONS
1	LL01	34"	15	60	90
2	LL02	34"	15	60	90
3	LL03	34"	15	60	90
SUMMARY			45	ACTUAL EXITS	
CODE MINIMUM NUMBER OF EXITS			2		3



ROOFER NOTE:

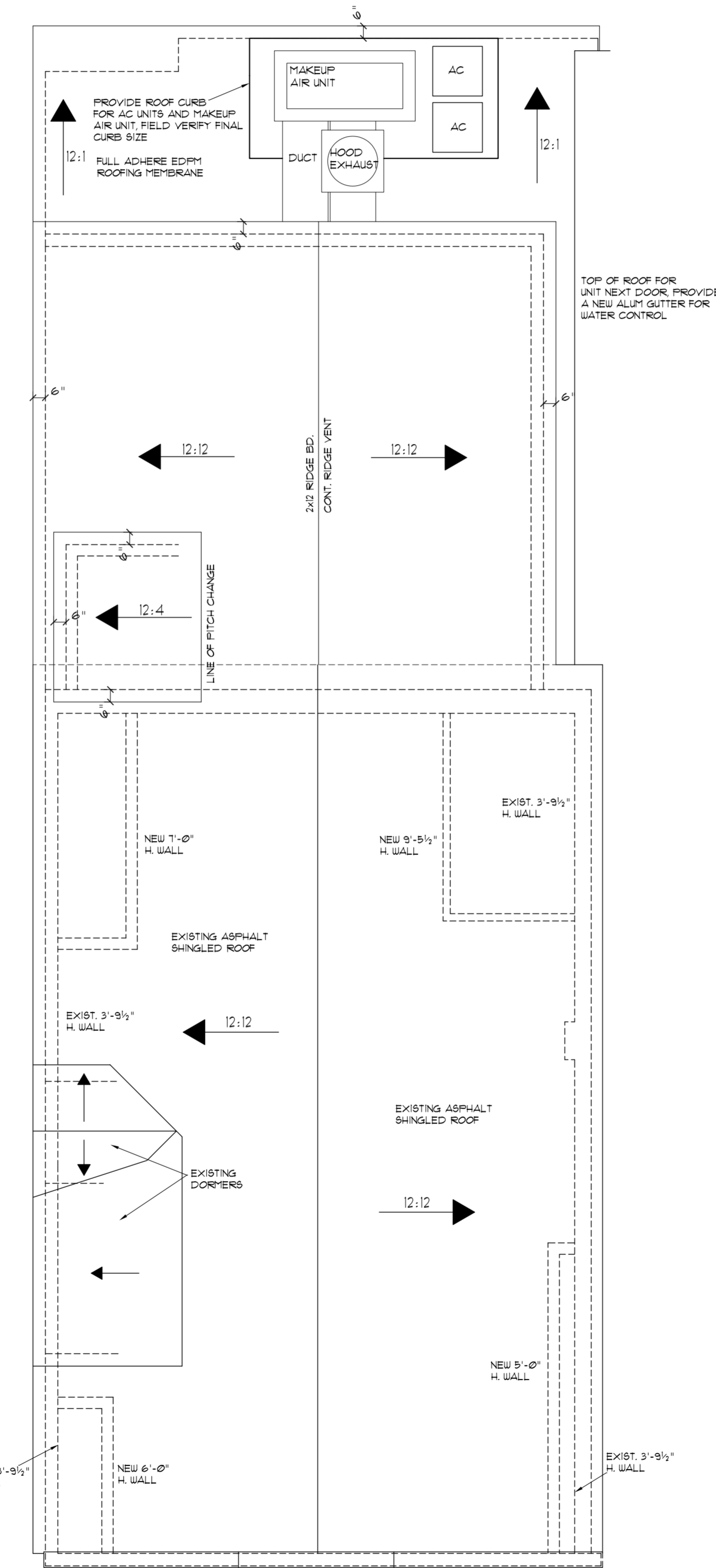
HOUSEWRAP ON WALLS MUST LAP OVER TOP OF CONCEALED FLASHING & ICE BARRIERS. THEREFORE, AT ALL ROOF/WALL CONVERGENCES IT IS THE ROOFER'S RESPONSIBILITY TO CUT (IF NECESSARY) AND UNFASTEN HOUSEWRAP ON WALLS SUCH THAT REQUIRED ICE BARRIERS & CONCEALED FLASHING CAN BE INSTALLED PROPERLY AGAINST WALL SHEATHING AND LAP THE HOUSEWRAP OVER IN A "SHINGLE STYLE" EFFECT. IT IS ALSO THE ROOFER'S RESPONSIBILITY TO REPAIR HOUSEWRAP THAT WAS TORN OR CUT DURING INSTALLATION OF ROOFING MATERIALS, AND TO REFASTEN IT TO THE WALL SHEATHING. TAPE USED AT SEAMS MUST BE APPROVED FOR THAT HOUSEWRAP BY ITS MANUFACTURER.

ICE BARRIER:

AN ICE BARRIER THAT CONSISTS OF A LEAST TWO LAYERS OF UNDERLAYMENT CEMENTED TOGETHER OR OF A SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET, SHALL BE USED IN LIEU OF NORMAL UNDERLAYMENT AND EXTEND FROM THE LOWEST EDGES OF ALL ROOF SURFACES TO A POINT AT LEAST 24 INCHES (610 MM) INSIDE THE EXTERIOR WALL LINE OF THE BUILDING. ICE BARRIERS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS NOT ONLY FROM THE LOWEST EDGES BUT ALSO TO 24" OF EITHER SIDE OF ALL VALLEYS AND PITCH CHANGES, OVER ENTIRE SURFACE OF ALL ROOFS PITCHED LESS THAN 4:12 AND OVER ALL SADDLES & CRICKETS REGARDLESS OF PITCH. WHERE ROOF SURFACES RUN ADJACENT TO WALLS, ICE BARRIER MUST BE EXTENDED TO RUN CONTINUOUSLY FROM ROOF SURFACE UP WALL SHEATHING A MINIMUM OF 12" UNLESS NOTED OTHERWISE.

ATTIC VENTILATION:

WHEN DETERMINED BY THE BUILDING OFFICIAL DUE TO ATMOSPHERIC OR CLIMATIC CONDITIONS, ENCLOSURE AND RAFTER SPACES FORMED WHERE CEILING ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW. THE NET FREE VENTILATING AREA SHALL BE NOT LESS THAN 1 TO 50 OF THE AREA OF THE SPACE VENTILATED. EXCEPT THAT THE AREA MAY BE 1 TO 300, PROVIDED AT LEAST 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 36" ABOVE EAVE OR CORNICE LEVELS. THE NET FREE CROSS-VENTILATING AREA MAY NOT BE LESS THAN 1 TO 300 OF THE AREA OF THE SPACE VENTILATED WHEN THE VAPOR BARRIER HAVING A TRANSMISSION RATE NOT EXCEEDING 1 PERM IS INSTALLED ON THE WARM SIDE OF THE CEILING.



PROPOSED ROOF PLAN VIEW W/ RENOVATION

SCALE: 1/4" = 1'-0"

PLUMBING NOTES:

PROVIDE 3/4" AIR CHAMBERS AT ALL FIXTURES & RISERS. VALVE ALL FIXTURES, EQUIPMENT, & APPLIANCES.

MINIMUM SUPPLY SIZES AND FLOW RATES:

DISHWASHER	1/2" LINE 1.0 GPM
BATH TUBS	1/2" LINE 2.0 GPM
KITCHEN SINK	1/2" LINE 2.0 GPM
LAVATORIES	1/2" LINE 1.0 GPM
SHOWERS	1/2" LINE 2.0 GPM
WATER CLOSETS	1/2" LINE 3.0 GPM
LAUNDRY TUB	1/2" LINE 3.0 GPM
HOSE BIBB	1/2" LINE 5.0 GPM

CELL CORE PVC IS NOT ALLOWED FOR DRAINAGE, WASTE & VENTING PIPING.

ALL SHOWER OR SHOWER/TUB UNITS MUST HAVE EITHER A THERMOSTATIC OR PRESSURE BALANCING SAFETY-MIXING VALVES. SET TO DELIVER A MAX. OF 115 DEG. WATER AT TIME OF INSTALLATION.

PROVIDE A VACUUM BREAK FOR ALL HOSE THREADED OUTLETS.

WASTE DIAGRAM NOTES:

4" DRAINS AND 2" VENTS FOR HORIZONTAL RUNS ALL STUDS TO FIXTURES @ 2"

THE PLUMBING INSPECTOR SHALL FIELD VERIFY THE DRAIN, WASTE, VENT, AND WATER DISTRIBUTION SYSTEM SHALL BE PROPERLY SIZED IN ACCORDANCE WITH THE APPROPRIATE TABLES FOUND IN 800 APPENDIX A.

ALL FLOOR DRAINS SHALL BE INDIVIDUALLY VENTED, AND ACCESSIBLE AND READILY CLEANED, AND SHALL BE LOCATED SO THAT THEY ARE EASILY VISIBLE.

ALL EXPOSED HOT WATER PIPING SHALL BE INSULATED FROM THE WATER HEATER TO THE FIXTURES WITH A MINIMUM THERMAL RESISTANCE (R-VALUE) OF R-3 INSULATION.

CONCRETE NOTES

CONCRETE FLOOR PATCHES SHALL HAVE HARDENER AND SEALER.

MATCH SAW CUT CONTROL JOINTS AS REQUIRED. ALL CONCRETE SHALL BE NORMAL WEIGHT AND HAVE A 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI.

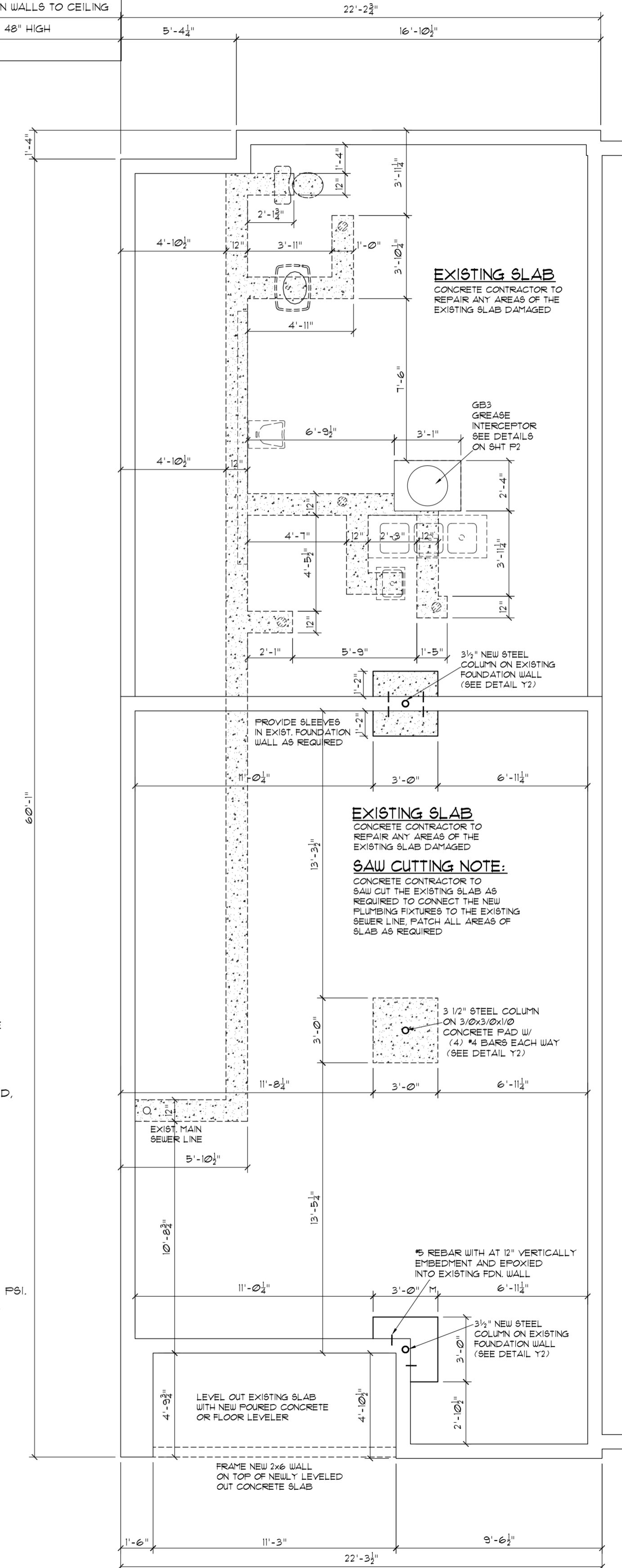
ALL REINFORCING BARS SHALL BE ASTM A185. ALL NEW FLATWORK SHALL BE REINFORCED WITH 6x6 W/4x4 WELDED FABRIC NOTED OTHERWISE.

VERIFY REQUIRED OPENINGS, SLEEVES, EQUIPMENT PADS, DEFLECTION CURVES, FLOOR FINISHES, INSERTS, AND OTHER EMBEDDED ITEMS WITH CONTRACTORS. FABRICATORS SHALL SUBMIT CHECKED SHOP DRAWINGS FOR REINFORCING STEEL AND OTHER DETAILS TO CONTRACTORS FOR APPROVAL.

GENERAL NOTE:

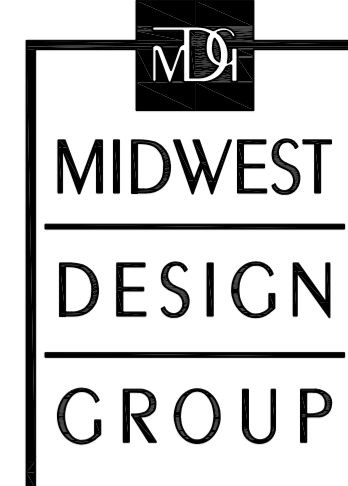
ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED MATERIAL.

ALL FASTENERS, HANGERS, AND FLASHING FOR PRESSURE TREATED WOOD SHALL BE COMPATIBLE WITH ACC TREATED LUMBER.



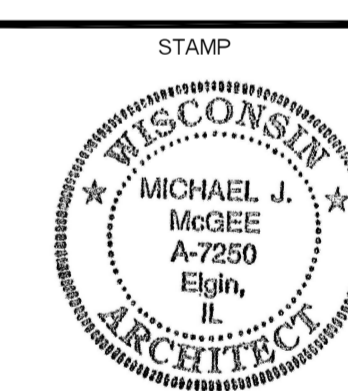
FOUNDATION PLAN W/ RENOVATION

SCALE: 1/4" = 1'-0"



