



City of Lake Geneva, 626 Geneva St, Lake Geneva, WI 53147-262.248.3673-www.cityoflakeneva.gov

Common Council Agenda
Monday, March 23, 2026 - 6:00 PM
Lake Geneva City Hall; Council Chambers

Members:

Mayor Todd Krause, Council President Mary Jo Fesenmaier, Council Vice President Cindy Yager, Alderpersons: Sherri Ames, Linda Frame, Joel Hoiland, JaNelle Powers, Brian Smith and Cathy Stoodley

- 1. Call to Order**
- 2. Pledge of Allegiance**
- 3. Roll Call**
- 4. Awards, Presentations, Proclamations, and Announcements**
 - a. Presentation by Walworth County Celebrating the Nation's 250th Birthday**
 - b. Certificate of Recognition to David Wingate**
- 5. Reconsider business from previous meeting**
- 6. Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will be limited to 5 minutes**
- 7. Acknowledgement of Correspondence**
- 8. City Administrator's Report**
- 9. Consent Agenda-Any item listed on the consent agenda may be removed at the request of any member of the Council. The request requires no second, is not discussed, and is not voted upon.**
 - a. Approve the Regular Council Minutes of March 9, 2026**
 - b. Acceptance of the Pre-Paid and Regular Check Reports**
 - c. Agent Change for GE Geneva LLC dba Emmi's & Gotham Bagels Lake Geneva to Ashely Fonseca**
 - d. Public Event Permit application filed by VISIT Lake Geneva for Concerts in the Park, located in Flat Iron Park on Thursdays from June 25 to August 6, 2026**
 - e. Public Event Permit with Street Closure Application filed by VISIT Lake Geneva for Liberty on the Lake in Flat Iron Park and Wrigley Dr on July 3 and 4, 2026**
- 10. Items removed from the Consent Agenda**
- 11. Ordinances and Resolutions**
 - a. Ordinance 26-04: An ordinance amending Sections 18-31, General Business License,**

repealing Section 18-32, Bond and insurance, amending Section 18-34, Certificate contents; records, amending Section 18-35, Same---exhibition, and repealing Section 18-38, Determinations of the City Council, of Division 1, Generally, of Article II, Licensing of Chapter 18, Businesses of the Municipal Code of the City of Lake Geneva, Wisconsin updating and amending procedures for issuance and display of general business licenses

- b.** Ordinance 26-05: An ordinance amending Section 2-49, Standing committees of Article II, City Council, and Subsection (b) of Section 2-303 of Division V, Cemetery Board, of Article V, Boards and Commissions, and Subsection (e) Agenda, of Sec. 2-235 Meetings; conduct; duties of Division 1.1, Avian (Bird) Committee of Article V, Boards and Commissions, of Chapter 2 Administration and Subsection (1) Meeting, and Subsection (3) Tree Board, of Article III, Board of Park Commissioners, of Chapter 54, Parks and Recreation, of the Municipal Code of the City of Lake Geneva, Wisconsin allowing two alderpersons to place items on standing committees, boards and committees
 - c.** Resolution 26-R12: A resolution authorizing the approval of an Amended Planned Development - Precise Implementation Plan (PIP) application filed by Eric Anderson, Covenant Harbor Bible Camp & Retreat Center, 1724 W. Main Street, Lake Geneva WI, to allow for the construction of a new dining facility for located at 1724 W. Main Street, Tax Key No. ZA522000001
- 12.** Discussion/Action regarding approval of the revised HWY 50 plat and relocation order
 - 13.** Discussion/Action regarding approval of the Library Program Room Renovation change orders in the amount of \$14,871.01
 - 14.** Discussion/Action regarding awarding the Oak Hill Cemetery Sexton Shed Bid to Glen Fern in the amount of \$118,865.00
 - 15.** Discussion/Action regarding rejecting bids for the Oak Hill Cemetery Columbarium Project
 - 16.** Adjournment

Requests from persons with disabilities, who need assistance to participate in this meeting or hearing, should be made to the City Clerk's office in advance so the appropriate accommodations can be made.

CITY OF LAKE GENEVA

Certificate of Recognition

WHEREAS, on a late October evening in 2025, restaurateur David Wingate was tending to his establishment, the Flat Iron Tap, in the City of Lake Geneva; and

WHEREAS, during the dinner rush, Mr. Wingate became aware of a commotion within his business; and

WHEREAS, upon investigating, Mr. Wingate discovered a patron choking; and

WHEREAS, after observing that the Heimlich maneuver being performed by another bystander was ineffective, Mr. Wingate promptly took over care; and

WHEREAS, through his quick assessment and effective application of the Heimlich maneuver, the airway obstruction was successfully cleared; and

WHEREAS, due to Mr. Wingate's swift and decisive actions, the patron was able to resume dining and required no additional medical assistance;

NOW, THEREFORE, I, Todd Krause, Mayor of the City of Lake Geneva, do hereby recognize and commend Mr. David Wingate for his lifesaving actions, and I urge all residents of Lake Geneva to learn first aid and CPR so they, too, may be prepared to save a life in a moment of need.