DESIGNERS
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RENOVATION TO:
140 BROAD STREET
LAKE GENEVA WI 53147

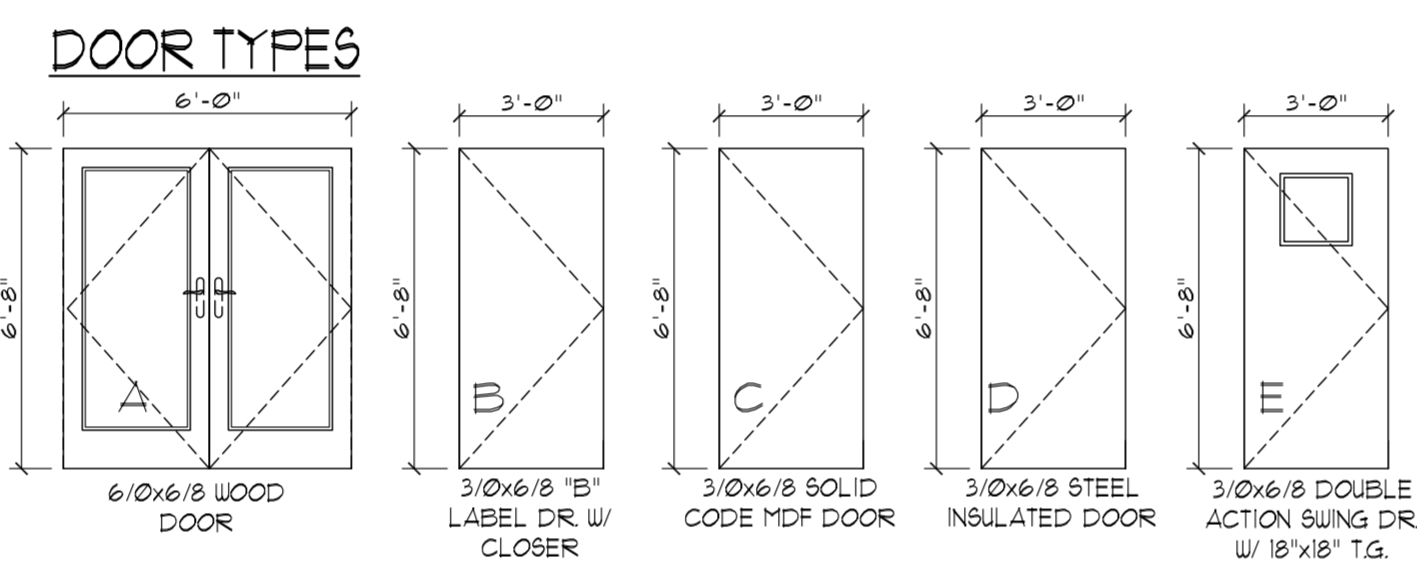
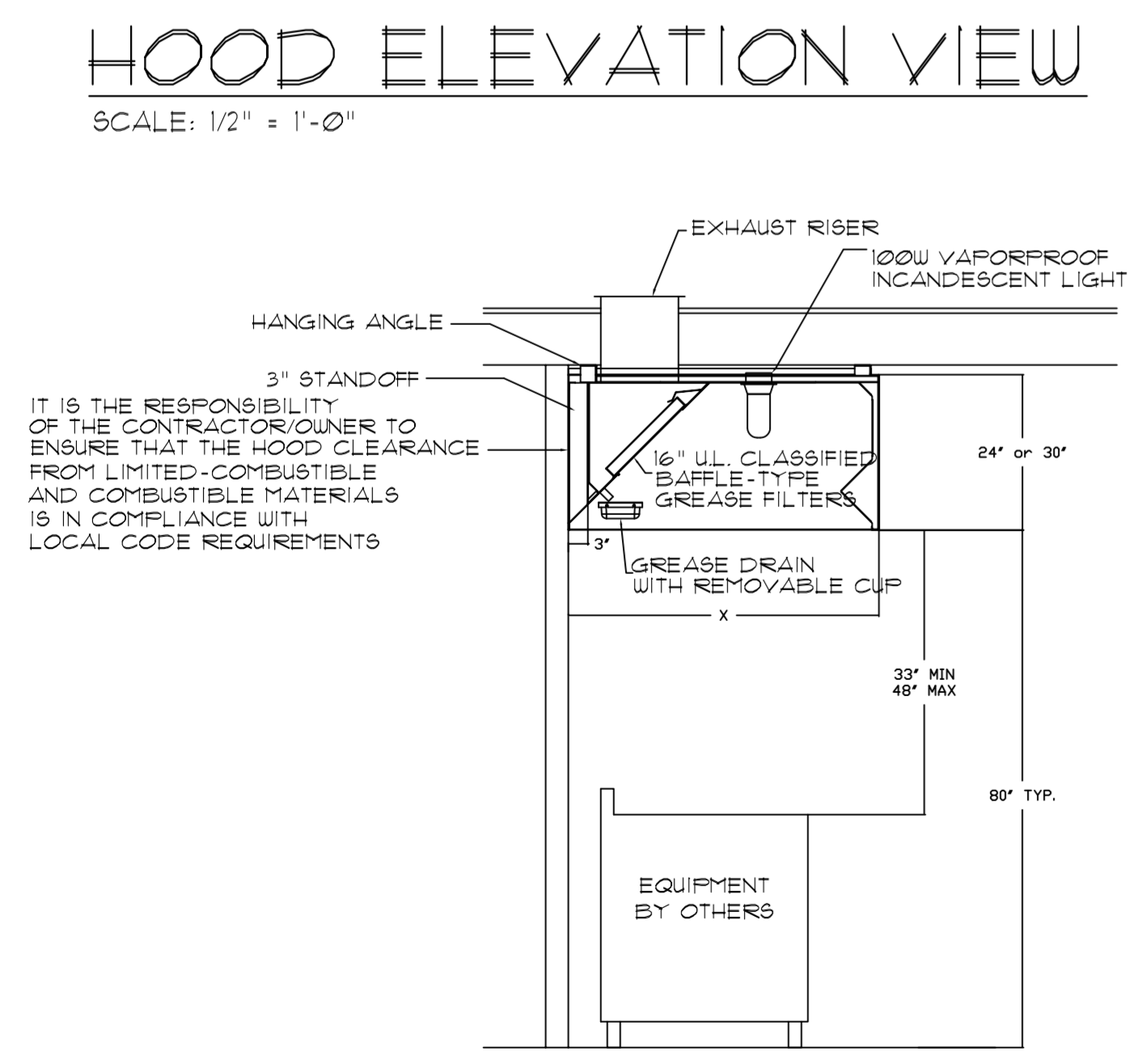
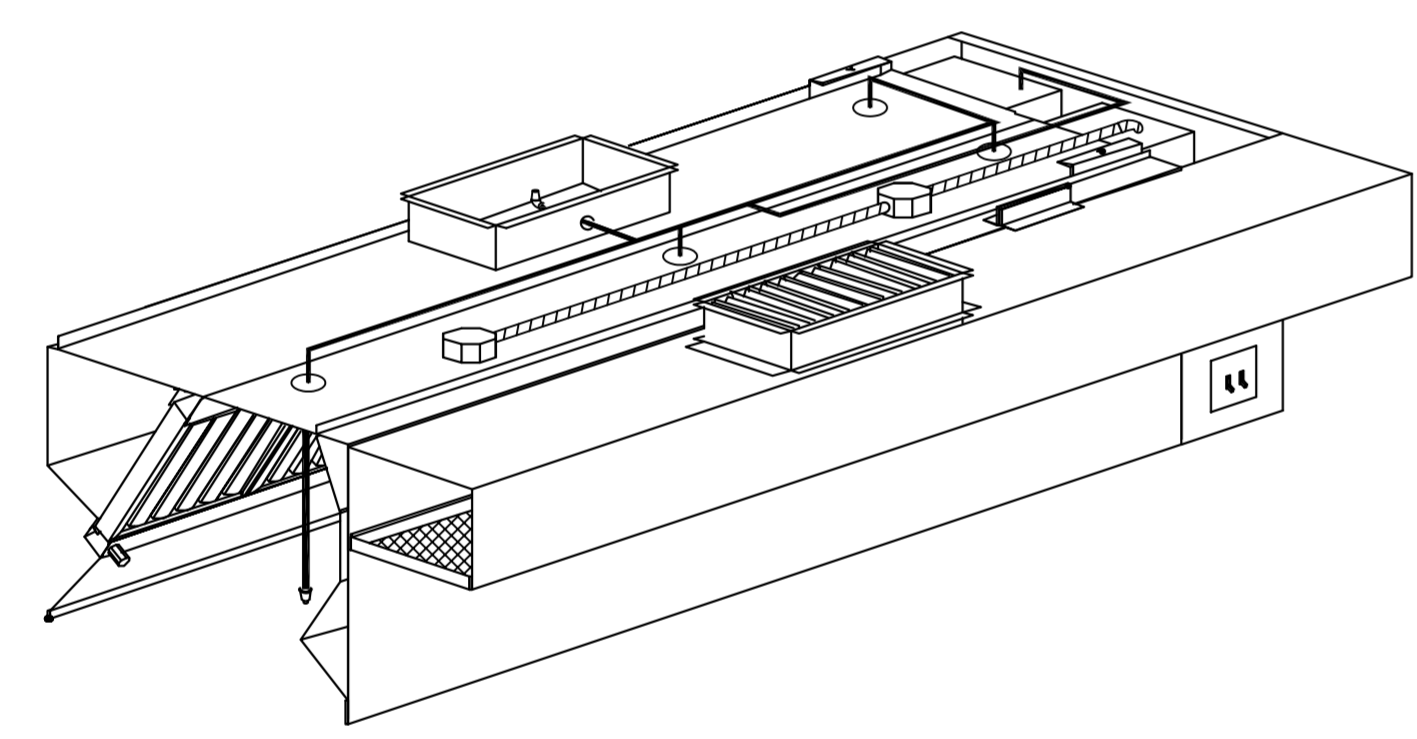
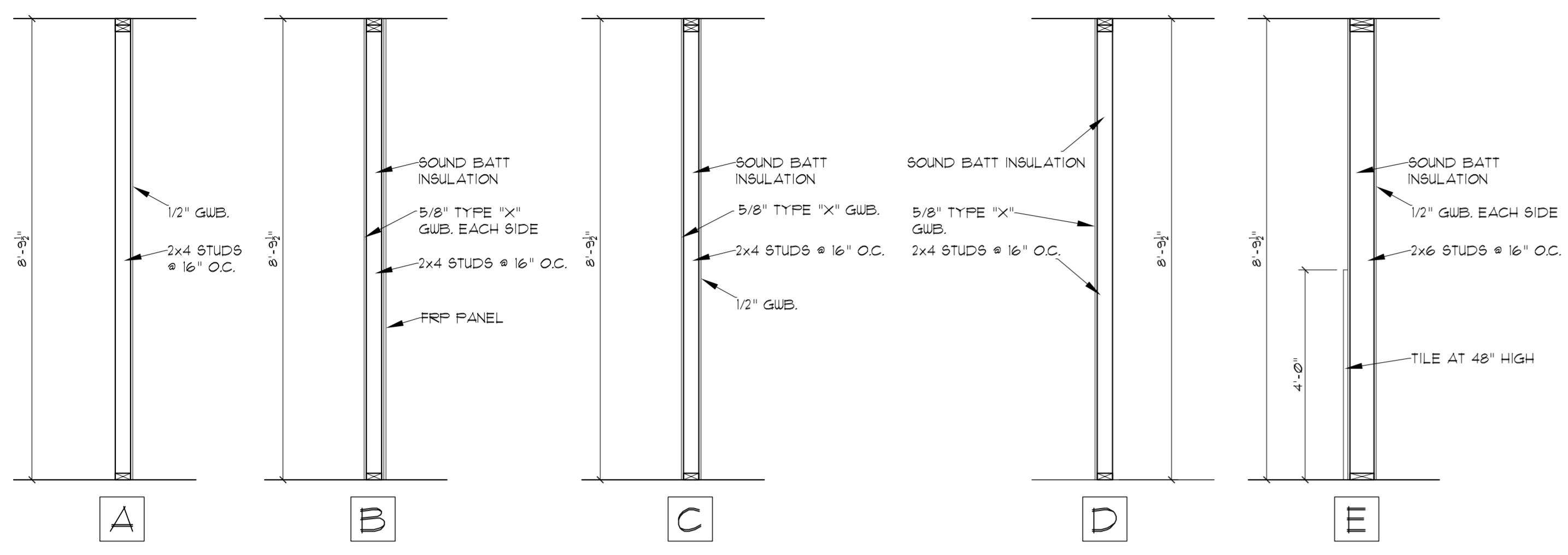


DATE	DESCRIPTION OF REVISION
11-22-24	1 PRELIMINARY PLAN FOR REVIEW
12-23-24	2 PHASE 1 PLANS FOR BIDDING ONLY
4-22-25	3 PHASE 2 FINAL PLANS FOR PERMIT

B2
X-140 BROAD STREET.dwg

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DOOR SCHEDULE:

DOOR NOTES:

ALL EXTERIOR DOORS TO BE 1-3/4" FLUSH SOLID CORE WITH 18 GA. WELDED HOLLOW METAL FRAMES, AS FLUSH WITH SLABS.

PROVIDE ONE HOUR RATING ON MECH. RM. DOOR INCLUDING CLOSERS AND SMOKE GASKETS. VERIFY RATED FRAMES WHERE REQUIRED.

PROVIDE ACCESSIBILITY GENDER SIGNAGE AT ACCESSIBLE WASHROOMS. ALL SIGNAGE TO COMPLY WITH ILLINOIS ACCESSIBILITY CODE SECTION 400.31

ALL THRESHOLDS TO MEET ADA ACCESSIBILITY REQUIREMENTS.

PROVIDE LOCKS ON ALL OUTSIDE AND STORAGE ROOM DOORS. PROVIDE BATHROOM-STYLE LOCKS ON ALL BATHROOM AND OFFICE DOORS.

DOOR HARDWARE AND LOCKING SCHEDULE TO MEET ALL ILLINOIS ACCESSIBILITY CODE AND 2012 IBC REQUIREMENTS. CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND, AND SHALL NOT REQUIRE TIGHT GRASPING, FINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 LBS.

ACCESSIBLE SIGNAGE SHALL COMPLY WITH ANSI STANDARD A117.1 SECTION 4.28. ACCESSIBLE SIGNAGE SHALL BE POSTED ON BATHROOMS ON LATCH SIDE OF DOOR 60" AFF. SIGNAGE SHALL INCLUDE BRAILLE.

ALL INTERIOR DOORS TO BE SOLID CORE WOOD OR FLUSH METAL.

ALL DOOR FRAMES TO BE STEEL.

DOORS SHALL HAVE LCN ADA CLOSERS, OR EQUAL, UL LISTED FOR USE ON FIRE DOORS AND CONFORMING TO ANSI A 156.4, GRADE 1, AND THE AMERICANS WITH DISABILITIES ACT.

ALL DOORS (WHERE APPLICABLE) SHALL HAVE LEVER OR PUSH/PULL HARDWARE THAT CONFORMS TO THE ADA AND DOES NOT REQUIRE TIGHT GRASPING, FINCHING, OR TWISTING OF THE WRIST TO OPERATE (IAC 400.310(J)(2)).

DEAD BOLTS SHALL OPERATE WITH LEVER OR PADDLE RELEASES, THUMB TURNS ARE NOT ALLOWED. KEY OPERATION OF INTERIOR DEADBOLTS IS NOT ALLOWED. DEADBOLTS AT EGRESS DOORS ARE NOT ALLOWED.

PROVIDE DOOR ALARM AND SIGNAGE INDICATING DOOR USED FOR "EMERGENCY EXIT ONLY - ALARM WILL SOUND WHEN OPENED".

FRONT DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS.

PROVIDE SAFETY GLAZING WITHIN 24" OF THE EDGE OF ANY DOOR PER 2018 IBC 2406.2

ALL DOORS AND LATCHES, SHALL OPEN FROM THE EGRESS SIDE WITHOUT KEY OR SPECIAL KNOWLEDGE AND SHALL NOT REQUIRE MORE THAN ONE MOTION TO OPEN THE LATCH. THUMB TURNS OR KEYED LOCKS ARE NOT AN APPROVED ACCESSIBLE MEANS OF EGRESS PER 2018 IBC 1009.19

ALL DOOR FRAMES, HARDWARE, CLOSERS, THAT ARE PART OF THE FIRE RATED OPENING ASSEMBLY SHALL ALSO BE FIRE RATED. THE DOOR AND THESE ITEMS SHALL BE PERMANENTLY LABELED WITH THE MANUFACTURE AND FIRE RATING. THESE ITEMS SHALL BE TESTED IN ACCORDANCE WITH NFPA 252 OR UL10C.

MASTER KEY ALL LOCKS

ALL EXIT AND EXTERIOR DOORS MUST HAVE PANIC HARDWARE AND BE SELF CLOSING AND TIGHT FITTING.

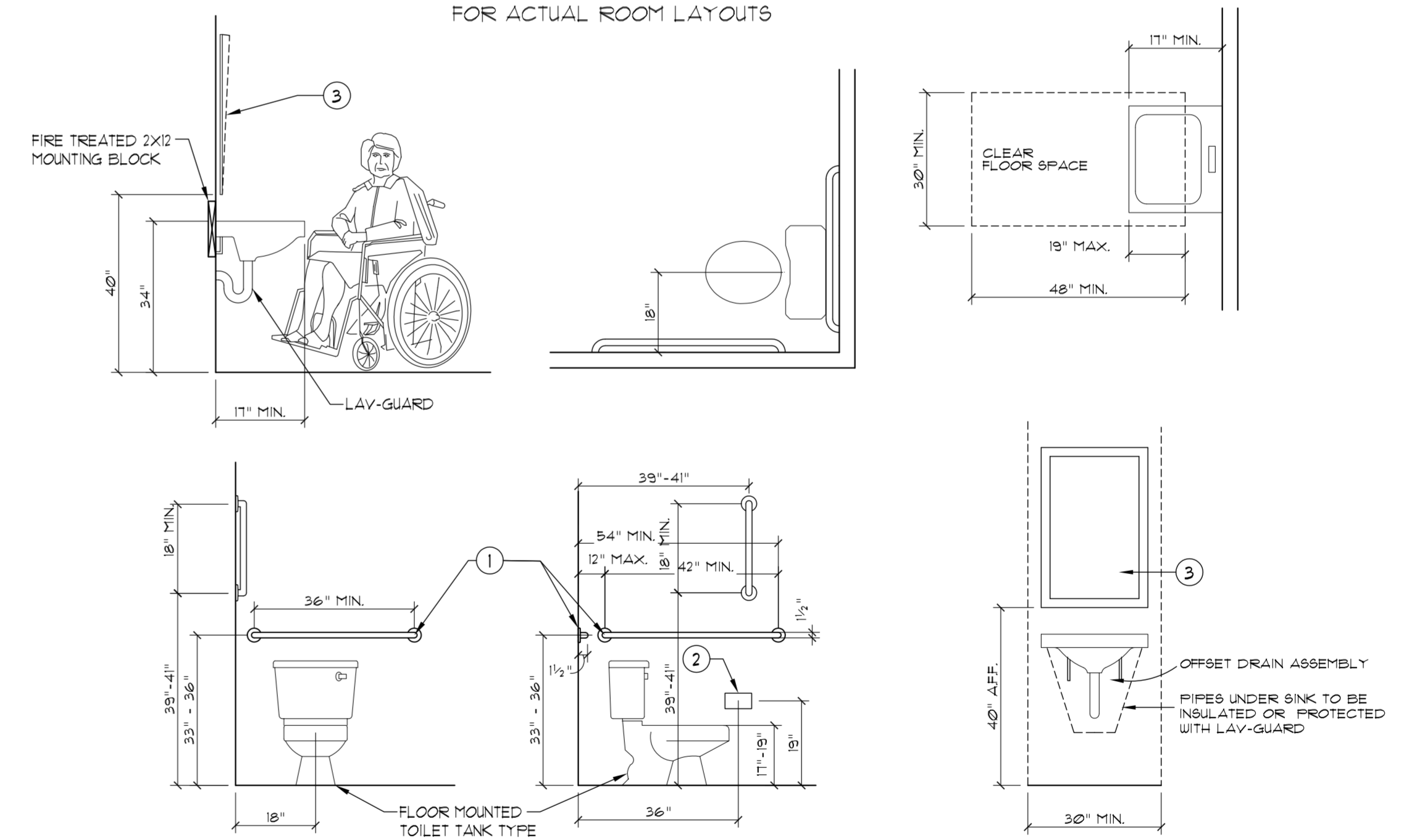
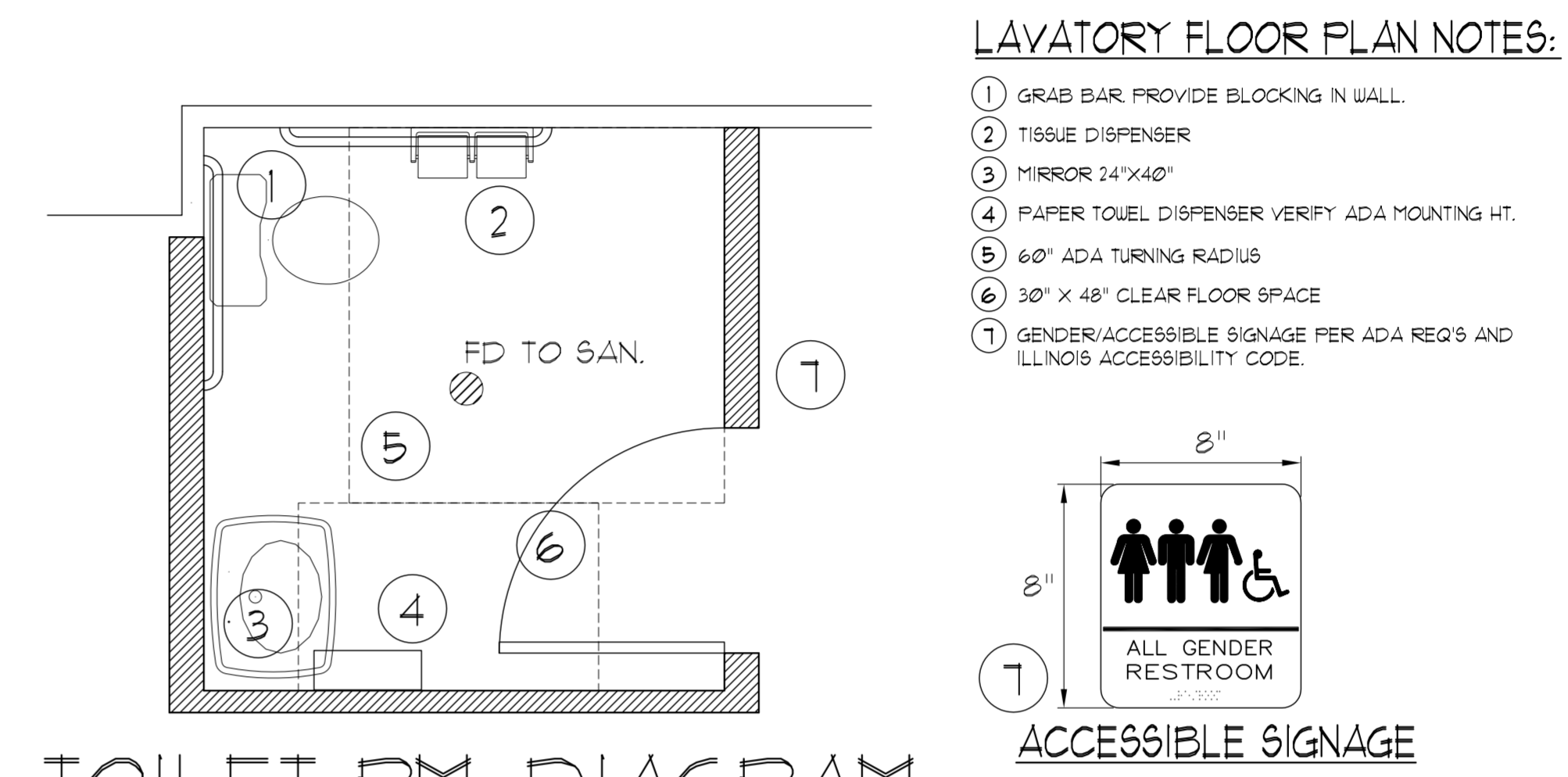
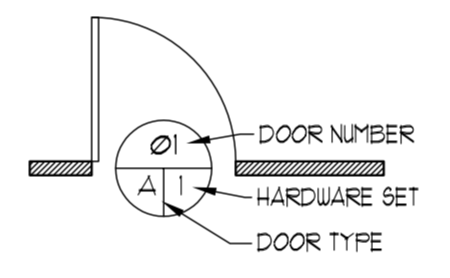
PROVIDE BLOCKING FOR DOOR STOPS.

CLOSER TO BE MOUNTED TO THE DOOR NOT THE FRAME. CLOSER TYPE TO BE 90 DEG'S.

HARDWARE SET 1:
CLOSER, FLOOR/WALLSTOP AS REQD.

HARDWARE SET 2:
CLOSER, LOCKSET, FLOOR/WALL STOP AS REQD.

HARDWARE SET 3:
PRIVACY LOCKSET, FLOOR/WALLSTOP AS REQD.



CONTROLS & OPERATING MECHANISMS:

- ALL FAUCETS SHALL BE WRIST BLADES, LEVER, PUSH, OR ELECTRONICALLY CONTROLLED.
- IF A TOWEL DISPENSER REQUIRES A FRONT APPROACH PROVIDE 48" FROM FLOOR TO OPERATING DEVICE (HANDLE).
- VERIFY WITH LOCAL ORDINANCES FOR AUTOMATIC SHUT-OFF REQUIREMENTS.