Dated this 23rd day of March 2026.

Todd Krause, Mayor

Lacey L. Reynolds, City Clerk



CITY OF LAKE GENEVA

CITY ADMINISTRATOR'S OFFICE

626 Geneva Street, Lake Geneva, WI 53147- (262) 248-3673-www.cityoflakegeneva.com.

MEMO

Date: March 23, 2026

To: City Council

From: Assistant Administrator Chris Bennett

Re: Council Agenda and Updates

AGENDA COMMENTS

11B. The following is from Dave De Angelis' comments for the March 9 Common Council meeting. De Angelis will likely comment further on the 23rd.

As the Council considers this item, I would just like to point out the following considerations.

- The members of the Council already have the ability to place items on the Council for referral to committees if there is not the ability to get it placed on the committee agendas by the chair of the committee
- The Committee of the Whole offers an additional opportunity to have any item forwarded to any committee of City including those items brought up during public comment.
- If the Council wishes to move forward and allow for two alders to put items onto agendas the existing policy 103 will need to be amended to reflect the same language as being proposed in the draft ordinance.

UPDATES

- The DOT's Public Involvement Session on March 19 went well. Citizens started arriving as early as 4:30 p.m. for the session, which ran from 5-7 p.m. Attendance is estimated at 80 people, per sign-in sheets, but all involved believed closer to 150 cycled through. DOT, Bloom Company and city staff answered questions. DOT and Bloom left their maps behind for reference and the handouts and exhibits are available at the DOT's HWY 50 website. WTMJ covered the PIM. Discussion of continuing outreach will take place Wednesday (3/26) when the Hwy 50 communications team meets.
- In-person absentee voting begins tomorrow (3/24) and continues daily on weekdays through April 3. Voting runs from 9 a.m. to 4 p.m. weekdays March 24 through April 2 and from 10 a.m. to 5 p.m. on April 3. As a reminder there is no Committee of the Whole meeting on April 6. Council chambers will be set up for the April 7 General Election.

- The city recently received additional information about a trolley service being run on a contract basis by a third party. The service will be used to ferry citizens and visitors to and from downtown during Hwy 50 reconstruction and resurfacing. Staff expect to recommend a course of action in the near future.

Respectfully submitted,

Chris Bennett
Assistant City Administrator

City of Lake Geneva Common Council Minutes
Monday, March 9, 2026 - 6:00 PM
Lake Geneva City Hall; Council Chambers

Call to Order

by Mayor Krause at 6:00 pm.

Pledge of Allegiance

by Alder Frame.

Roll Call

Present: Todd Krause, Sherri Ames, JaNelle Powers, Mary Jo Fesenmaier, Linda Frame, Brian Smith, Joel Hoiland, Cathy Stoodley and Cynthia Yager. Absent: None. Others present: City Administrator Dave De Angelis, City Clerk Lacey L. Reynolds, City Attorney Dan Draper, Finance Director Laura Pisarcik, Assistant City Administrator Chris Bennett and other interested persons.

Awards, Presentations, Proclamations, and Announcements

Clerk Reynolds reported on elections and absentee voting by mail. In-person absentee voting will be at City Hall from March 24-April 3, no weekends.

Reconsider business from previous meeting

None.

Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will be limited to 5 minutes

Peg Esposito spoke in regard to item 9d, Tom Keefe, Anthony Silvestri, Spyro Condos, Alex Binanti & Nancy Douglas (WLKG radio station) spoke in regard to item 12.

Acknowledgement of Correspondence

None.

City Administrator's Report

Administrator De Angelis reviewed his report, noting we are now in the testing phase for Channel 25. De Angelis also announced TDS reached out about other services they will be offering in the area. The strategic planning meetings are on Wednesday for staff & council during the day and the public in the evening. The DOT public information meeting is March 19th for HWY 50.

Consent Agenda-Any item listed on the consent agenda may be removed at the request of any member of the Council. The request requires no second, is not discussed, and is not voted upon.

Motion by Ames to approve a-e, second by Smith. Voice vote, approved, motion carried.