- CONTROLS SUCH AS LIGHT SWITCHES OR THERMOSTATS, AND OPERATING MECHANISMS SUCH AS TOWEL DISPENSERS, FIRE EXTINGUISHERS, FLUSH VALVES, ON/OFF SWITCHES FOR HAND DRYERS, ECT. SHALL BE WITHIN ACCESSIBLE REACH RANGE OF 48" FORWARD REACH AND 54" FOR SIDE REACH W/ 30"x48" CLEAR FLOOR SPACE.
- ALL FAUCETS SHALL BE WRIST BLADES, LEVER, PUSH, OR ELECTRONICALLY CONTROLLED.
- LOCKS & LATCHES: ALL EXTERIOR EXIT DOORS SHALL BE READILY OPENABLE FROM THE INSIDE WITHOUT USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. THE MAIN EXTERIOR EXIT DOOR IS PERMITTED TO BE EQUIPPED WITH A KEY OPERATED LOCKING DEVICE FROM THE INSIDE AS LONG AS THE LOCKING DEVICE IS A TYPE READILY DISTINGUISHABLE AS LOCKED. A READILY VISIBLE DURABLE SIGN IS POSTED ON THE EGRESS SIDE ON OR ADJACENT TO THE DOOR STATING "THIS DOOR TO REMAIN UNLOCKED WHEN THIS BUILDING IS OCCUPIED". THE SIGN SHALL BE IN LETTERS 1" HIGH ON A CONTRASTING BACKGROUND. THE MAIN EXTERIOR DOOR IS A SINGLE DOOR WHICH WHEN UNLOCKED SWINGS FREE.

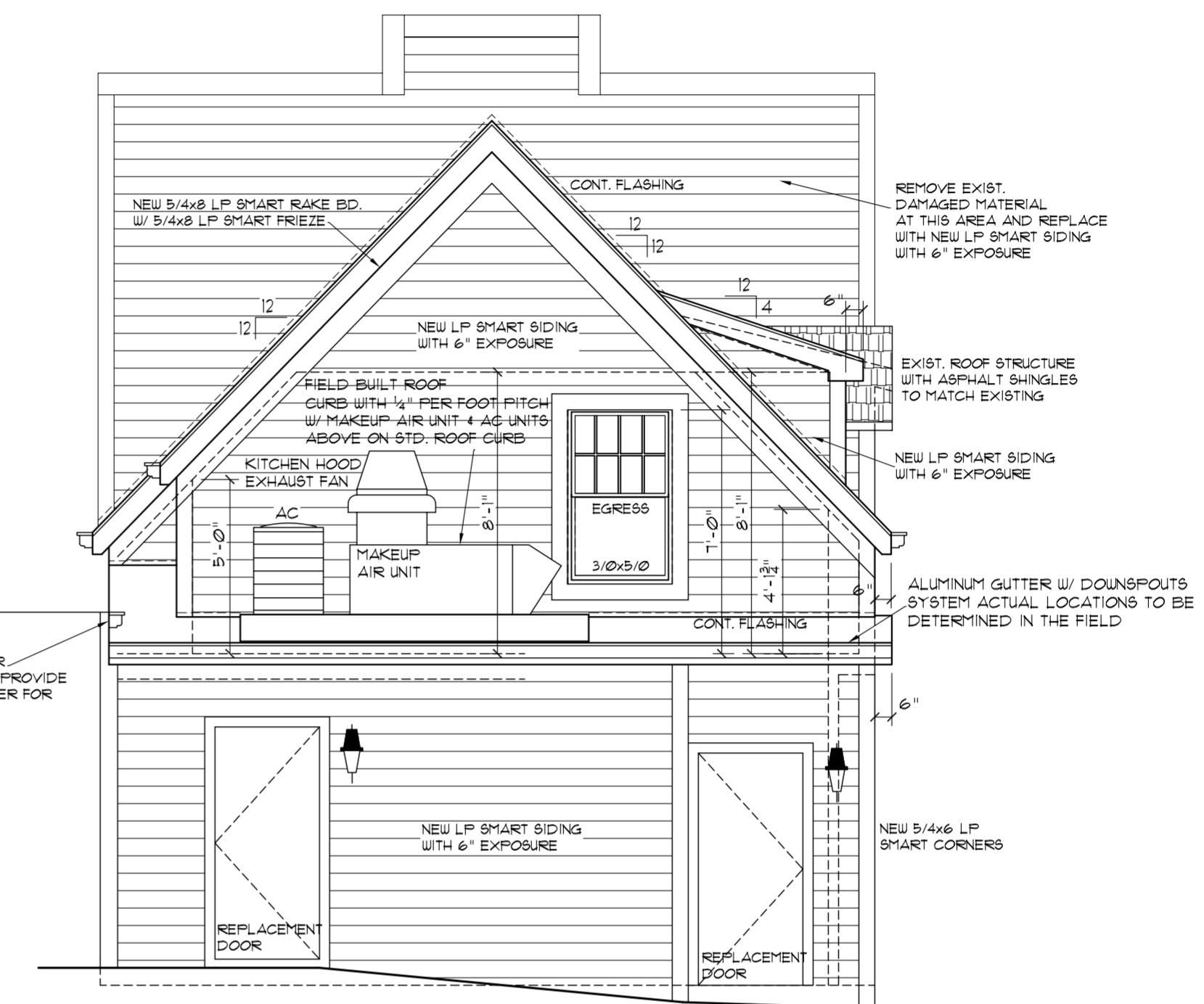
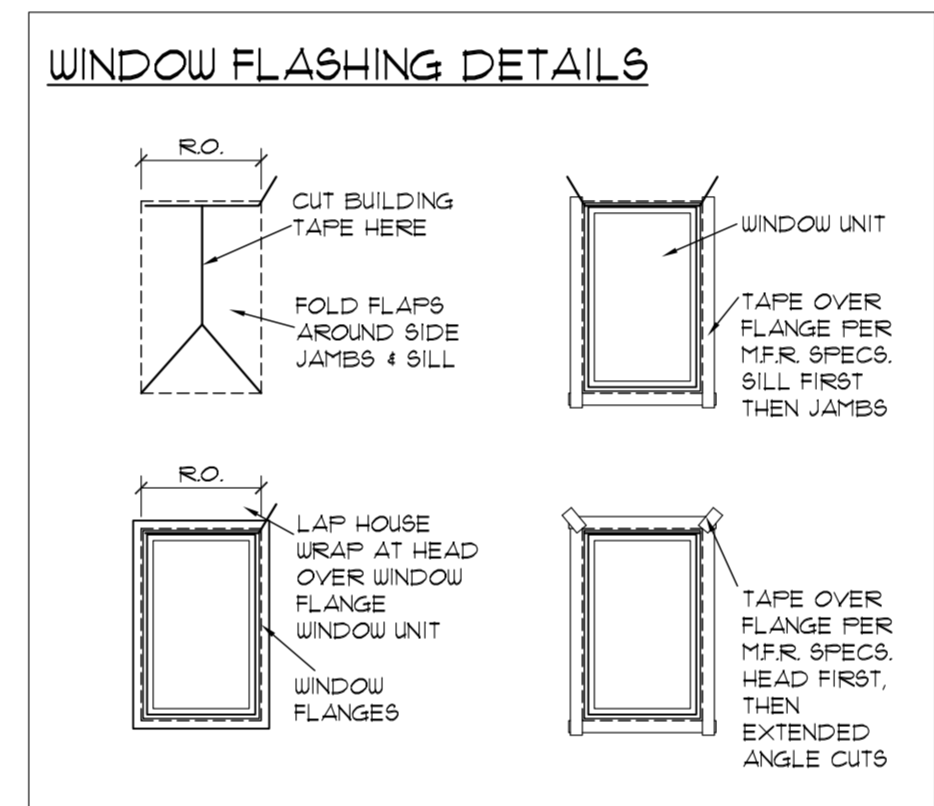
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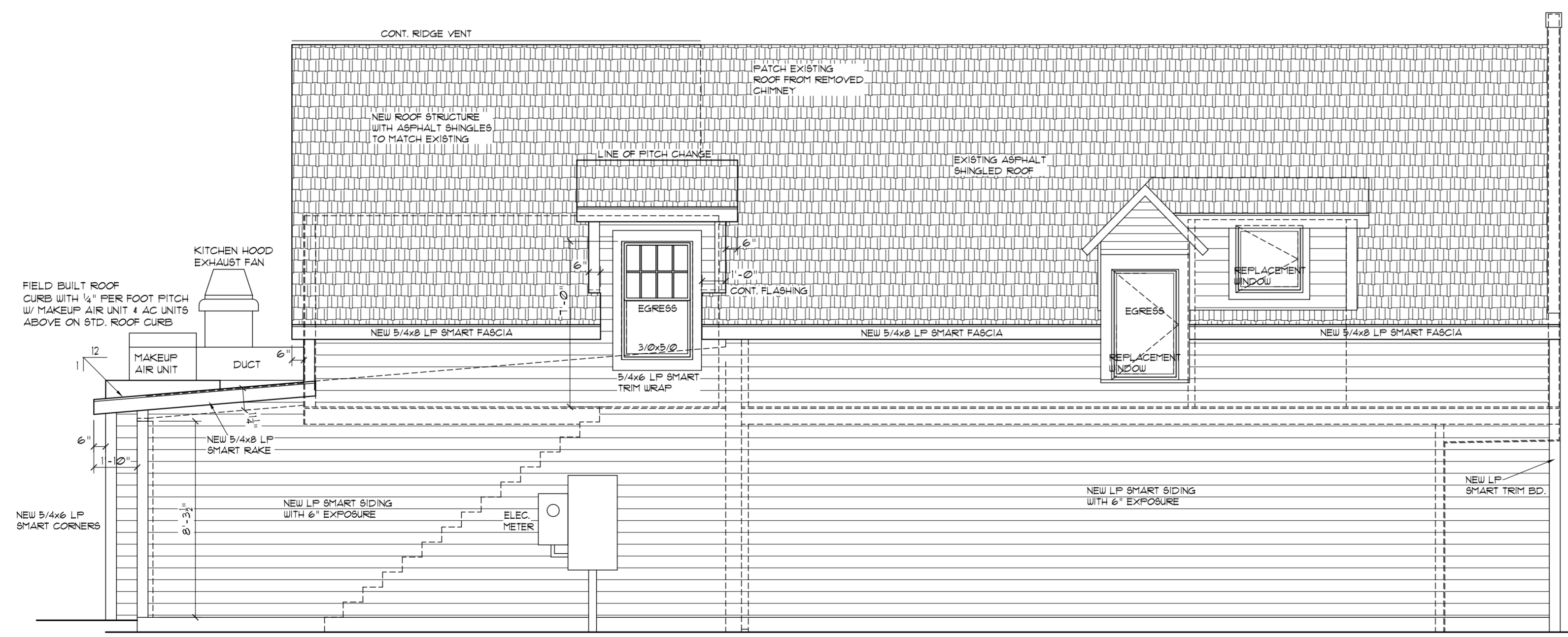
PREFINISHED GUTTERS
4" OR 5" "OGEE" STYLE PREFINISHED ALUMINUM ROLL FORMED SEAMLESS GUTTERS MOUNTED ON FASCIA BOARD. FINAL COLOR TO BE SELECTED BY OWNER

FLASHING NOTE:
PROVIDE FLASHING AT ALL TOP AND SIDES OF WINDOWS, DOORS, SILLS, AND ROOF VALLEYS.
FLASH ALL SILL COPINGS AT MASONRY VENEER OPENINGS

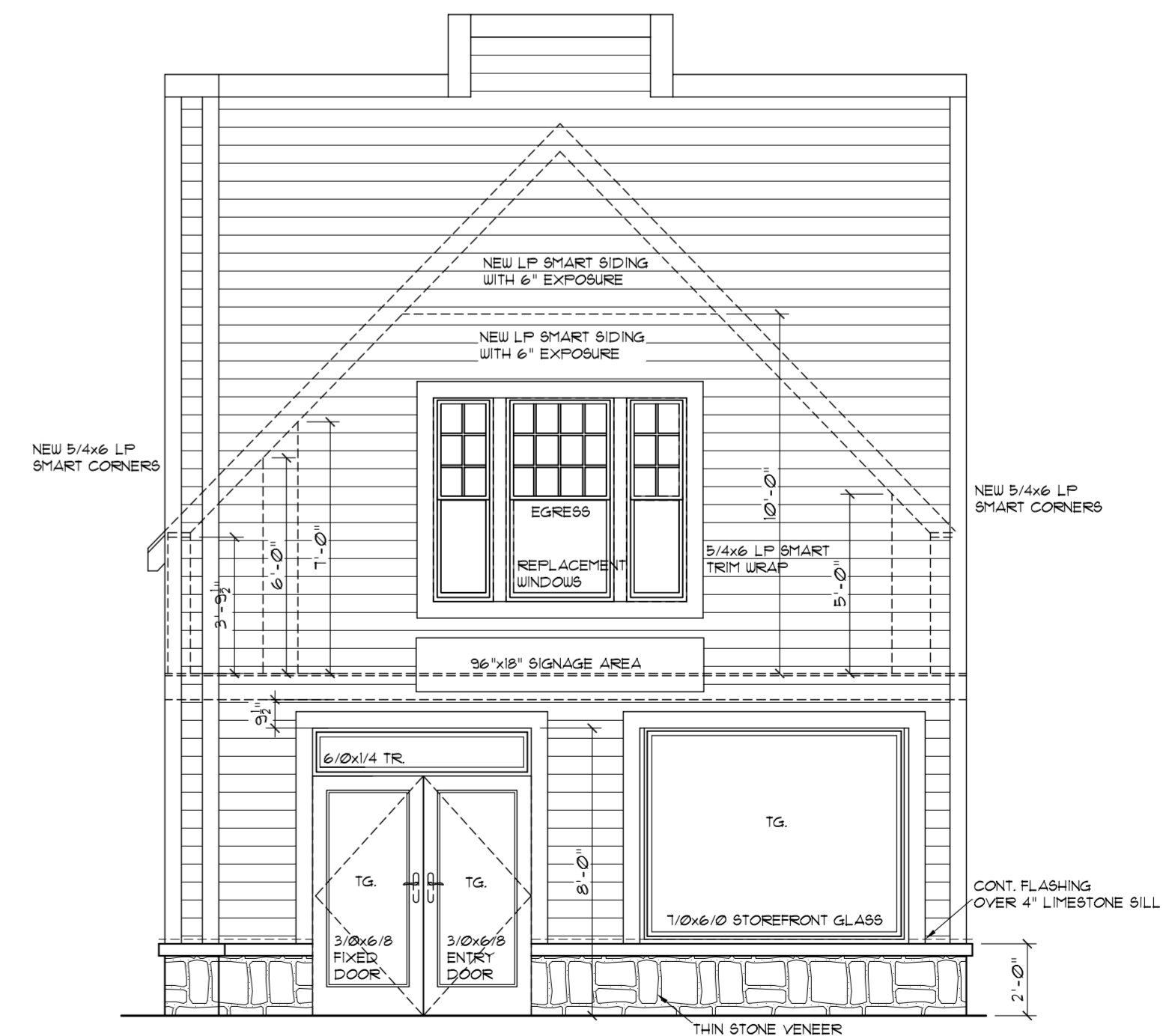
DOWNSPOUT NOTES:
ALL ROOF DOWNSPOUTS SHALL DISCHARGE ON GRADE IN THE FRONT, REAR, OR CORNER SIDE YARD DIRECTION WITH A MAXIMUM EXTENSION OF 5' FROM THE STRUCTURE AND NO CLOSER THAN 5' FROM THE PROPERTY LINE.



**REAR ELEVATION W/
RENOVATION**
SCALE: 1/4" = 1'-0"



**LEFT SIDE ELEVATION W/
RENOVATION**
SCALE: 1/4" = 1'-0"



**FRONT ELEVATION W/
RENOVATION**
SCALE: 1/4" = 1'-0"

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EMERGENCY LIGHTING FIXTURE SCHEDULE			
TYPE	MANUFACTURE	LAMPS	DESCRIPTION
EXIT	SURE-LITES CHX SERIES 3000 SELF POWERED EMERGENCY EXIT SIGN	2-20 WATT T 6 1/2" AC LAMPS AND 2-6 VOLTS 3.6 WATT DC LAMPS	EXIT SIGN SINGLE OR DOUBLE FACED WITH DIRECTIONAL ARROWS. PROVIDE M-1 POWER PACK
	SURE-LITES XR EMERGENCY LIGHT BATTERY UNIT WITH DUAL SUPPLY	2-3.6V LED LAMP	EMERGENCY BATTERY LIGHT WALL MOUNTED 12" FROM CEILING. PROVIDE 4 MOUNT UNIT
	SURE-LITES XR EMERGENCY LIGHT BATTERY UNIT WITH DUAL SUPPLY	1-3.6V LED LAMP	EMERGENCY BATTERY LIGHT WALL MOUNTED

EMERGENCY LIGHTING NOTES:

BATTERY UNITS USED AS EMERGENCY SYSTEM TO COMPLY WITH 10-21-1000.

BATTERY UNITS SHALL BE CONNECTED TO THE LIGHTING CIRCUIT THAT ILLUMINATES THE AREA OF THE BATTERY UNIT.

CONNECT ALL BATTERY UNITS TO THE SAME BRANCH CIRCUIT THAT SERVES THE NORMAL ILLUMINATION IN THAT AREA AND CONNECT AHEAD OF ANY LOCAL SWITCHES.

PROVIDE LOCK-ON CIRCUIT BREAKERS ON CIRCUITS SERVING BATTERY UNITS 24 HOURS ON.

PROVIDE SEPARATE NEUTRAL FOR EXIT CIRCUITS AND EMERGENCY LIGHTING CIRCUITS.

ALL WIRING TO BE ENCLOSED IN SEPARATE RACEWAY SYSTEM, INDEPENDENT OF OTHER WIRING.

PROVIDE SEPARATE NEUTRAL FOR EXIT CIRCUITS AND EMERGENCY LIGHTING CIRCUITS.

MAXIMUM NUMBER OF CONNECTIONS PER CIRCUIT TO BE 15.

EXIT AND EMERGENCY LIGHTING TO BE PROTECTED BY 15 AMP, 1 POLE, PLUG FUSES.

ALL COMPONENTS OF THE MEANS OF EGRESS SHALL BE PROVIDED WITH EMERGENCY LIGHTING WITH MINIMUM 90 MINUTE DURATION. ADDITIONAL EMERGENCY LIGHTING UNITS SHALL BE PROVIDED IN ALL REQUIRED LOCATIONS AND SHALL BE FIELD VERIFIED.

EMERGENCY LIGHTING UNITS SHALL PROVIDE NOT BE LESS THAN 1 FOOT CANDLE (11 LUX) OF ILLUMINATION AT FLOOR LEVEL.

BATTERY BACK UP EXIT SIGNS (90 MIN. MINIMUM) OR DIRECTIONAL SIGNS SHALL BE INSTALLED TO BE READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL THROUGHOUT THE AREA BEING REMODELED. ADDITIONAL EMERGENCY LIGHTING UNITS SHALL BE PROVIDED AND SHALL BE FIELD VERIFIED.

EMERGENCY EXIT SIGNAGE AND EGRESS LIGHTING PROVIDED SHALL COMPLY WITH THE FOLLOWING CODE REQUIREMENTS:
ALL EMERGENCY LIGHTING UNITS ARE REQUIRED TO BE DUAL LAMP UNITS.

ALL EMERGENCY LIGHTING UNITS ARE TO BE PROVIDED WITH 90 MINUTE BATTERY BACKUP, IF NOT ON A GENERATOR SUPPLIED POWER CIRCUIT.

ALL EMERGENCY LIGHTING UNITS SHALL BE ON THE SAME CIRCUIT AS THE NORMAL ROOM LIGHTING AND BE AHEAD OF ANY SWITCHES.

ALL EXIT OR DIRECTIONAL SIGNS ARE TO BE PROVIDED WITH 90 MINUTE BATTERY BACKUP IF NOT ON A GENERATOR SUPPLIED POWER CIRCUIT.

ALL EXIT SIGN, DIRECTIONAL SIGN, OR EMERGENCY LIGHTING UNIT CIRCUITS ARE TO BE IDENTIFIED AND PROVIDED WITH A LOCKOUT.

THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL TEST EQUIPMENT TO VERIFY THAT THE PROPOSED EMERGENCY LIGHTING PLAN MEETS THE PERFORMANCE SPECIFICATIONS OF SECTION 1006.3.1 OF THE IBC.

ELECTRICAL PERMIT CONDITIONS NOTES:

OWNER SHALL MAKE ARRANGEMENTS FOR INSTALLATION OF TELEPHONES, INTERCOMMUNICATIONS AND MUSIC SYSTEMS BEFORE WALLS ARE CLOSED IN.

ALL LIGHT SWITCHES, THERMOSTATS, & OTHER OPERATING CONTROLS SHALL BE MOUNTED NO HIGHER THAN 54" FOR SIDE REACH & 48" HIGH FOR FORWARD REACH.

ALL OUTLETS SHALL BE 15" MINIMUM ABOVE FINISHED FLOOR.

BONDING TO OCCUR AT THE MAIN SWITCH

ALL EXIT & EMERGENCY LIGHTING SHALL BE IN INDEPENDENT RACEWAY & WIRED TO LOCKED CIRCUIT BREAKERS GROUNDING OF METAL BUILDING TO BE THRU WATER MAIN

EXIT LIGHTS WIRE PER ARTICLE 100 NFPA #10 SYSTEM SHALL PICK UP LOAD WITHIN 10 SECONDS AFTER FAILURE OF NORMAL POWER SUPPLY

VERIFY ALL FIXTURE TYPES AND MANUFACTURERS EMERGENCY LIGHTS TO PROVIDE 1 FOOTCANDLE MINIMUM.

PROVIDE EXIT LIGHT ALONG THE PATH OF EGRESS.

MAINTAIN CLEARANCE IN FRONT OF ALL ELEC. PANELS PER 2015 INTERNATIONAL BUILDING CODE

ALL ELECTRICAL DEVICES, CONDUCTORS AND EQUIPMENT SHALL BE LISTED BY A RECOGNIZED AND APPROVED TESTING LABORATORY.

ACCESSIBLE TEMPORARY AND/OR ABANDONED WIRING CONDUCTORS, CONDUIT SYSTEMS, RACEWAYS, JUNCTION BOXES, ELECTRICAL MATERIALS AND ELECTRICAL EQUIPMENT SHALL BE COMPLETELY REMOVED.

IN NO CASE SHALL THERE BE MORE THAN 10 110-VOLT RECEPTACLES AND/OR LIGHT FIXTURES CONNECTED TO ANY BRANCH CIRCUIT.

ALL FURNACES AND AIR CONDITIONERS SHALL EACH BE SUPPLIED BY A SEPARATE CIRCUIT.

ALL REQUIRED SMOKE DETECTORS SHALL BE 110-VOLT WITH BATTERY-BACKUP, INTERCONNECTED AND SUPPLIED BY A GENERAL LIGHTING CIRCUIT. WHEN SMOKE DETECTORS ARE INSTALLED ADJACENT TO UNCONDITIONED SPACES, CONDUIT SHALL HAVE A SIDE ENTRY TO THE JUNCTION BOX.

OUTLETS SHALL NOT BE COMBINED WITH LIGHTING CIRCUITS.

ALL SWITCHES AND OUTLETS SHALL BE CONNECTED TO THE BRANCH CIRCUIT BY USE OF SCREW TERMINALS. NO MORE THAN 1 CONDUCTOR SHALL BE CONNECTED TO AN ELECTRICAL DEVICE SCREW TERMINAL. CONDUCTORS CONNECTED TO SCREWLESS TERMINALS SHALL NOT BE PERMITTED.

FULL SIZE SINGLE-POLE, 2-POLE AND 3-POLE CIRCUIT BREAKERS SHALL BE ALLOWED ONLY 1 CONDUCTOR PER SCREW TERMINAL. MINI-CIRCUIT BREAKERS AND DOUBLE/SINGLE-POLE COMBINATION CIRCUIT BREAKERS SHALL NOT BE INSTALLED IN ANY MAIN SERVICE PANEL, SUB-PANEL OR DISCONNECT ENCLOSURE OF ANY SIZE OR TYPE.

ALL CONDUCTOR MATERIAL SHALL BE COPPER.

IN NO CASE SHALL COMMERCIAL WIRING BE LESS THAN #2 COPPER WIRE AWG.

EMERGENCY LIGHTING SHALL BE PROVIDED IN COMMERCIAL BATHROOMS.

THE EMERGENCY POWER SYSTEM SHALL PROVIDE POWER FOR A DURATION OF NOT LESS THAN 90 MINUTES AND SHALL CONSIST OF STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR. THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE WITH SECTION 7102. THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS THAN 1 FOOT-CANDLE AT THE FLOOR.

THE POWER SOURCE FOR ALL EMERGENCY MEANS OF EGRESS LIGHTING SHALL BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM IN ACCORDANCE WITH NFPA 70.

ALL CONTROLLED RECEPTACLES SHALL BE PERMANENTLY MARKED IN ACCORDANCE WITH NEC 406.3(E) AND BE UNIFORMLY DISTRIBUTED THROUGH THE SPACE.

EITHER SPLIT CONTROLLED RECEPTACLES SHALL BE PROVIDED WITH ONE (1) RECEPTACLE CONTROLLED OR A FULLY CONTROLLED RECEPTACLE SHALL BE LOCATED WITHIN 12" OF EACH FULLY UNCONTROLLED RECEPTACLE. THE OCCUPANT SHALL BE ABLE TO MANUALLY OVERRIDE AN AREA FOR NOT MORE THAN 2 HOURS.

OCCUPANCY SENSORS SHALL BE INSTALLED IN ALL ROOMS 300 SQUARE FEET OR LESS.

ELECTRICAL POWER & FIRE ALARM KEY:

- CIRCUIT BREAKER. ALL ELECTRICAL LINES TO BE CONCEALED
- EMERGENCY PULL STATION
- DUAL HEAD EMERGENCY LIGHTS. VERIFY LAYOUT, BATTERY BACKUP. PROVIDE 1 FOOTCANDLE MINIMUM OF EMERGENCY LIGHTING AND CAPABLE OF HANDLING 1 1/2 HOURS MINIMUM. DUPLEX WALL RECEPTACLE
- GFI DUPLEX WALL RECEPTACLE
- WATERPROOF GFI DUPLEX WALL RECEPTACLE
- EMERGENCY HORN/STROBE LIGHT
- FIRE ALARM STROBE LIGHT
- EMERGENCY EXIT SIGNAGE W/ BATTERY BACKUP, DIRECTIONAL WHERE REQ'D. 'SURE-LITES' OR EQUAL. ALL LETTERS SHALL BE 5/8" (6) INCHES HIGH AND THE MINIMUM WIDTH OF EACH STROKE SHALL BE 3/4". THE WORD EXIT SHALL BE HIGH CONTRAST WITH THE BACKGROUND.
- DUAL HEAD COMBO EXIT-EMERGENCY LIGHTS. VERIFY LAYOUT, BATTERY BACKUP. PROVIDE 1 FOOTCANDLE MINIMUM OF EMERGENCY LIGHTING AND CAPABLE OF HANDLING 1 1/2 HOURS MINIMUM.
- OUTDOOR SINGLE HEAD EMERGENCY LIGHT. VERIFY LAYOUT, BATTERY BACKUP. PROVIDE 1 FOOTCANDLE MINIMUM OF EMERGENCY LIGHTING AND CAPABLE OF HANDLING 1 1/2 HOURS MINIMUM.
- SMOKE DETECTOR & CARBON MONOXIDE DETECTORS SHALL BE INTERCONNECTED 110V WITH BATTERY BACK-UPS.
- LED NIGHT PENDANT LIGHT SW SWITCHED TO BE ON WHEN OVERHEAD LIGHTS ARE OFF, WALL MOUNTED COMPACT LED'S ACCEPTABLE
- WALL MTD. LED FIXTURE
- LED RECESSED LITES
- THERMOSTAT
- TYPICAL SWITCH
- BROAN #300 OR EQUAL EXHAUST FAN, CFM NOTED
- 1/4" STATIC PRESSURE 1550 RPM FAN SPEED
- 90W. MOTOR WITH AUTOMATIC DAMPER. VENT TO EXT.
- CEILING FAN WITH BOX TO BE RATED FOR 50 LBS.

THE PROPOSED LIGHTING SHALL BE IN COMPLIANCE WITH THE 2021 ENERGY CONSERVATION CODE.

EMERGENCY LIGHTS AND EXIT UNIT EQUIPMENT REQUIRED TO BE CONNECTED TO THE SAME BRANCH CIRCUIT AS GENERAL LIGHTING IN THE AREA. PER NEC, SECTION 100-12(E)

EACH AREA THAT IS REQUIRED TO HAVE MANUAL CONTROL OF THE LIGHTING SHALL ALSO ALLOW THE OCCUPANT TO REDUCE THE CONNECTED LIGHTING LOAD IN A REASONABLY UNIFORM ILLUMINATION PATTERN BY AT LEAST 50%. LIGHTING REDUCTION SHALL BE ACHIEVED BY CODE APPROVED METHODS AND MEET IECC, SECTION 805.2.2) REQUIREMENTS.

THE PROPOSED LIGHTS IN THE SUSPENDED CEILING SHALL BE INDEPENDENTLY SUPPORTED. AN APPROVED SUPPORT SYSTEM SHALL BE PROVIDED ON OPPOSING CORNERS OF THE LIGHT FIXTURE. THE FRAMING MEMBERS OF THE SUSPENDED CEILING SHALL NOT BE THE SOLE MEANS OF SUPPORT FOR THE FIXTURE.

OCCUPANCY SENSORS ARE REQUIRED IN ALL ROOMS 300 SQUARE FEET OR LESS. THESE OCCUPANCY SENSORS SHALL BE MANUAL ON OR SHALL BE CONTROLLED TO AUTOMATICALLY TURN THE LIGHTING ON TO NOT MORE THAN 50 PERCENT POWER FULL AUTOMATIC ON IS PERMITTED IN RESTROOMS, RETAIL AREAS, AND CORRIDORS.

IN ROOMS THAT ARE NOT PROVIDED WITH AN OCCUPANCY SENSOR (GREATER THAN 300 SQ. FT.) INDICATE AN AUTOMATIC TIME SWITCH CONTROL DEVICE IN COMPLIANCE WITH SECTION C403.2.1

THE PROPOSED LIGHTING SHALL BE IN COMPLIANCE WITH THE ADOPTED ENERGY CONSERVATION CODE.

EMERGENCY LIGHTS AND EXIT UNIT EQUIPMENT REQUIRED TO BE CONNECTED TO THE SAME BRANCH CIRCUIT AS GENERAL LIGHTING IN THE AREA. PER NEC, SECTION 100-12(E)

ALL EMERGENCY AND EXIT LIGHTS WILL BE FIELD VERIFIED.

THE EQUIPMENT AND/OR PROCEDURES REFERRED TO IN THE FOLLOWING ARTICLES OF THE NATIONAL ELECTRICAL CODE, 2011 EDITION, ARE HEREBY PROHIBITED AND SHALL NOT BE INSTALLED IN THE CITY:

- ARTICLE 320 OPEN WIRING ON INSULATORS.
 - ARTICLE 336 NON-METALLIC SHEATHED CABLE.
 - ARTICLE 338 SERVICE ENTRANCE CABLE.
 - ARTICLE 339 UNDERGROUND FEEDER AND BRANCH CIRCUIT CABLE.
 - ARTICLE 342 NON-METALLIC EXTENSIONS.
 - ARTICLE 352-2) SURFACE NON-METALLIC RACEWAYS.
 - ARTICLE 604 MANUFACTURED WIRING SYSTEMS, AND
- AND ALL SUSPENDED EQUIPMENT, SUCH AS DUCTWORK, LIGHTING GRID, SOFFITS, ECT. SHALL BE SUPPORTED FROM THE BUILDING STRUCTURE DESIGNED TO SUPPORT ADDITIONAL LOADS, (JOIST, BEAMS, ECT.) SUPPORT FROM THE ROOF DECK IS NOT ALLOWED UNLESS IT IS SPECIFICALLY NOTED.

LIGHT FIXTURES LOCATED IN THE ZONE ABOVE/AROUND A SHOWER STALL SHALL BE LISTED FOR DAMP LOCATIONS, OR LISTED FOR WET LOCATIONS WHERE SUBJECT TO SHOWER SPRAY.

THE NUMBER AND LOCATION OF EXIT SIGNS AND EMERGENCY LIGHTS MAY BE REQUIRED TO BE ADDED TO OR CHANGED BASED ON SITE CONDITIONS.

OBTAIN SEPARATE PERMIT FOR ALL WALL SIGNS. ALL SIGNS SHALL COMPLY WITH THE CITY OF LAKE GENEVA SIGN ORDINANCE REQUIREMENTS. INCLUDE SIGN PERMIT APPLICATION, SIGN PLAN, ELEVATIONS, AND DETAILS AND ALL DESIGNS, COLOR, AND ILLUMINATION DETAILS WITH SUBMITTAL. INDICATE THE EXACT LOCATION OF THE SIGN AND ALL EASEMENTS ON THE SITE PLAN.

ELECTRIC SERVICE PANEL: MAINTAIN 30" WIDTH AND 36" DEPTH CLEARANCES IN FRONT OF PANEL.

AUTOMATIC RECEPTACLE CONTROLS ARE NOT REQUIRED FOR THE FOLLOWING:

- a. SPECIFICALLY DESIGNATED RECEPTACLES FOR EQUIPMENT REQUIRING CONTINUOUS OPERATION (24 HOURS PER DAY, 365 DAYS PER YEAR)
 - b. SPACES WHERE AN AUTOMATIC CONTROL WOULD ENDANGER THE SAFETY OR SECURITY OF ROOM OR BUILDING OCCUPANTS.
- EACH AREA THAT IS REQUIRED TO HAVE MANUAL CONTROL OF THE LIGHTING SHALL ALSO ALLOW THE OCCUPANT TO REDUCE THE CONNECTED LIGHTING LOAD IN A REASONABLY UNIFORM ILLUMINATION PATTERN BY AT LEAST 50% OF ALL 15 & 20 AMP LIGHTING REDUCTION SHALL BE ACHIEVED BY CODE APPROVED METHODS AND MEET IECC, SECTION 805.2.2) REQUIREMENTS.

GENERAL ELECTRICAL & LIGHTING NOTES

NOTE: E.C. TO VERIFY ALL FIXTURES

SEE ELECTRICAL AND MECHANICAL SHEETS FOR FIXTURE DESCRIPTIONS.

PROVIDE LIGHTING IN ALL CLOSETS PER SECTION 410.8 OF ORD. 2003-16.

LUMINAIRES MUST BE MOUNTED PER ARTICLE 300.

FOLLOW IECC FOR SWITCH OF LIGHTING - BI-LEVEL SWITCHING (2018).

PROVIDE A NEUTRAL WIRE AT EACH SWITCH BOX LOCATIONS.

ALL RECEPTACLES REQUIRE A PIGTAIL GROUNDING WIRE TO THE BOX.

PROVIDE ARC FLASH WARNING FOR QUALIFIED PERSONS AS STATED IN NEC 101.6. THIS WARNING LABEL SHALL IDENTIFY THE DEGREE OF LEVEL OF POTENTIAL FLASH HAZARD THAT IS PRESENT IN THE INSTALLATION SO THAT THE APPROPRIATE FLASH PROTECTION CLOTHING (PPE) WILL BE WORN.

ALL LIGHT SWITCHES, THERMOSTATS, & OTHER OPERATING CONTROLS SHALL BE MOUNTED NO HIGHER THAN 54" FOR SIDE REACH & 48" HIGH FOR FORWARD REACH.

BONDING TO OCCUR AT THE MAIN SWITCH

ALL EXIT & EMERGENCY LIGHTING ARE EXISTING

MAINTAIN CLEARANCE IN FRONT OF ALL ELEC. PANELS PER 2015 IBC.

ALL ELECTRICAL DEVICES, CONDUCTORS AND EQUIPMENT SHALL BE LISTED BY A RECOGNIZED AND APPROVED TESTING LABORATORY.

CIRCUIT BREAKER PANEL FOR THE SUITE IS LOCATED IN THE RETAIL SPACE AND CONFIDENTLY ACCESSIBLE. ALL ELECTRICAL LINES TO BE CONCEALED. LED CEILING FIXTURES IN SUITE TO MEET EDISON REQUIREMENT LIGHTING RATIOS.

ALL CONDUCTOR MATERIAL SHALL BE COPPER

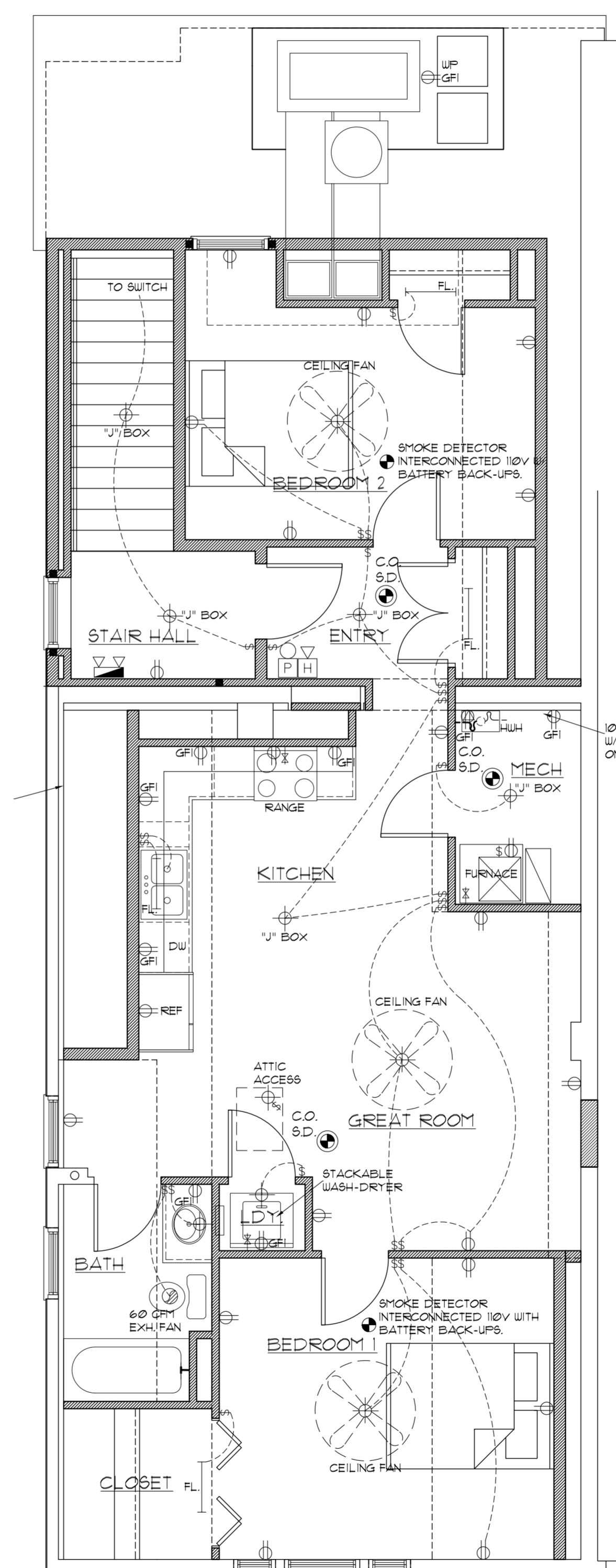
IN NO CASE SHALL COMMERCIAL WIRING BE LESS THAN #2 COPPER WIRE AWG PER SECTION 210.3(B)(1) OF ORD. 2003-16.

RECEPTACLES MUST BE INSTALLED AT BRANCH CIRCUIT RATING PER ORD. 2003-16 SECTION 210.21.