Approve the Regular Council Minutes from February 23, 2026

Acceptance of the Pre-Paid and Regular Check Reports

Agent Change filed by Harbor Shores Hotel Management Inc dba Harbor Shores on Lake Geneva to Virginia Krunic

Public Event Permit application filed by the Friends of Hillmoor for the Blooming Love event on May 2, 2026, at Hillmoor

Public Event Permit application filed by Fixion Skate Park Project Inc for the Trade Skateboard Demo on May 30, 2026, located at the Lake Geneva Skate Park-Dunn Field

Items removed from the Consent Agenda

None.

Resolutions and Ordinances

Resolution 26-R10: A resolution authorizing the issuance of a Conditional Use Permit (CUP) filed by Katie Coderre for a request to construct a second floor addition within the Estate Residential-1 (ER-1) zoning district for the property located at 1624 N Lake Shore Drive, Tax Key No. ZLM 00037

Motion by Frame to approve, second by Hoiland. Voice vote, approved, motion carried.

Resolution 26-R11: A resolution authorizing the issuance of a Limited Conditional Use Permit (CUP) filed by AMB Holdings to operate a Commercial Indoor Lodging facility at 830 Williams Street, Tax Key No. ZRA00017

Motion by Hoiland to approve, second by Frame. Voice vote, approved, motion carried.

Ordinance 26-02: An ordinance amending Section 2-49, Standing committees of Article II, City Council and Subsection (a) Report to Council of Section 2-361, Procedure of Division 2, Claims of Article VI, Finance, and Section 2-501, Meetings to be televised and livestreamed of Article IX, MEETINGS of Chapter 2, Administration of the Municipal Code of the City of Lake Geneva, Wisconsin removing the Finance, Licensing and Regulation Committee as a municipal body in the City of Lake Geneva, Wisconsin

Motion by Yager to move to the 2nd reading, second by Frame. Voice vote, approved, motion carried. Motion by Frame to approve, second by Yager. Discussion took place. Roll call vote: Frame, yes; Yager, yes; Stoodley, yes; Hoiland, no; Smith, no; Fesenmaier, yes; Powers, yes; Ames, yes. Motion carried 6-2.

Ordinance 26-03: An ordinance amending subsection (2)(b) Section 98-803, Definitions, of Article 8, Signage Regulations of Chapter 98, Zoning of the Municipal Code of the City of Lake Geneva, adding the term “Building entrance” and providing a definition and amending subsection (D)(2), Sandwich Board Sign, Figure 98-811(1) Business Sign—Permanent Group, Section 98-811 Permitted Sign Rules of Article 8 Signage Regulations of Chapter 98, Zoning of the Municipal Code of the City of Lake Geneva, amending the way sign number is determined

Motion by Hoiland to approve, second by Frame. Discussion took place. Voice vote, approved, motion carried.

Discussion/Action regarding approval of G. Moxie communications consultant for HWY 50 project (continued from the February 23rd Council meeting)

Motion by Ames to approve, second by Stoodley. Motion by Ames to suspend the rules for the G. moxie rep to speak, second by Frame. Voice vote, approved, motion carried. Administrator De Angelis spoke regarding the item, Laura from G. moxie reviewed the proposal and discussion took place. Main motion roll call vote: Ames, yes; Stoodley, yes; Yager, yes; Hoiland, no; Smith, no; Fesenmaier, yes; Powers, yes; Frame, yes. Motion carried 6-2.

Motion by Powers to move item 15 up next, second by Fesenmaier. Voice vote, approved, motion carried.

Discussion/Action regarding the recognition of the International Association of Fire Fighters as the City of Lake Geneva Fire Fighters Union Representative

Discussion took place. Motion by Ames to approve, second by Fesenmaier. Discussion continued. Voice vote, approved, motion carried.

Discussion/Action regarding approval of the contract for the Rapid Flashing Beacon at Badger High School to Outdoor Lighting Construction CO., Inc in the amount of \$13,600.00

Motion by Stoodley to approve, second by Frame. Voice vote, approved, motion carried.

Discussion/Action regarding allocation of \$7,500 from 2023 to 2025 bonding cycle surplus funds for the installation of a divider fence at the Dunn Pickleball Courts with installation to be completed prior to the scheduled May 16th grand opening

Motion by Yager to approve, second by Hoiland. Voice vote, approved, motion carried.

Discussion/Action regarding Proposed Language Changes to Allow Two Alderpersons to Request an Item to be placed on Committee Agendas

Discussion took place. Motion by Ames to continue, second by Powers. Roll call vote: Ames, yes; Powers, yes; Fesenmaier, no; Frame, no; Smith, yes; Hoiland, yes; Stoodley, no; Yager, no. Tie vote 4-4. Mayor Krause voted — no. Motion failed 4-5. Motion by Hoiland to continue, second by Smith. Roll call vote: Hoiland, yes; Smith, yes; Frame, no; Fesenmaier, no; Powers, no; Ames, no; Stoodley, no; Yager, no. Motion failed 2-6. Motion by Fesenmaier to refer back to the City Attorney to draft and bring back to the next meeting, second by Yager. Roll call vote: Fesenmaier, yes; Yager, yes; Powers, yes; Frame, yes; Smith, no; Stoodley, yes; Ames, yes; Hoiland, no. Motion carried 6-2.

Adjournment

Motion by Ames to adjourn, second by Powers. Voice vote, approved, motion carried. Adjourned at 8:09 pm.

Lacey L. Reynolds
City Clerk

Report Criteria:

Detail report.
 Invoices with totals above \$0.00 included.
 Paid and unpaid invoices included.
 Invoice.Batch = "PD03042026","03062026","03102026","03112026","03132026","03122026"