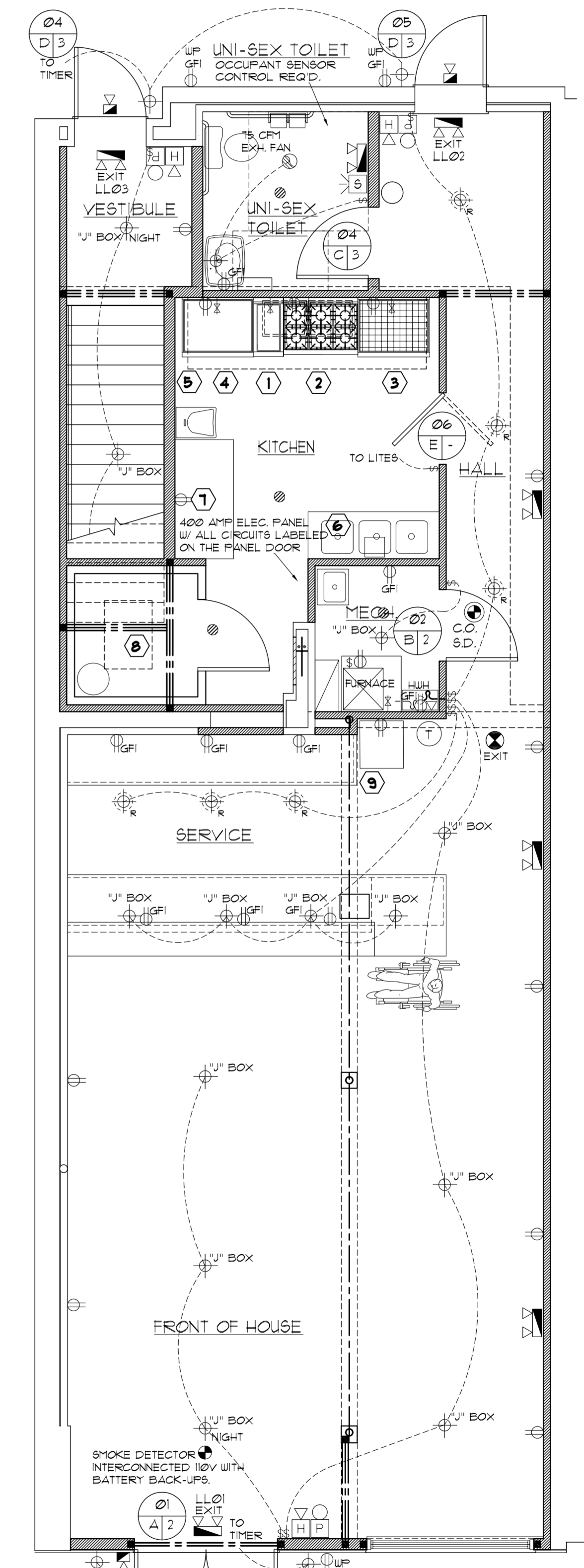
INSTALL BOLT-ON TYPE BREAKER PANELS WITH MAIN BREAKERS PER ORD. 2003-16 SECTION 408.

THE ELECTRICIAN CONTRACTOR SHALL VERIFY ALL POWER REQUIREMENTS AND RECEPTACLE MOUNTING HEIGHTS WITH THE MANUFACTURE OF ALL THE EQUIPMENT.

ELECTRICAL INSPECTOR TO FIELD VERIFY THAT THE NEW WATER HEATER IS JUMPED BETWEEN THE COLD AND HOT WATER PIPES WITH A JUMPER SIZED ACCORDING TO TABLE 250.66 PER NEC 250.10(A)(1), AND THAT ANY METAL GAS PIPING IS BONDED.



SECOND FLOOR APARTMENT ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



FIRST FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

MIDWEST DESIGN GROUP

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RENOVATION TO:
140 BROAD STREET
LAKE GENEVA WI 53147

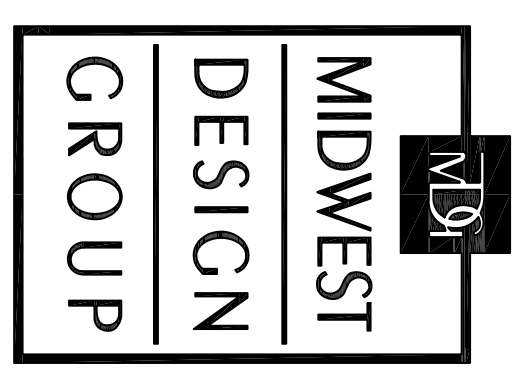
STAMP
MICHAEL J. MCGEE
A-7250
ELECTRICAL ARCHITECT

DATE	REVISION	DESCRIPTION OF REVISION
11-22-24	1	PRELIMINARY PLAN FOR REVIEW
12-23-24	2	PHASE 1 PLANS FOR BIDDING ONLY
4-22-25	3	PHASE 2 FINAL PLANS FOR PERMIT

DATE	REVISION	DESCRIPTION OF REVISION

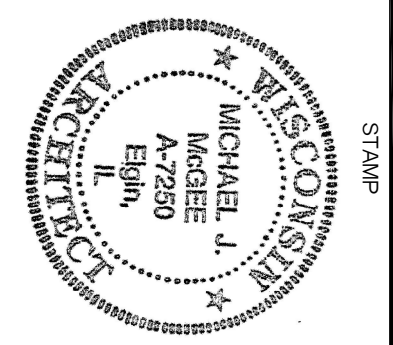
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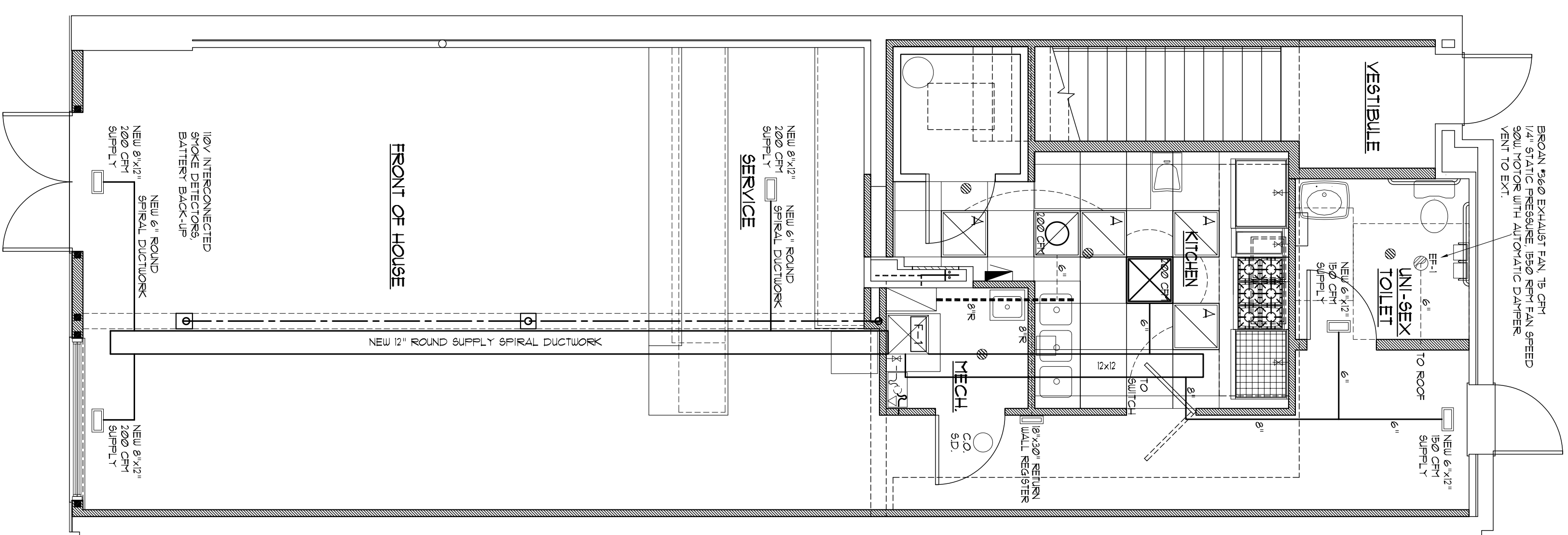
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**RENOVATION TO:
 140 BROAD STREET
 LAKE GENEVA WI 53147**



DATE	REV#	DESCRIPTION OF REVISION
11-22-24	1	PRELIMINARY PLAN FOR REVIEW
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X-140 BROAD STREET, 2049



HYAC NOTES:
 ALL VENTILATION GAS PIPING SHALL BE SCHEDULE 40 B1. ALL GAS PIPING 2" N. AND SMALLER SHALL BE THREADED PIPE AND ALL GAS PIPING 1 1/2" N. AND LARGER SHALL BE BELDED.
 THE INTERIOR DESIGN TEMPERATURES USED FOR LOAD CALCULATIONS SHALL BE A MAX. OF 75 DEGREES F FOR HEATING AND A MIN. OF 65 DEGREES F FOR COOLING.
 THE INTERIOR DESIGN TEMPERATURES USED FOR LOAD CALCULATIONS SHALL BE A MIN. OF 72 DEGREES F FOR COOLING AND A MAX. OF 75 DEGREES F FOR HEATING.
 THE HEATING AND COOLING SYSTEMS SHALL COMPLY WITH THE 2019 IECC AND THE 2019 IECC SHALL BE VERIFIED BASED ON APPROVED HEATING AND COOLING LOAD CALCULATIONS PER ACCA MANUAL J AND N ACCORDANCE WITH ACCA MANUAL J.
 ALL NEW FLEXIBLE DUCTS SHALL BE SUPPORTED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 ALL EXISTING EXHAUST FANS SHALL BE VENTED DIRECTLY TO THE EXTERIOR AND THE EXHAUST DUCT INSULATED WITH A MIN. OF R-6.
 NEW EXHAUST FANS SHALL BE ACCESSIBLE BY FRONT APPROACH ONLY. WHEN THE HOANG HEIGHT OF THE EXHAUST FAN SHALL BE 4'-0" AFF. WHEN THE HOANG HEIGHT IS ACCESSIBLE FROM A SIDE APPROACH, THE HOANG HEIGHT OF THE EXHAUST FAN SHALL BE 4'-6" AFF.
 MECHANICAL CONTRACTOR SHALL FIELD VENT LOCATION OF GAS VENTER.
 THE AIR EXHAUSTER SHALL BE INSTALLED BEHIND ELECTRICAL OR MECHANICAL EQUIPMENT. THE EXHAUSTER SHALL BE INSTALLED ON THE EXTERIOR WALL OF THE BUILDING.
 TEST AND AIR DUCT TEST REPORT PRIOR TO OR AT FINAL INSPECTION.
 ROOMS AND STAGES ARE FOR CONSTRUCTION AT FINISH.
 ROOMS AND STAGES ARE FOR CONSTRUCTION AT FINISH.
 MECHANICAL LOCATIONS TO BE DETERMINED BY MECHANICAL CONTRACTOR AND SHALL BE SHOWN ON PLAN.
 ALL DUCTWORK LOCATED IN UNCONDITIONED ATTICS MUST BE PROVIDED WITH MINIMUM R-6 INSULATION. ALL OTHER R-6 INSULATION LOCATED IN UNCONDITIONED ATTICS MUST BE PROVIDED WITH MINIMUM R-6 INSULATION. ALL OTHER R-6 INSULATION LOCATED IN UNCONDITIONED ATTICS MUST BE PROVIDED WITH MINIMUM R-6 INSULATION.
 - BUILDING FINISHES CANNOT BE USED AS AIR SUPPLY DUCTS.
 DUCT SIZING IS BASED ON 0.05 SF N MAIN DUCTS AND 0.05 SF N ALL BRANCH DUCTS.

DUCTWORK NOTE:
 NEW FLEXIBLE DUCTS TO BE 12" ROUND AND 24" ROUND.
 ALL CONNECTIONS TO BE SEALED WITH AN APPROVED SEALANT AND SCHEDULE 40 B1 PIPE FROM THE EXISTING STEEL BAR JOIST WITH DUCT TYPE CABLES WITH CABLE LOCKS.
 DUCT SIZING IS BASED ON 0.05 SF N MAIN DUCTS AND 0.05 SF N ALL BRANCH DUCTS.

RETURN LEGEND
 [Symbol] NEW 8" x 12" SUPPLY REGISTER
 [Symbol] NEW 6" x 12" SUPPLY REGISTER
 [Symbol] MAIN TRUNK LINE
 [Symbol] ROUND DUCTWORK
 [Symbol] 24" x 24" RETURN VENT PERFORATED
 [Symbol] NEW 18" x 30" RETURN WALL REGISTER

SUPPLY LEGEND
 [Symbol] NEW SUPPLY DUCTWORK
 [Symbol] NEW 24" x 24" DIFFUSERS

CEILING HEIGHT NOTE:
 8'-1" HIGH CEILING TYPICAL FOR ALL 24" x 24" SUSPENDED CEILING TILES AS NOTED

REFLECTED CLING PLAN NOTES:
 THE CONTRACTOR IS RESPONSIBLE FOR INCLUDING IN HIS BID REFLECTED CLING PLAN. THE REFLECTED CLING PLAN SHALL BE SUBMITTED WITH THE BIDDING PROPOSAL TO THE ADDITION AND OR RELOCATION OF THE FIRE HOSE, STROBE LIGHTS, AND SMOKE DETECTORS.

SUSPENDED ITEMS NOTE:
 ALL ITEMS WHICH ARE TO BE SUSPENDED (E.G. SUSP. CEILING, ELECTRICAL, MECHANICAL, AND PUMPING EQUIPMENT, ETC.) SHALL BE SUSPENDED FROM THE TOP CHORD OF THE BAR JOISTS UNLESS SPECIFICALLY STATED OTHERWISE BY THE JOB'S STRUCTURAL ENGINEER.

CO & SMOKE DETECTOR NOTE:
 THE CARBON MONOXIDE ALARM MAY BE COMBINED WITH SMOKE DETECTING DEVICES PROVIDED THAT THE COMBINED UNIT COMPLIES WITH THE RESPECTIVE PROVISIONS OF THE ADMINISTRATIVE CODE, REFERENCE STANDARDS, AND DEPARTMENTAL RULES RELATING TO BOTH SMOKE DETECTING DEVICES AND CARBON MONOXIDE ALARMS AND PROVIDED THAT THE COMBINED UNIT IS LISTED BY A LISTED LABORATORY. EITHER BATTERY POWERED, PLUG-IN WITH BATTERY BACK-UP, OR WIRED INTO THE STRUCTURE'S AC POWER LINE WITH SECONDARY BATTERY BACK-UP.

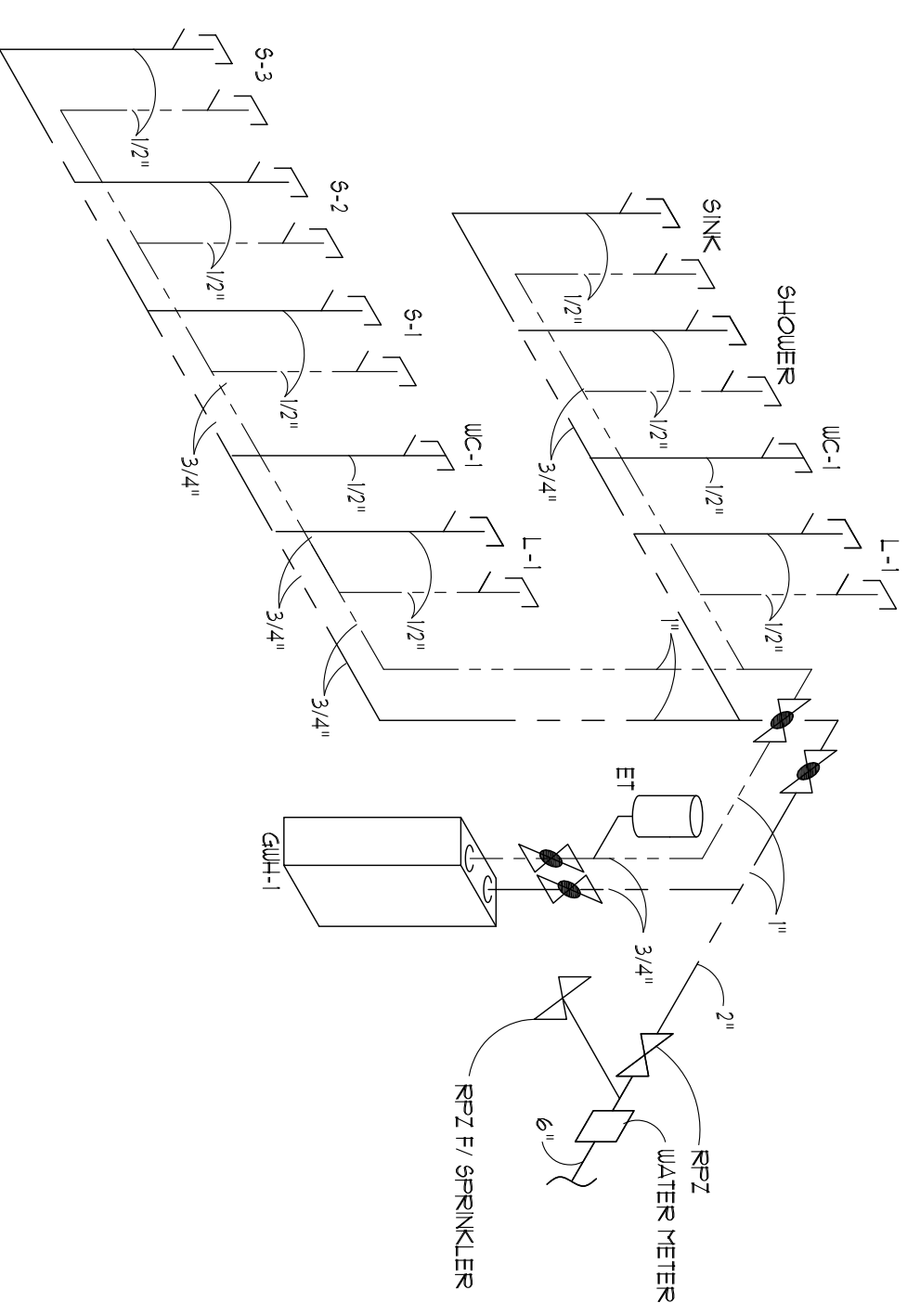
CARBON MONOXIDE & SMOKE DETECTOR:
 ALL SMOKE DETECTORS & CARBON MONOXIDE DETECTORS SHALL BE INTERCONNECTED 10V WITH BATTERY BACK-UPS.

LIGHTING FIXTURES:
 EACH AREA THAT IS REQUIRED TO HAVE MANUAL CONTROL OF THE LIGHTING SHALL ALSO ALLOW THE OCCUPANT TO REDUCE THE UNCONNECTED LIGHTING LOAD IN A REASONABLE MANNER. REDUCTION SHALL BE ACHIEVED BY CODE APPROVED METHODS AND MEET IECC SECTION 909.5.2.1 REQUIREMENTS METHOD FOR LIGHTING REDUCTION AS SHOWN ON REFLECTIVE CLING PLAN.

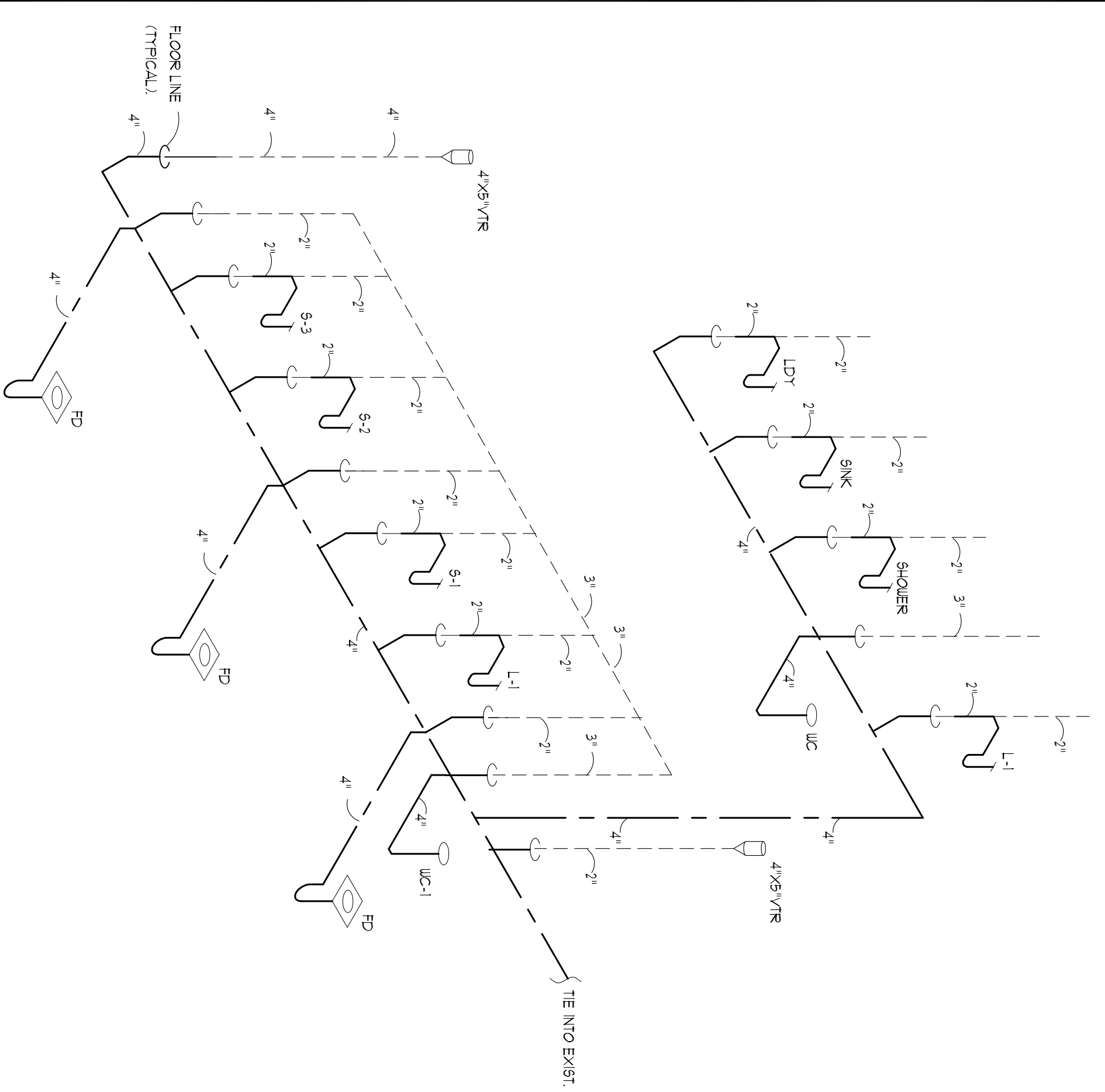
NOTE: E.C. TO VERIFY ALL FIXTURES WITH OWNER AT 27X1 L.A.N-3 LAMP 31 W FLOURESCENT FIXTURE W/ 8 CELL DIFFUSER THE ALLOW OR EQUAL, E.C. TO VERIFY TOTAL 36W.