Invoice Number	Invoice Date	Description	GL Account and Title	Net Invoice Amount
ALLIANT ENERGY/WPL				
FEB 2026	02/20/2026	OAK HILL CEMETERY	48-00-00-52220 CEM ELECTRICITY EXP	40.60
FEB 2026-02	03/02/2026	GENEVA SQUARE-TRAFFIC LIG	11-34-10-52220 ELECTRICITY-FLASHERS	72.83
FEB 2026-02	03/02/2026	HAVENWOOD FLASHER	11-34-10-52220 ELECTRICITY-FLASHERS	12.42
FEB 2026-02	03/02/2026	SOUTH/WELLS FLASHER	11-34-10-52220 ELECTRICITY-FLASHERS	17.64
FEB 2026-02	03/02/2026	WELLS STREET FLASHER	11-34-10-52220 ELECTRICITY-FLASHERS	23.90
FEB 2026-02	03/02/2026	MAIN STREET LIGHTS	11-34-10-52230 STREET LIGHTS ELECTRICITY	286.06
FEB 2026-02	03/02/2026	1055 CAREY	11-32-10-52220 ST DEPT BLDG ELECTRICITY	211.58
FEB 2026-02	03/02/2026	BROAD ST TRAFFIC SIGNAL	11-34-10-52230 STREET LIGHTS ELECTRICITY	108.34
FEB 2026-02	03/02/2026	HWY 50/HWY 12 FLASHER	11-34-10-52220 ELECTRICITY-FLASHERS	16.66
FEB 2026-02	03/02/2026	WEST COOK SIREN	11-29-00-52220 SIRENS ELECTRICTY	23.75
FEB 2026-02	03/02/2026	RIVIERA ELECTRIC	40-55-30-52220 PIER ELECTRIC	3,935.71
FEB 2026-02	03/02/2026	BEACH HOUSE	40-54-10-52220 BEACH ELECTRIC	293.56
FEB 2026-02	03/02/2026	INTERCHANGE N TRAFFIC SIG	11-34-10-52230 STREET LIGHTS ELECTRICITY	73.92
FEB 2026-02	03/02/2026	HWY 120/BLOOMFIELD RD TRA	11-34-10-52230 STREET LIGHTS ELECTRICITY	106.32
FEB 2026-02	03/02/2026	LIBRARY PARK OUTSIDE	11-52-00-52220 PARKS ELECTRICITY	31.96
FEB 2026-02	03/02/2026	EDWARDS BLVD/WALMART TR	11-34-10-52230 STREET LIGHTS ELECTRICITY	108.44
FEB 2026-02	03/02/2026	HAVENWOOD DR/MAIN STREE	11-34-10-52230 STREET LIGHTS ELECTRICITY	97.04
FEB 2026-02	03/02/2026	SAGE ST/DUNN SIREN	11-29-00-52220 SIRENS ELECTRICTY	6.14
FEB 2026-02	03/02/2026	STREET LIGHTS MS-2 LIGHTIN	11-34-10-52230 STREET LIGHTS ELECTRICITY	340.23
FEB 2026-02	03/02/2026	DUNN FIELD	11-52-00-59220 DUNN FIELD ELECTRIC	257.99
FEB 2026-02	03/02/2026	SNAKE RD/HWY 50 FLASHER	11-34-10-52220 ELECTRICITY-FLASHERS	16.66
FEB 2026-02	03/02/2026	VETS PARK/TOWNLINE RD	11-52-01-52220 VETS PARKS ELECTRICITY	342.26
FEB 2026-02	03/02/2026	1067 CAREY-STORAGE BUILDI	11-21-00-52220 POLICE IMPOUND BLDG ELECTRIC	30.48
FEB 2026-02	03/02/2026	1067 CAREY-STORAGE BUILDI	11-22-00-52220 FIREHOUSE ELECTRICITY	30.48
FEB 2026-02	03/02/2026	N BLOOMFIELD RD & HARMON	11-34-10-52230 STREET LIGHTS ELECTRICITY	4.55
FEB 2026-02	03/02/2026	MUSEUM-256 MILLS STREET	11-51-10-52220 MUSEUM-ELECTRICITY	745.50
FEB 2026-02	03/02/2026	WELLS STREET FLASHER	11-34-10-52220 ELECTRICITY-FLASHERS	16.08
FEB 2026-02	03/02/2026	HOST DRIVE WATER TOWER	11-22-00-52220 FIREHOUSE ELECTRICITY	235.43
FEB 2026-02	03/02/2026	LIBRARY-918 MAIN STREET	99-00-00-52220 LIBRARY UTILITIES	1,697.23
FEB 2026-02	03/02/2026	LOT LITE-GENEVA ST	11-34-10-52230 STREET LIGHTS ELECTRICITY	286.51
FEB 2026-02	03/02/2026	WELLS STREET LIGHT	11-34-10-52220 ELECTRICITY-FLASHERS	97.20
FEB 2026-02	03/02/2026	FLAT IRON PARK-WRIGLEY DR	11-52-00-52220 PARKS ELECTRICITY	339.57
FEB 2026-02	03/02/2026	W HWY 50 BLOCK FLASHER	11-34-10-52220 ELECTRICITY-FLASHERS	16.66
FEB 2026-02	03/02/2026	LIBRARY PARK RESTROOM	11-52-00-52220 PARKS ELECTRICITY	249.56
FEB 2026-02	03/02/2026	724 WILLIAMS STREET	11-34-10-52230 STREET LIGHTS ELECTRICITY	50.67
FEB 2026-02	03/02/2026	S LAKE SHORE DRIVE FLASHE	11-34-10-52220 ELECTRICITY-FLASHERS	12.85
FEB 2026-02	03/02/2026	S LAKE SHORE DRIVE	11-52-00-52220 PARKS ELECTRICITY	34.67
FEB 2026-02	03/02/2026	COOK ST/HWY 50 TRAFFIC SIG	11-34-10-52230 STREET LIGHTS ELECTRICITY	46.90
FEB 2026-02	03/02/2026	SIREN-730 MARSHALL STREET	11-29-00-52220 SIRENS ELECTRICTY	35.14
FEB 2026-02	03/02/2026	TENNIS COURTS	11-52-00-52220 PARKS ELECTRICITY	30.88
FEB 2026-02	03/02/2026	389 EDWARDS TRAFFIC LIGHT	11-34-10-52230 STREET LIGHTS ELECTRICITY	125.73
FEB 2026-02	03/02/2026	HWY 50/HWY 12 STOP LIGHT	11-34-10-52220 ELECTRICITY-FLASHERS	58.02
FEB 2026-02	03/02/2026	RUSHWOOD PARK	11-52-00-52220 PARKS ELECTRICITY	35.51
FEB 2026-02	03/02/2026	700 GENEVA STREET PARKING	11-34-10-52230 STREET LIGHTS ELECTRICITY	329.59
FEB 2026-02	03/02/2026	1065 CAREY ST	11-32-10-52220 ST DEPT BLDG ELECTRICITY	458.50
FEB 2026-02	03/02/2026	STREET LIGHTS	11-34-10-52230 STREET LIGHTS ELECTRICITY	7,773.29
FEB 2026-02	03/02/2026	VETS PARK SCOREBOARD	11-52-01-52220 VETS PARKS ELECTRICITY	175.80
FEB 2026-02	03/02/2026	BAKER/SEMINARY RESTROOM	11-52-00-52220 PARKS ELECTRICITY	28.85
FEB 2026-02	03/02/2026	HWY 50 TRAFFIC LIGHT	11-34-10-52230 STREET LIGHTS ELECTRICITY	97.14
FEB 2026-02	03/02/2026	GEORGE STREET FLASHER	11-34-10-52220 ELECTRICITY-FLASHERS	12.85

Invoice Number	Invoice Date	Description	GL Account and Title	Net Invoice Amount
FEB 2026-02	03/02/2026	1070 CAREY ST	11-32-10-52220 ST DEPT BLDG ELECTRICITY	237.68
FEB 2026-02	03/02/2026	FLAT IRON PARK-WRIGLEY DR	11-52-00-52220 PARKS ELECTRICITY	22.77
FEB 2026-02	03/02/2026	DODGE STREET FLASHER	11-34-10-52220 ELECTRICITY-FLASHERS	12.85
FEB 2026-02	03/02/2026	IMPOUND-1070 CAREY ST	11-21-00-52220 POLICE IMPOUND BLDG ELECTRIC	27.56
FEB 2026-02	03/02/2026	FIRE HOUSE-730 MARSHALL	11-22-00-52220 FIREHOUSE ELECTRICITY	1,129.23
FEB 2026-02	03/02/2026	HWY 120/TOWNLINE RD STOP	11-34-10-52220 ELECTRICITY-FLASHERS	60.59
FEB 2026-02	03/02/2026	CITY HALL	11-16-10-52220 CITY HALL ELECTRICITY	3,154.47
FEB 2026-02	03/02/2026	VETS PARK PAVILION	11-52-01-52220 VETS PARKS ELECTRICITY	204.35
FEB 2026-02	03/02/2026	DONIAN PK	11-52-00-52220 PARKS ELECTRICITY	189.12
FEB 2026-02	03/02/2026	COBB PARK	11-52-00-52220 PARKS ELECTRICITY	26.16
FEB2026	02/20/2026	OAK HILL CEMETERY	48-00-00-52220 CEM ELECTRICITY EXP	246.91

Total ALLIANT ENERGY/WPL:

24,791.34

AMAZON CAPITAL SERVICES

89C4-JAN 202	01/31/2026	NET SHIPPING/DISCOUNT	11-16-10-53100 CITY HALL OFFICE SUPPLIES	7.53
89C4-JAN 202	01/31/2026	URINAL DEODORIZER	11-16-10-53500 CITY HALL BLDG MAINT SUPPLIES	17.99
89C4-JAN 202	01/31/2026	AUTO SOAP DISPENSER (2)	11-16-10-53500 CITY HALL BLDG MAINT SUPPLIES	44.18
89C4-JAN 202	01/31/2026	COMPUTER SPEAKERS-JENNIF	11-15-10-53100 OFFICE SUPPLIES	16.65
89C4-JAN 202	01/31/2026	GALLON HAND SOAP	11-16-10-53500 CITY HALL BLDG MAINT SUPPLIES	53.29
89C4-JAN 202	01/31/2026	ACRYLIC SIGN HOLDER	11-14-20-53500 STRATEGIC PLAN	35.14
89C4-JAN 202	01/31/2026	2 PACK PRINTER CARTRIDGE-L	11-15-10-53100 OFFICE SUPPLIES	207.96
89C4-JAN 202	01/31/2026	BROTHER PRINTER DRUM-LAU	11-15-10-53100 OFFICE SUPPLIES	98.51
89C4-JAN 202	01/31/2026	TONER CARTRIDGE	11-16-10-53100 CITY HALL OFFICE SUPPLIES	190.88
89C4-JAN 202	01/31/2026	CANON PRINTER DRUM	11-16-10-53100 CITY HALL OFFICE SUPPLIES	107.00
89C4-JAN 202	01/31/2026	TONER CARTRIDGE	11-16-10-53100 CITY HALL OFFICE SUPPLIES	143.99
89C4-JAN 202	01/31/2026	ACRYLIC SIGN HOLDER	11-14-20-53500 STRATEGIC PLAN	20.61
89C4-JAN 202	01/31/2026	AA BATTERIES	11-16-10-53100 CITY HALL OFFICE SUPPLIES	14.27
89C4-JAN 202	01/31/2026	2-BAGS PINE CONE ASSORT-ST	11-10-00-51390 STAFF APPRECIATION	37.22
89C4-JAN 202	01/31/2026	TAKE OUT FOOD CONTAINERS-	11-10-00-51390 STAFF APPRECIATION	22.49