PROPOSED COMMERCIAL HYAC SYSTEM PLAN WITH REFLECTIVE CEILING PLAN

SCALE: 1/4" = 1'-0"



TYP. WATER SUPPLY PIPING DIAGRAM
N15



TYP. TOILET WASTE & VENT PIPING DIAGRAM
N15

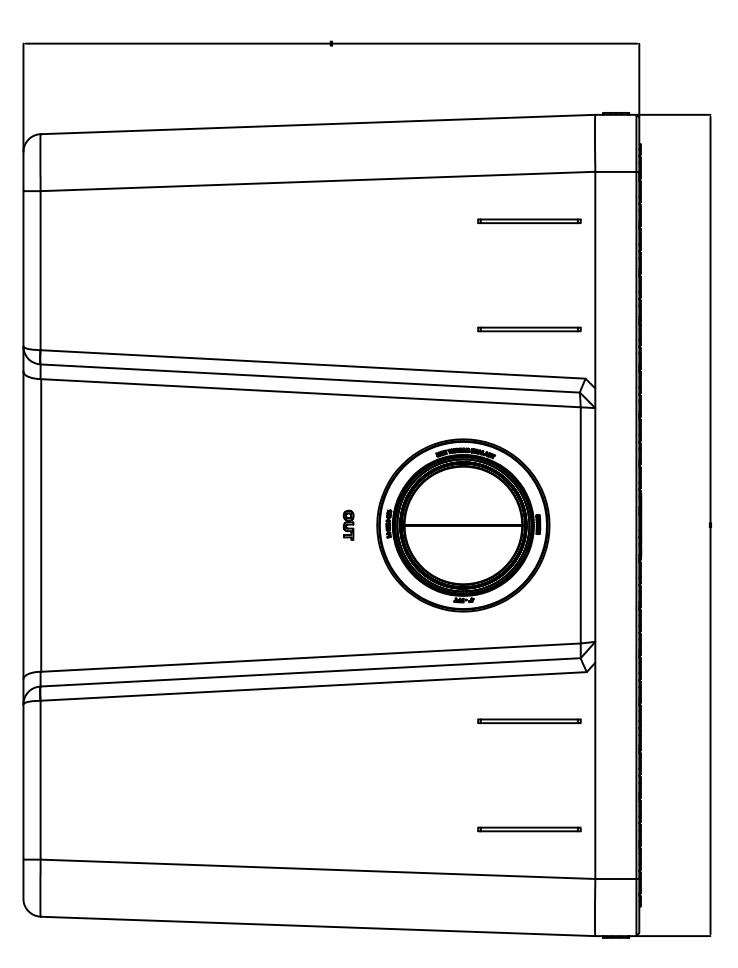
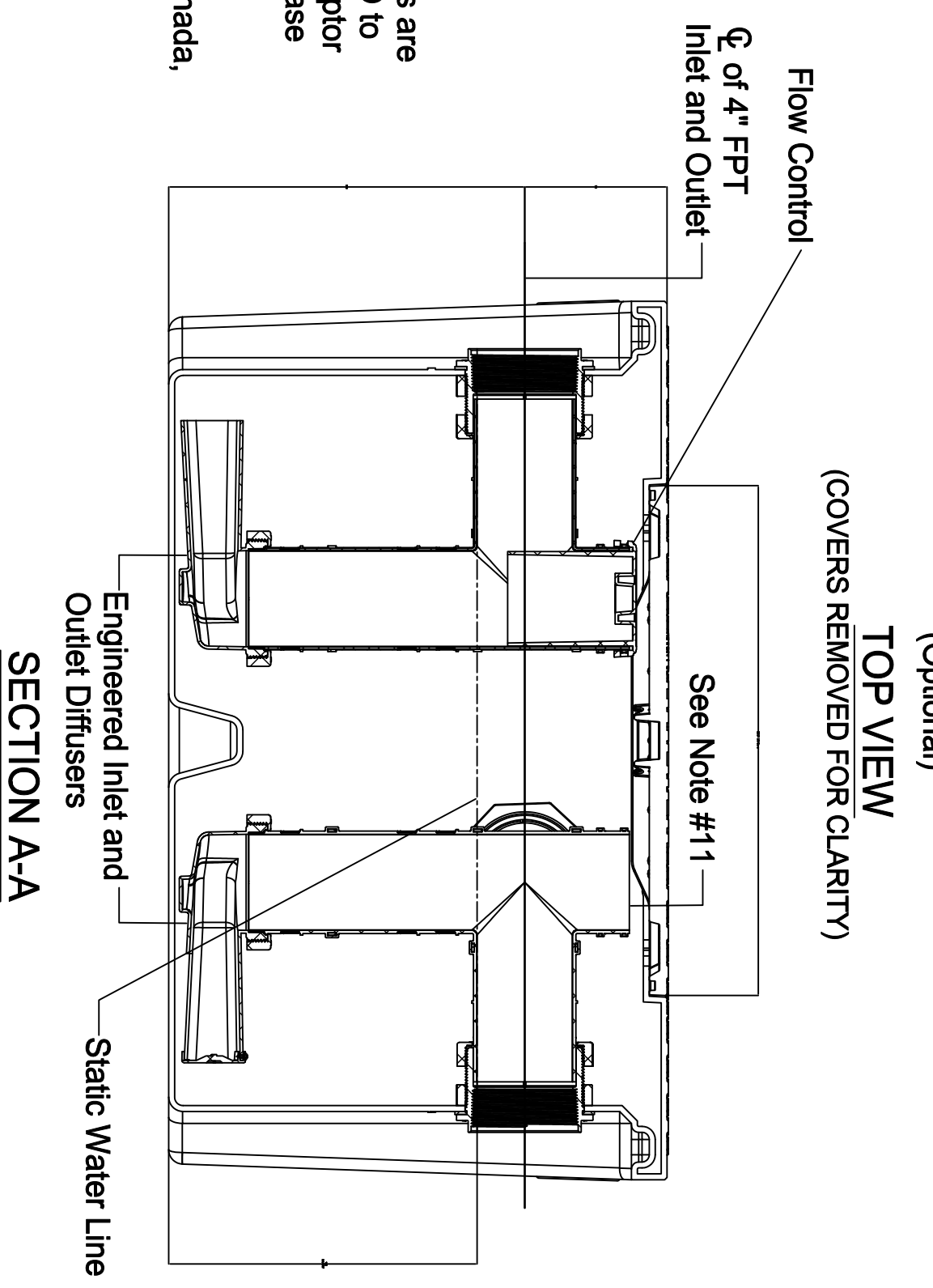
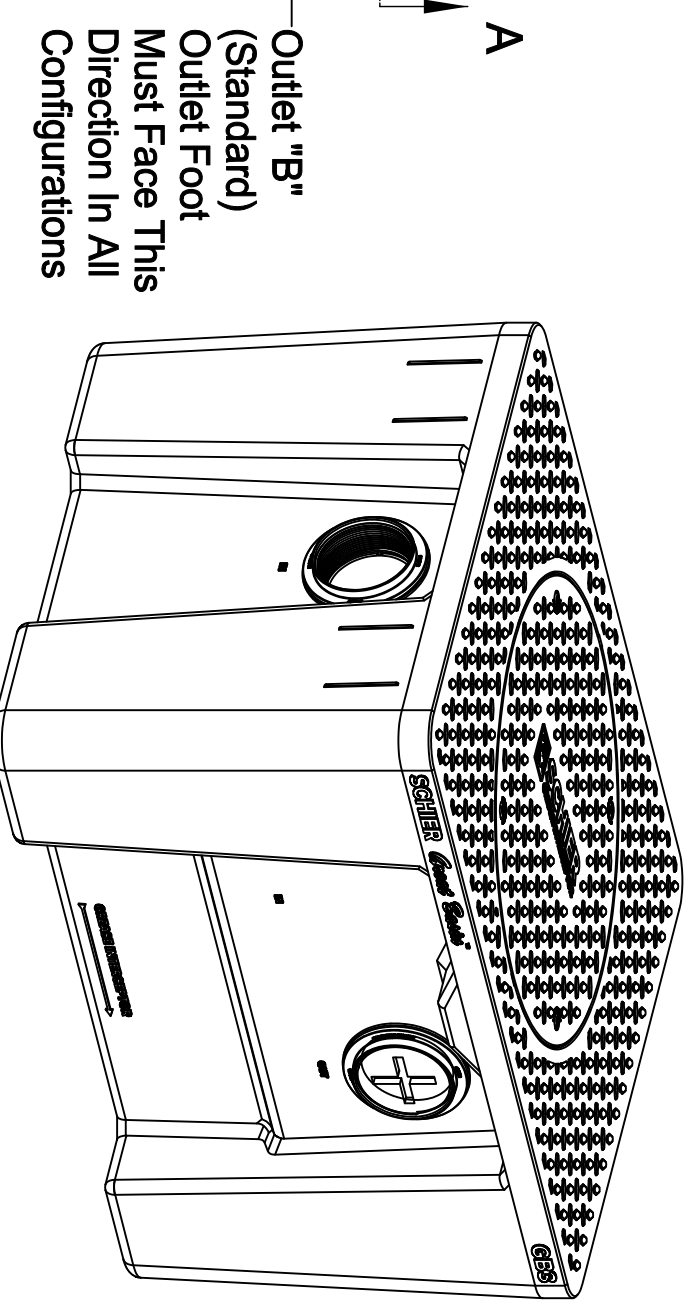
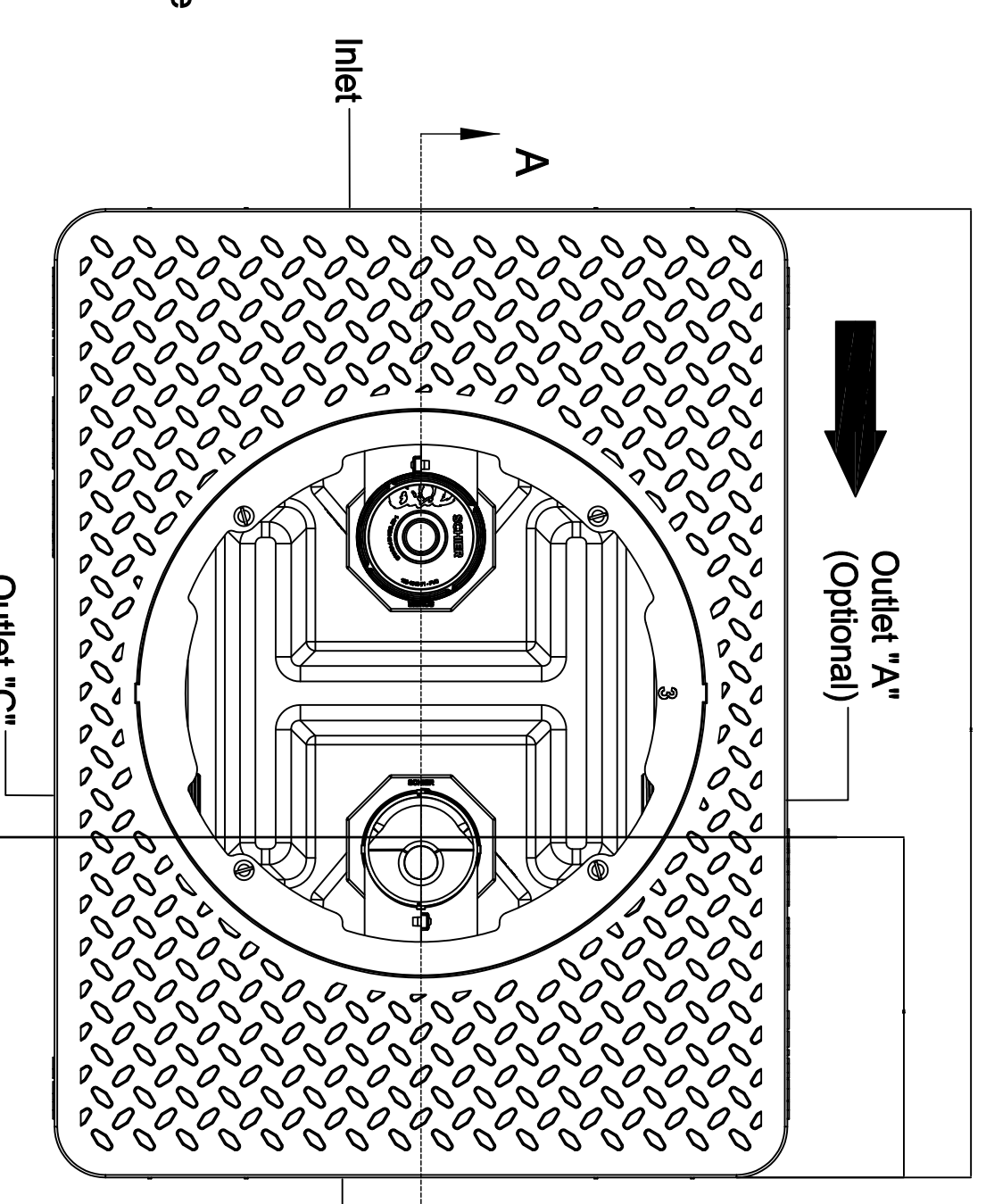
- SPECIFICATIONS**
- Notes:
- 4" FPT Inlet/outlet with 4" plain end fittings.
 - Unit weight - 69 lbs. (wet weight 404 lbs.)
 - Maximum operating temperature: 150° F continuous
 - Capacities - Liquid: 40 gal. Grease: 272 lbs. (37.2 gal.) @50 GPM Solids: 175 lbs. (17.4 gal.) @75 GPM
 - Built-in flow control.
 - For gravity drainage applications only.
 - Do not use for pressure applications.
 - Cover placement allows full access to tank for proper maintenance.
 - Vent not required unless per local code.
 - Engineered inlet and outlet diffusers are removable to inspect/clean piping.
 - Integral air relief/ anti-siphon.
 - Designed for indoor, on-floor, below-grade or low-profile under sink installations.

ENGINEER SPECIFICATION GUIDE

Schier Great Basin™ grease interceptor model # GB3 shall be lifetime guaranteed and made in USA of seamless, rotationally-molded polyethylene with minimum 5/16" uniform wall thickness. Interceptor shall be furnished for above or below grade installation. Interceptor shall be certified to ASME A112.14.3 (Type C) and CSA B481.1, with field cut riser system, built-in flow control and three outlet options. Interceptor flow rate shall be 50 or 75 GPM. Interceptor grease capacity shall be 272 lbs. @ 50 GPM or 175 lbs. @ 75 GPM. Cover shall provide water/gas-tight seal and have minimum 450 lbs. load capacity.

CERTIFIED PERFORMANCE

Great Basin™ hydromechanical grease interceptors are third party performance-tested and listed by IAPMO to ASWE #A112.14.3 and CSA B481.1 grease interceptor standards and greatly exceed requirements for grease separation and storage. They are compliant to the Uniform Plumbing Code, the National Standard Plumbing Code, the National Plumbing Code of Canada, and the International Plumbing Code.



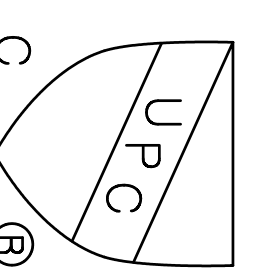
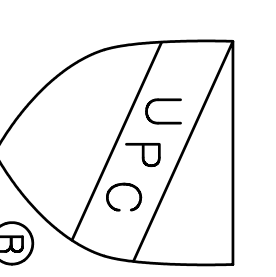
MODEL NUMBER: 4070-001-04

GB3

PROPRIETARY AND CONFIDENTIAL

PART NUMBER: 4070-001-04

DESCRIPTION: GB3 GREASE INTERCEPTOR 50 GPM / 75 GPM, 4" FPT INLET/OUTLET, WITH 4" PLAIN END FITTING ADAPTERS AND PEDESTRIAN RATED COVER

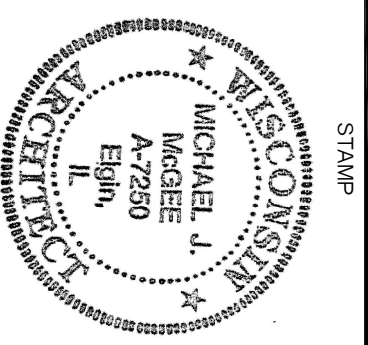


SCHIER

6455 Woodland Dr
Shawnee, KS 66218
Tel: 913-951-3300
Fax: 913-951-3399
schierproducts.com

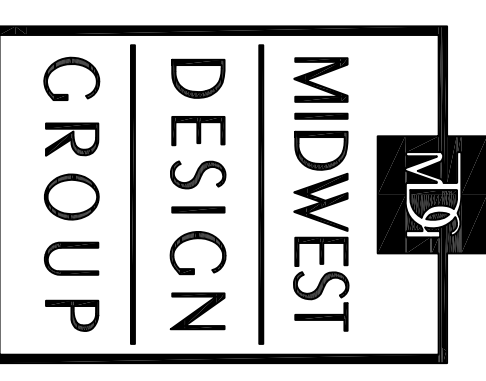
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DATE	REV#	DESCRIPTION OF REVISION
11-22-24	1	FREELIMINARY PLAN FOR REVIEW
12-23-24	2	PHASE 1 PLANS FOR BIDDING ONLY
4-22-25	3	PHASE 2 FINAL PLANS FOR PERMIT