89C4-JAN 202	01/31/2026	DUST MOP, TOILET CLEANER,	11-16-10-53500 CITY HALL BLDG MAINT SUPPLIES	65.54
89C4-JAN 202	01/31/2026	SCREEN PROTECTOR-BETH	42-34-50-53400 OPERATING SUPPLIES-ENFORCEMEN	15.08
89C4-JAN 202	01/31/2026	GE REPLACEMENT BULB	11-16-10-53500 CITY HALL BLDG MAINT SUPPLIES	16.58
89C4-JAN 202	01/31/2026	4K WIRELESS HDMI ADAPTER-	11-14-20-53100 OFFICE SUPPLIES	48.99
89C4-JAN 202	01/31/2026	BIC BALLPOINT PENS	11-16-10-53100 CITY HALL OFFICE SUPPLIES	16.78
89C4-JAN 202	01/31/2026	EXPANDING FILE FOLDER	11-14-30-53100 OFFICE SUPPLIES	23.32
89C4-JAN 202	01/31/2026	MISC SUPPLIES	11-14-30-53100 OFFICE SUPPLIES	95.34
89C4-JAN 202	01/31/2026	MISC SUPPLIES	11-14-30-53110 BALLOTS/OTHER ELECTION EXPENSE	135.91
89C4-JAN 202	01/31/2026	2-6 PC XMAS CANDLE RINGS-S	11-10-00-51390 STAFF APPRECIATION	19.98
89C4-JAN 202	01/31/2026	GIFT BAGS-STAFF PARTY	11-10-00-51390 STAFF APPRECIATION	5.99
89C4-JAN 202	01/31/2026	MOVIE NIGHT SNACK TRAY-ST	11-10-00-51390 STAFF APPRECIATION	25.99
89C4-JAN 202	01/31/2026	VOTIVE CANDLE HOLDERS, TE	11-10-00-51390 STAFF APPRECIATION	33.78
89C4-JAN 202	01/31/2026	8-CANDLEHOLDER RINGS-STA	11-10-00-51390 STAFF APPRECIATION	24.99
89C4-JAN 202	01/31/2026	2-WINTER BACK DROP-STAFF	11-10-00-51390 STAFF APPRECIATION	15.56
89C4-JAN 202	01/31/2026	BACKDROP STAND	11-10-00-51390 STAFF APPRECIATION	18.99
89C4-JAN 202	01/31/2026	4" 3 RING BINDER-LAURA D	11-15-10-53100 OFFICE SUPPLIES	24.64
89C4-JAN 202	01/31/2026	XMAS BACKDROP-STAFF PART	11-10-00-51390 STAFF APPRECIATION	15.98
89C4-JAN 202	01/31/2026	AC POWER CORD	50-00-00-58000 MISC/COMP EQUIP PURCHASES	9.99
89C4-JAN 202	01/31/2026	OFFICE CHAIR	11-16-10-53100 CITY HALL OFFICE SUPPLIES	135.99
89C4-JAN 202	01/31/2026	OFFICE CHAIR	11-14-10-53990 MAYOR MISC EXPENSE	135.99
89C4-JAN 202	01/31/2026	CREDIT MEMO	99-00-00-55110 CIRCULATION SUPPLIES & SERVICE	12.99-
89C4-JAN 202	01/31/2026	CREDIT MEMO	99-00-00-54100 LIBRARY ADULT MATERIALS	55.76-
89C4-JAN 202	01/31/2026	CREDIT MEMO	99-00-00-54100 LIBRARY ADULT MATERIALS	9.89-
89C4-JAN 202	01/31/2026	ADULT MATERIALS	99-00-00-54100 LIBRARY ADULT MATERIALS	19.98
89C4-JAN 202	01/31/2026	BATTERY & FAST CHARGER	99-00-00-54155 LIBRARY MARKETING	47.99
89C4-JAN 202	01/31/2026	ZINC OINTMENT	99-00-00-52110 GENERAL ADMIN EXPENSES	9.05
89C4-JAN 202	01/31/2026	ADULT MATERIALS	99-00-00-54100 LIBRARY ADULT MATERIALS	33.98