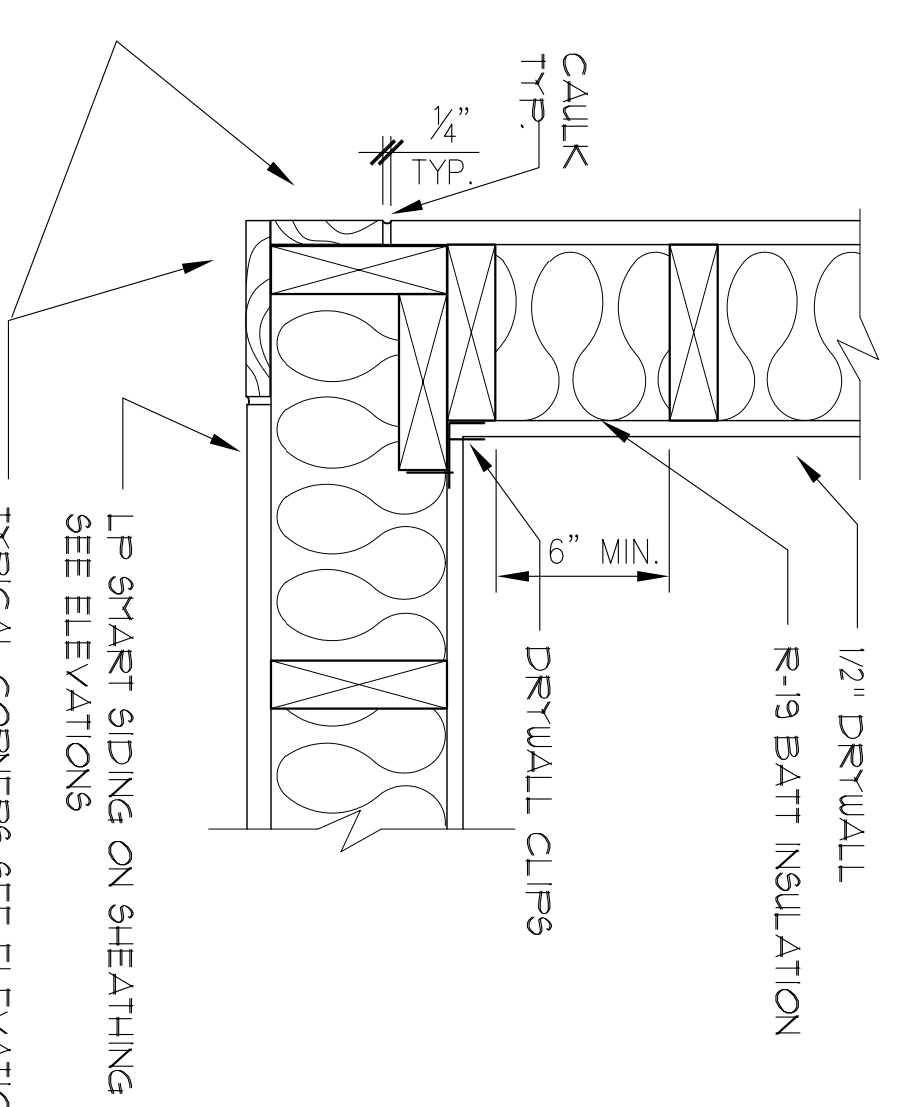


RENOVATION TO:
140 BROAD STREET
LAKE GENEVA WI 53147

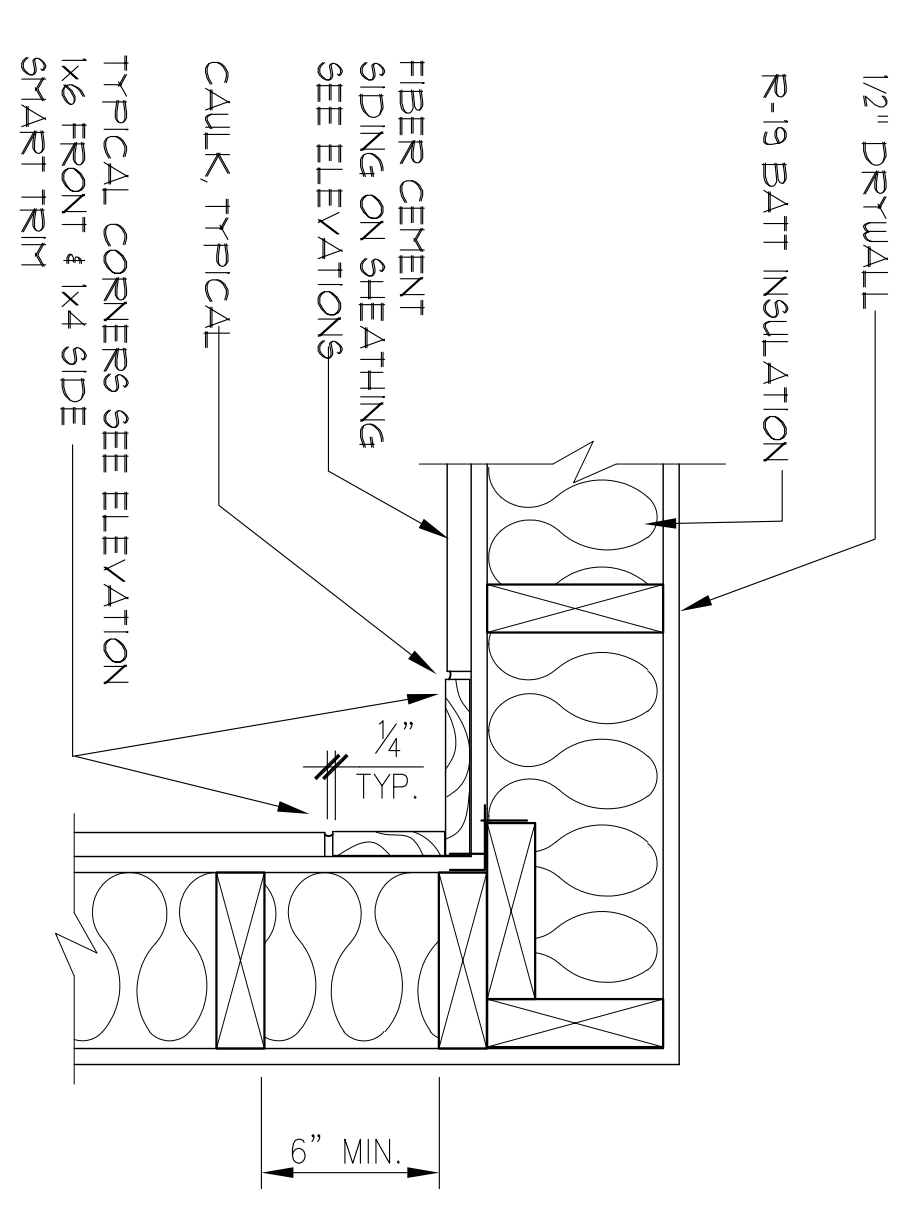
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HANTLEY, IL 60142
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PROFESSIONAL DESIGN FIRM
LICENSE # 184-004281



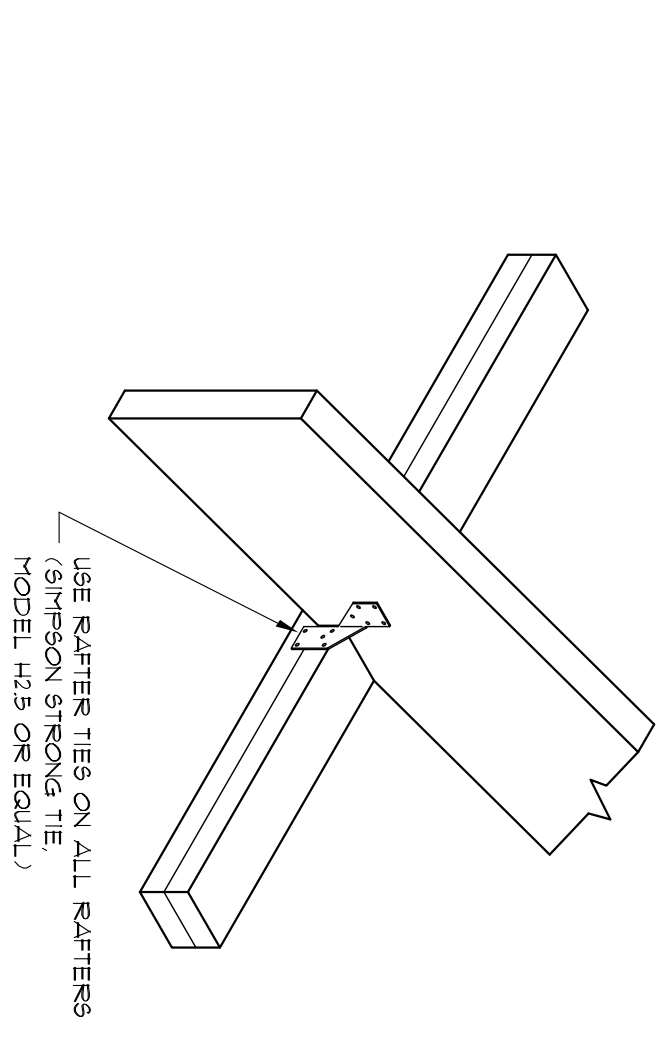
X-140 BROAD STREET, 249



TYPICAL OUTSIDE CORNER DETAIL
SCALE: 1/2" = 1'-0"



TYPICAL INSIDE CORNER DETAIL
SCALE: 1/2" = 1'-0"



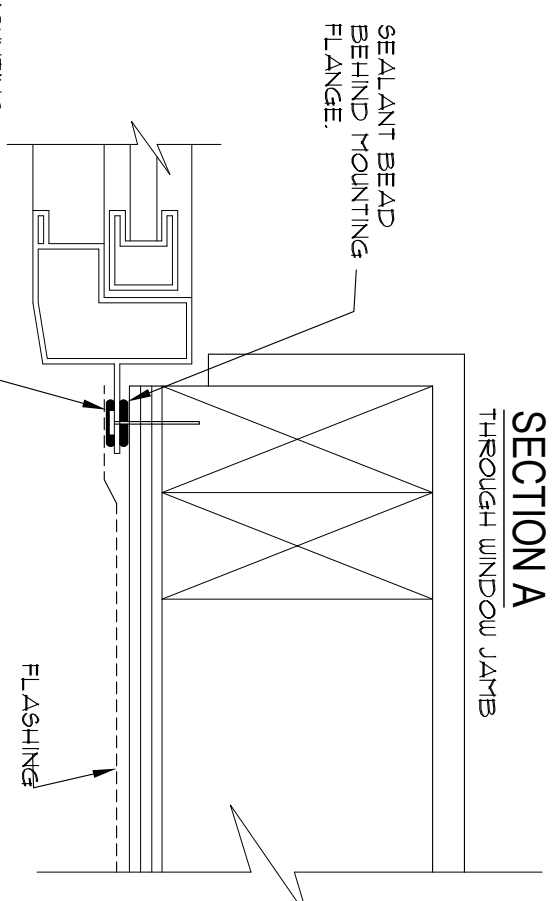
DETAIL - RAFTER TIE
SCALE: 1/2" = 1'-0"
NOTE:
RAFTER TIES TO BE INSTALLED AT ALL RAFTERS

STEPS

- 1 APPLY SILL FLASHING
- 2 APPLY BEAD OF SEALANT AT BACK OF WINDOW FRAME TO FACILITATE INSPECTION
- 3 APPLY BEAD OF SEALANT AT SIDE JAMBS
- 4 APPLY JAMB FLASHING
- 5 APPLY BEAD OF SEALANT AT HEAD
- 6 WATER STOPPING FLASHING PARTS FROM WINDOW FRAME TO THE WALL & WORKING TOWARDS THE TOP. INSTALL THE URB SEALING JOCK UNDER SILL FLASHING AND OVER JAMB & HEAD FLASHING WITH SHEATHING TAPE.
- 7 CONNECT THE URB TO THE FLASHING (ALL 4 SIDES)

WINDOW INSTALLATION

WEATHER RESISTIVE BARRIER (WRB) APPLIED AFTER THE WINDOW INSTALLATION. FLASHING APPLIED OVER THE FACE OF THE MOUNTING FLANGE.



JAMB FLASHING

APPLY JOINT SEAL TO THE MOUNTING SIDES (AMBY) OF WINDOW. EXTEND SEALANT AT JAMBS & 1/2" ABOVE THE JOINT. EXTEND JAMB FLASHING FASTEN IN PLACE. FLASHING GOES OVER SEALANT.

HEAD FLASHING

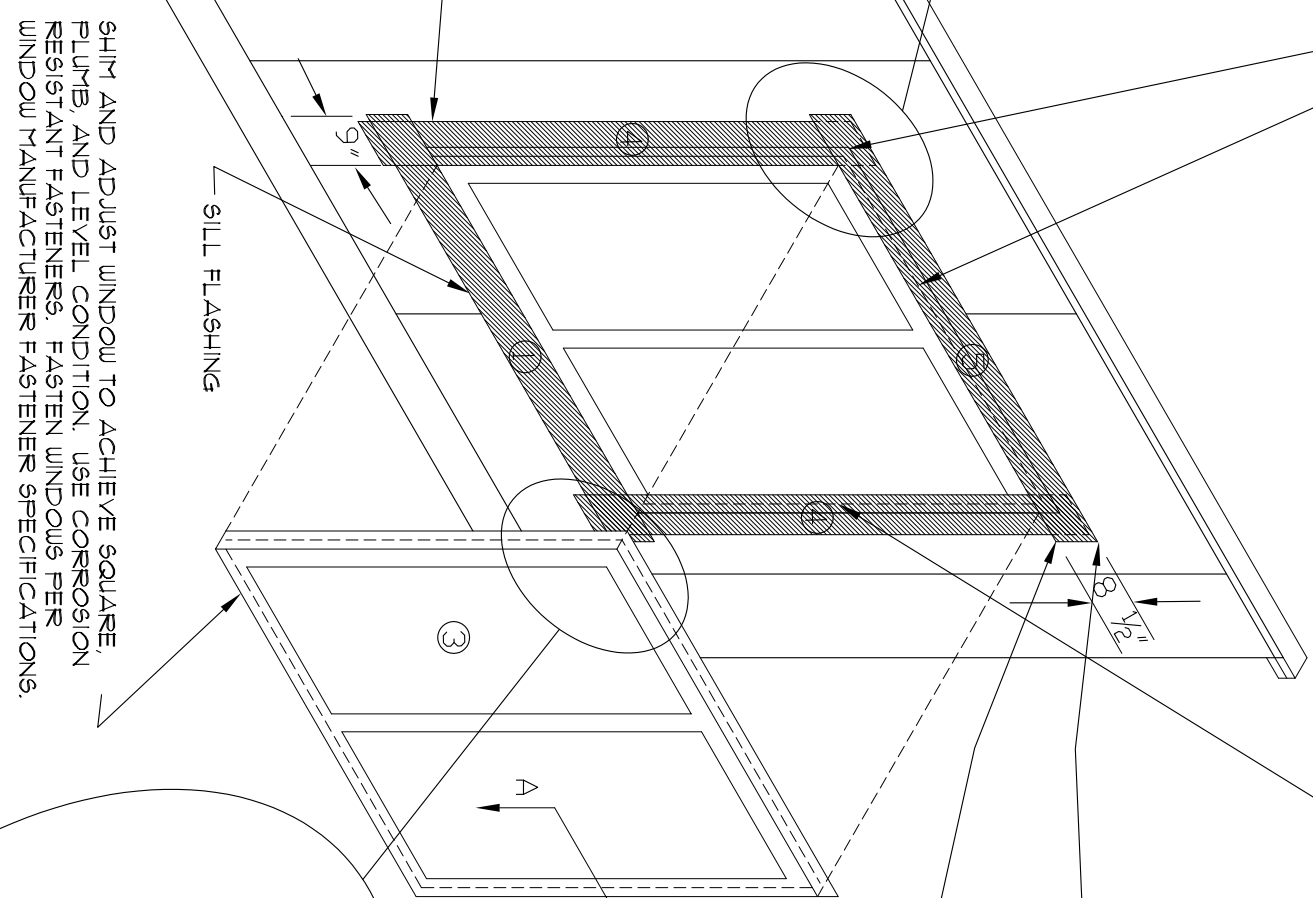
FLASHING AT HEAD EXTENDS 1" BEYOND JAMB FLASHING.

SEALANT

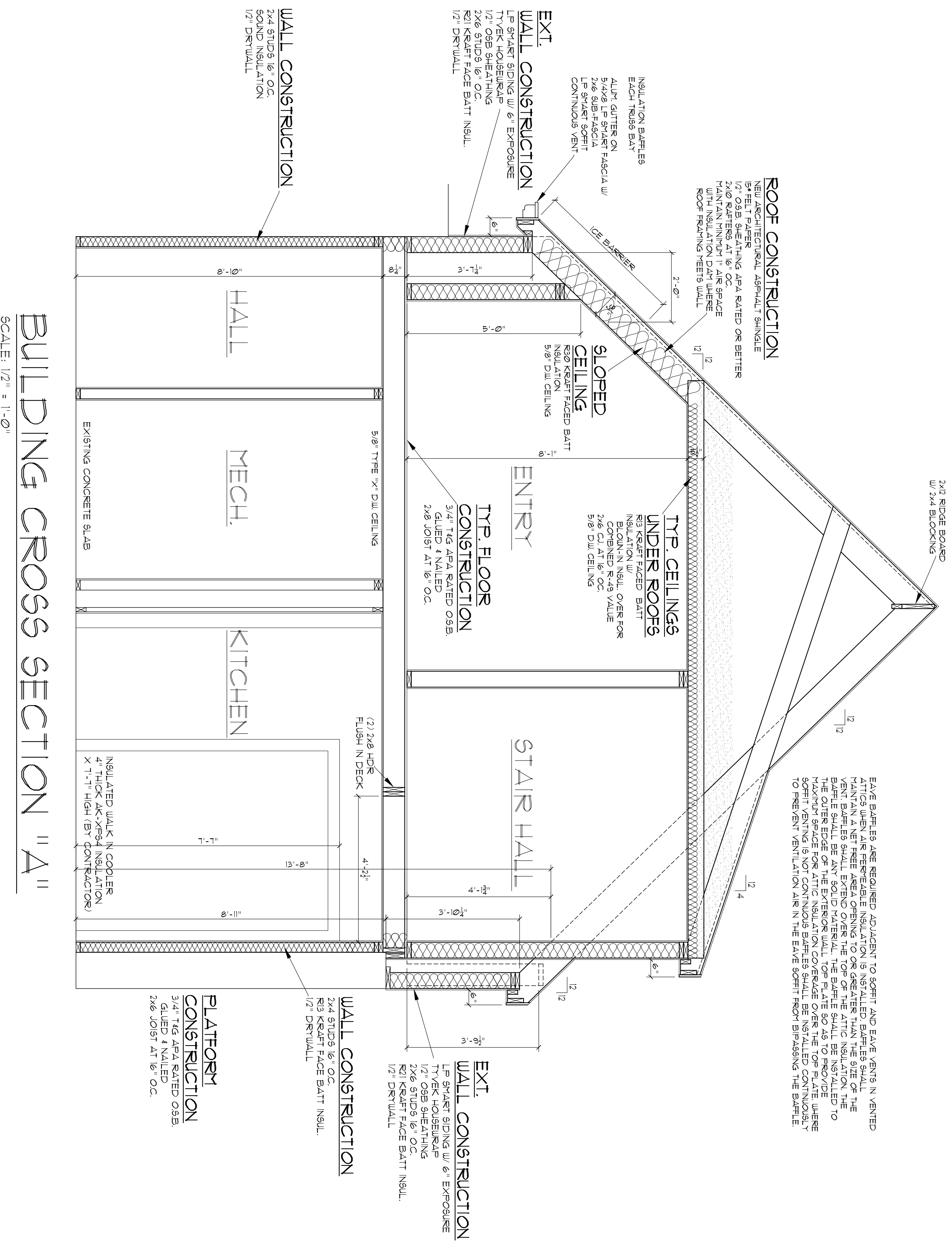
EMBED BOTTOM OF THE HEAD FLASHING AGAINST SEALANT. FLASHING GOES OVER SEALANT. EXTEND HEAD FLASHING BEYOND FASTEN IN PLACE.

JAMB FLASHING

EXTEND JAMB FLASHING TO OVERLAP SILL. EXTEND JAMB FLASHING 8/16" ABOVE ROUGH OPENING AT HEAD. APPLY TEMPORARILY HOLD FLASHING IN PLACE UNTIL URB IS APPLIED.



INTERIOR VIEW
TOP LEFT CORNER OF WINDOW



BUILDING CROSS SECTION "A"
SCALE: 1/2" = 1'-0"

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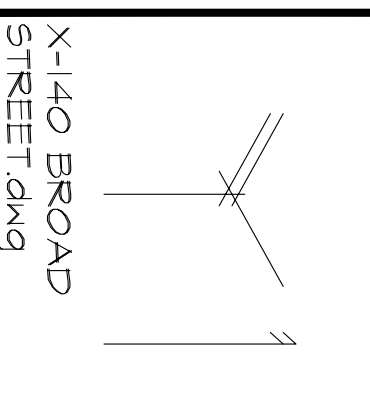
MIDWEST DESIGN GROUP

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PROFESSIONAL DESIGN FIRM
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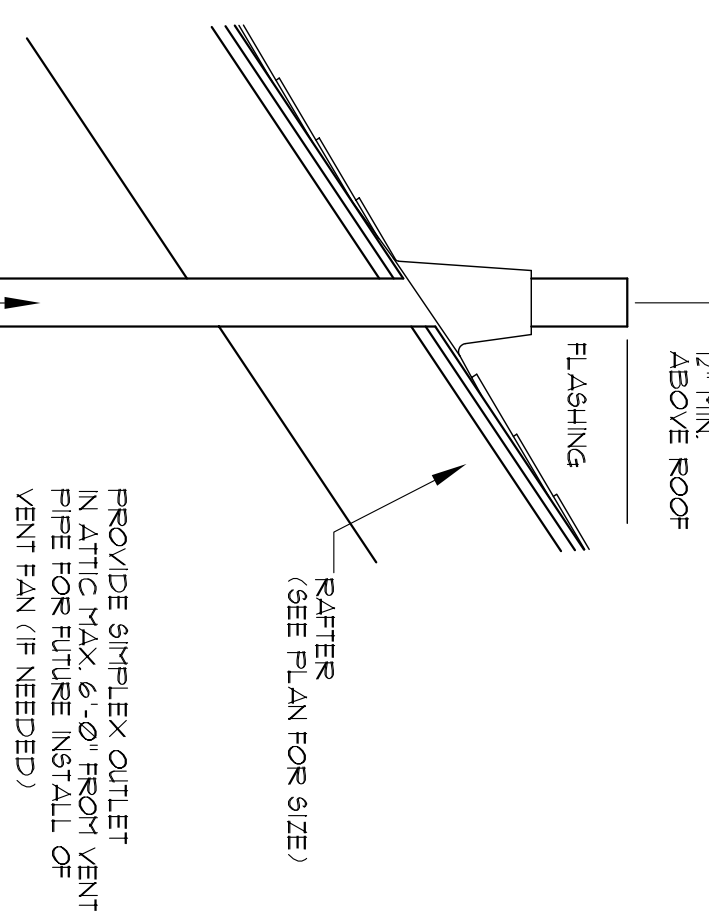
RENOVATION TO:
140 BROAD STREET
LAKE GENEVA WI 53147

STAMP
MICHAEL J. WOODER
ARCHITECT
Evanston, IL

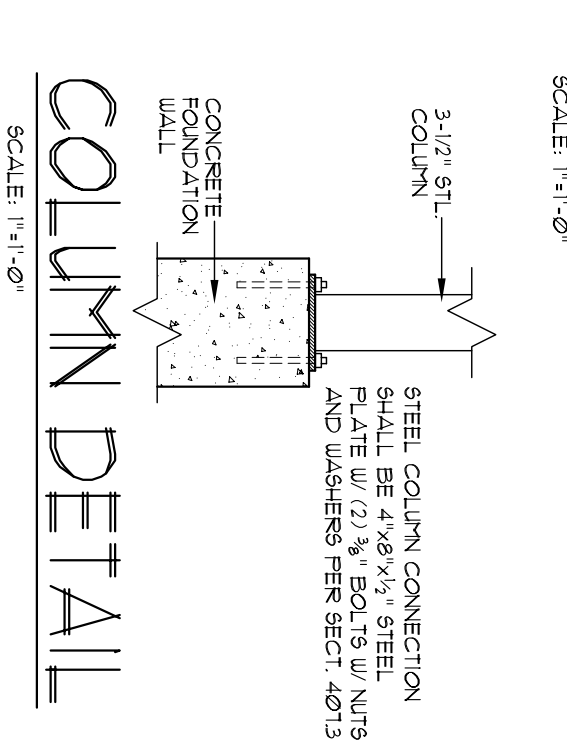
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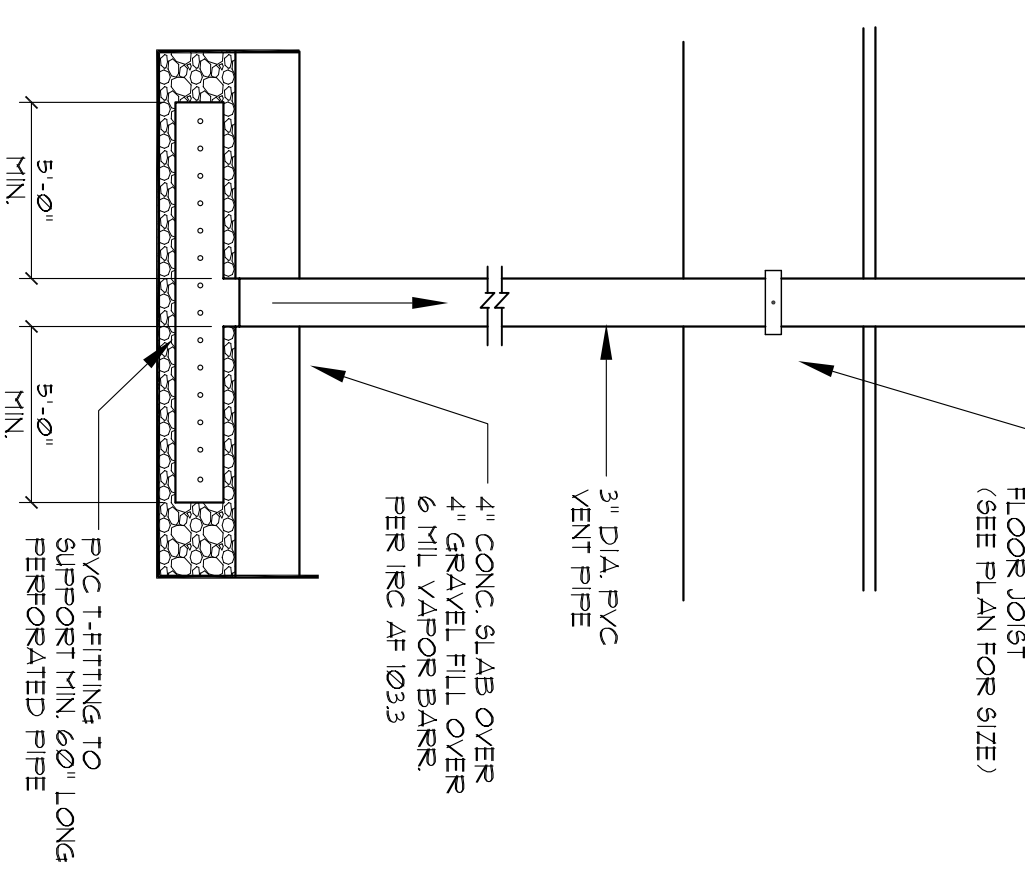
EXHAUST TO FRONT OPENINGS INTO
CONDITIONED SPACES OF BLDG.



COLUMN DETAIL

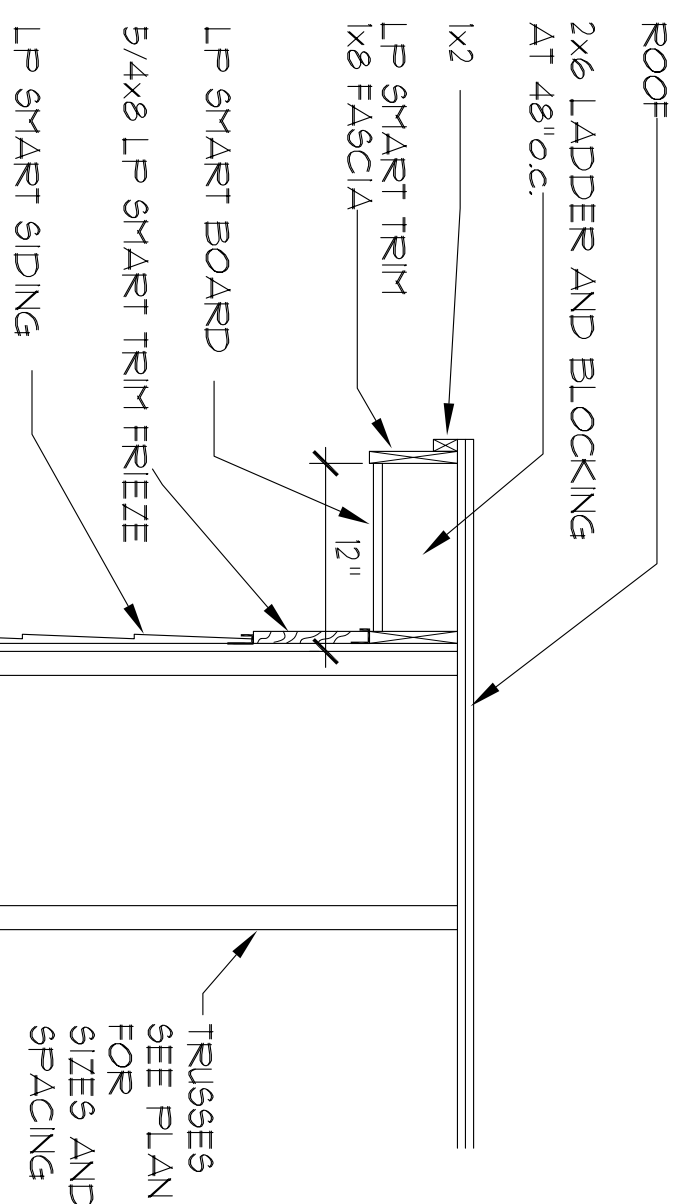


COLUMN DETAIL



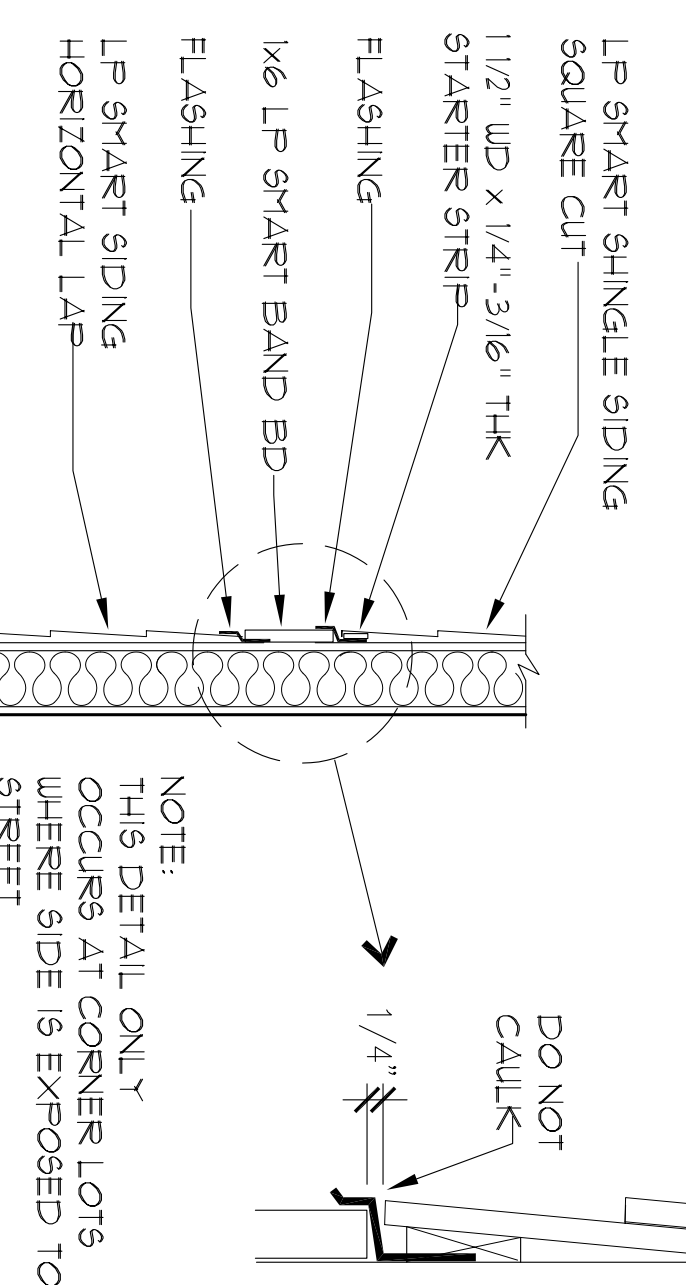
**RADON
MITIGATION
DETAIL**

SCALE: NO SCALE



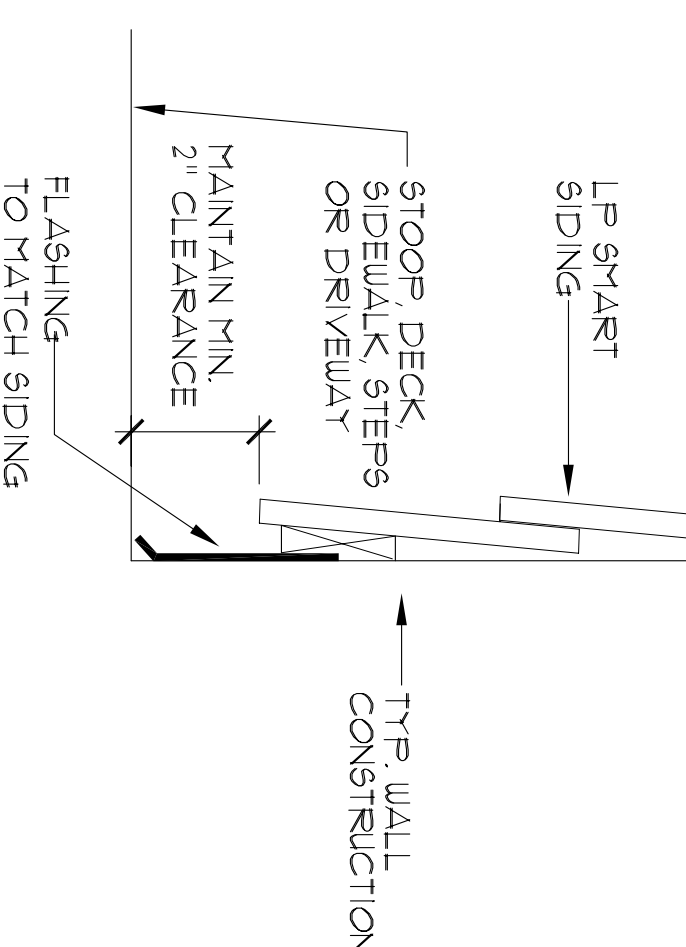
RAKE SECTION

SCALE: 3/4" = 1'-0"



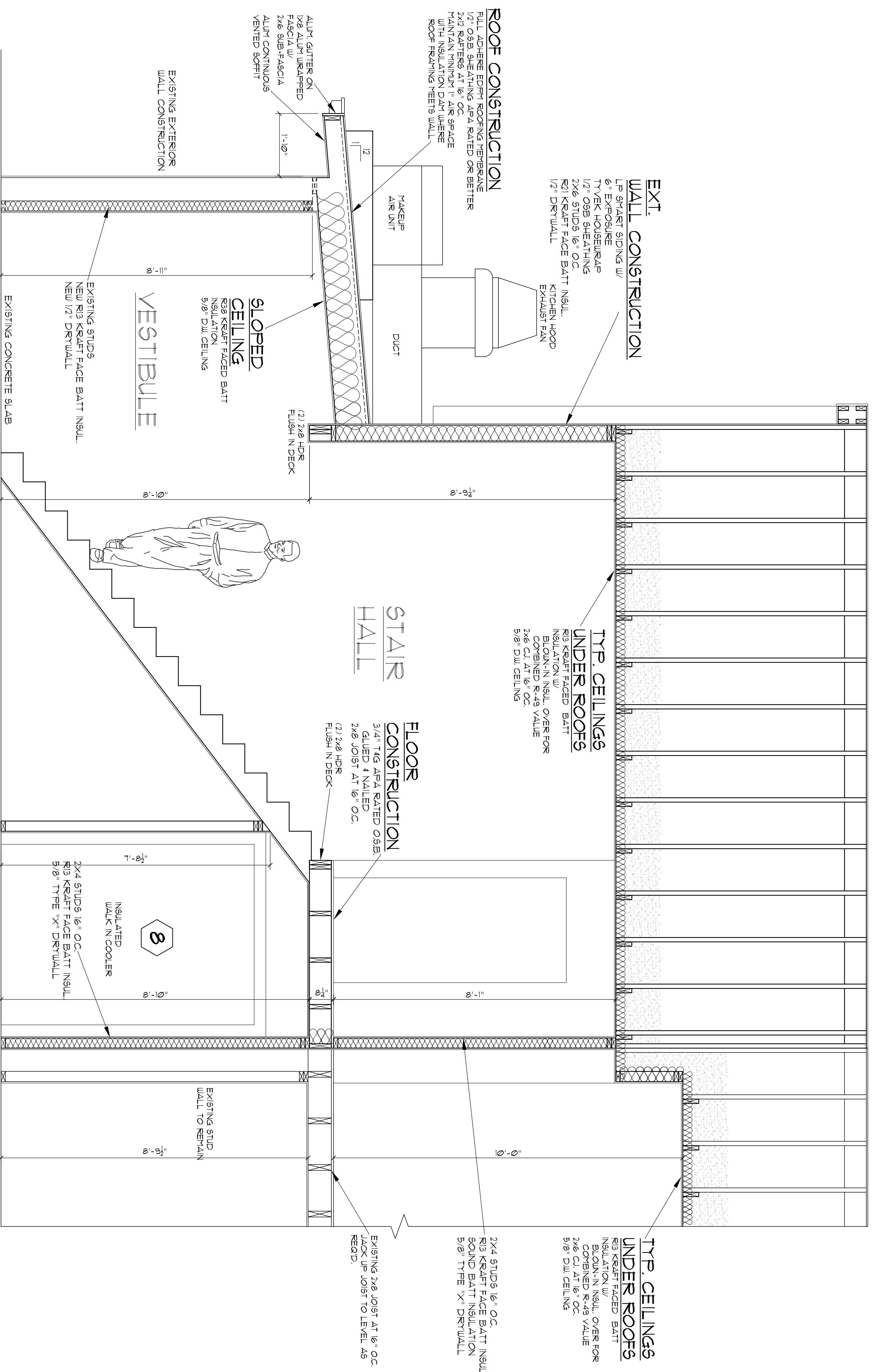
BAND BOARD DETAIL

SCALE: 3/4" = 1'-0"



SIDING DETAIL

SCALE: 3\"/>

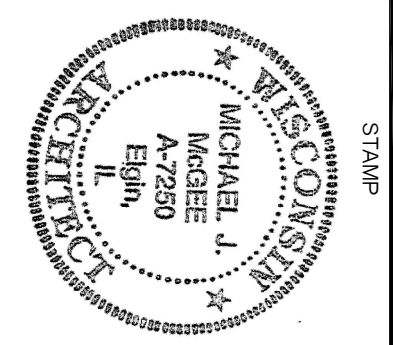


CROSS SECTION "B"

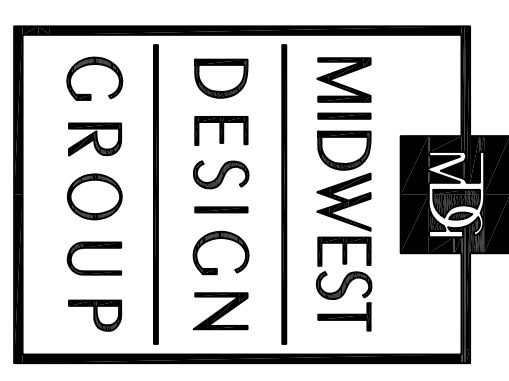
SCALE: 1/2" = 1'-0"

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RENOVATION TO:
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LAKE GENEVA WI 53147



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LICENSE# 184-000283

X-140 BROAD
STREET, 249

RESOLUTION OF THE PLAN COMMISSION

Resolution recommending to the Common Council a Conditional Use Permit (CUP) filed by Shadi Qattawi, 25420 W Cedar Crest Lane, Lake Villa, IL, to establish an Indoor Entertainment Facility (Restaurant) and to expand an existing second floor Commercial Apartment at 140 Broad Street, Tax Key No. ZOP 00331.

Committee:	N/A		
Fiscal Impact:	N/A		
File Number:	PC-035	Date:	August 18, 2025

WHEREAS, the City of Lake Geneva Plan Commission has considered a Conditional Use Permit application filed by Shadi Qattawi, 25420 W Cedar Crest Lane, Lake Villa, IL, to establish an Indoor Entertainment Facility (Restaurant) and to expand an existing second floor Commercial Apartment at 140 Broad Street, Tax Key No. ZOP 00331, and

WHEREAS, the Plan Commission held a Public Hearing thereon pursuant to proper notice given on August 18, 2025, and

WHEREAS, the Plan Commission made the following findings of fact:

1. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City’s Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
2. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City’s Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
3. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
4. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant’s proposal and any requirements recommended by the Applicant to ameliorate such impacts, and