Invoice Number	Invoice Date	Description	GL Account and Title	Net Invoice Amount
89C4-JAN 202	01/31/2026	GIFT WRAPPING TWINE	99-00-00-54150 LIBRARY PROGRAMS	5.69
89C4-JAN 202	01/31/2026	PROJECTOR TRAVEL CASE	99-00-00-55170 LIBRARY OUTREACH	119.98
89C4-JAN 202	01/31/2026	CHROMEBOOK-REIMB VITA GR	99-00-00-54100 LIBRARY ADULT MATERIALS	998.00
89C4-JAN 202	01/31/2026	MISC SUPPLIES	99-00-00-53500 LIBRARY MAINT SUPPLIES	89.98
89C4-JAN 202	01/31/2026	YOUTH MATERIALS	99-00-00-54110 LIBRARY YOUTH MATERIALS	402.42
89C4-JAN 202	01/31/2026	ADULT MATERIALS	99-00-00-54100 LIBRARY ADULT MATERIALS	1,040.36
89C4-JAN 202	01/31/2026	ADULT MATERIALS	99-00-00-54100 LIBRARY ADULT MATERIALS	1,099.12
89C4-JAN 202	01/31/2026	MISC SUPPLIES	99-00-00-53100 LIBRARY OFFICE SUPPLIES	541.47
89C4-JAN 202	01/31/2026	MISC SUPPLIES	99-00-00-55110 CIRCULATION SUPPLIES & SERVICE	91.93
89C4-JAN 202	01/31/2026	MISC SUPPLIES	99-00-00-55120 LIBRARY PROCESSING SUPPLIES	27.08
89C4-JAN 202	01/31/2026	PROGRAM SUPPLIES-AVEDISIA	99-00-00-54150 LIBRARY PROGRAMS	82.23
89C4-JAN 202	01/31/2026	PROGRAM SUPPLIES	99-00-00-54150 LIBRARY PROGRAMS	242.73
89C4-JAN 202	01/31/2026	ADULT MATERIALS	99-00-00-54100 LIBRARY ADULT MATERIALS	950.86
89C4-JAN 202	01/31/2026	FAUCET SUPPLIES-PLANT B	62-00-00-93200 MAINTENANCE OF GENERAL PLANT	106.97
89C4-JAN 202	01/31/2026	CREDIT MEMO-UTILITY SINK	62-00-00-93200 MAINTENANCE OF GENERAL PLANT	68.99
89C4-JAN 202	01/31/2026	FAUCET SUPPLIES-PLANT B	62-00-00-93200 MAINTENANCE OF GENERAL PLANT	175.84
89C4-JAN 202	01/31/2026	CREDIT MEMO-FAUCET PLANT	62-00-00-93200 MAINTENANCE OF GENERAL PLANT	68.99
89C4-JAN 202	01/31/2026	WORKSTATION PAD	62-00-00-92100 OFFICE SUPPLIES & EXPENSE	12.48
89C4-JAN 202	01/31/2026	LIFT STATION-WATER FILTER C	61-00-00-93800 MAINT-LIFT STATIONS	142.44
89C4-JAN 202	01/31/2026	MISC OFFICE SUPPLIES	61-00-00-53100 OFFICE SUPPLIES EXPENSE	53.47
89C4-JAN 202	01/31/2026	MISC OFFICE SUPPLIES	62-00-00-92100 OFFICE SUPPLIES & EXPENSE	53.46
89C4-JAN 202	01/31/2026	MISC BLDG SUPPLIES	11-22-00-53500 BLDG MAINT SUPPLIES-FIREHOUSE	285.63
89C4-JAN 202	01/31/2026	MAILERS, NOTEPADS, OFFICE	11-22-00-53100 OFFICE SUPPLIES	46.86
89C4-JAN 202	01/31/2026	TRASH BAGS	11-22-00-53500 BLDG MAINT SUPPLIES-FIREHOUSE	9.99
89C4-JAN 202	01/31/2026	HOOK LOOP TAPE	11-22-00-58000 FIRE EQUIPMENT/SUPPLIES	20.99
89C4-JAN 202	01/31/2026	MISC SUPPLIES	11-22-00-53500 BLDG MAINT SUPPLIES-FIREHOUSE	119.70
89C4-JAN 202	01/31/2026	MISC SUPPLIES	11-22-00-53510 EQUIP MAINT SUPPLIES-FIRE DEPT	204.52
89C4-JAN 202	01/31/2026	MISC SUPPLIES	11-22-00-53400 OPERATING SUPPLIES	48.24
89C4-JAN 202	01/31/2026	MISC SUPPLIES	11-22-00-58100 EMS EQUIPMENT/SUPPLIES	199.90
89C4-JAN 202	01/31/2026	PLASTIC POPCORN CONTAINERS	11-10-00-51390 STAFF APPRECIATION	13.95
Total AMAZON CAPITAL SERVICES:				8,983.79
AT&T				
S660270270-2	03/01/2026	ETHERNET- MARCH	11-21-00-52210 PD TELEPHONE EXPENSE	338.90
Total AT&T:				338.90
AT&T MOBILITY				
287305036061	02/23/2026	CELL PHONE	11-21-00-52210 PD TELEPHONE EXPENSE	1,596.02
287305350776	02/23/2026	CELL PHONE FEB26	11-22-00-52210 FIRE TELEPHONE EXPENSE	807.22
287357916615	02/27/2026	CITY HALL-HOT SPOT- .45	11-16-10-52210 CITY HALL TELEPHONE	38.47
287357916615	02/27/2026	POLICE MAIN-HOT SPOT .45	11-21-00-52210 PD TELEPHONE EXPENSE	38.47
287357916615	02/27/2026	COURT MAIN-HOT SPOT .05	11-12-00-52210 MUNICIPAL CT TELEPHONE	4.27
287357916615	02/27/2026	METER-HOT SPOT- .05	42-34-50-52210 TELEPHONE EXPENSE	4.27
Total AT&T MOBILITY:				2,488.72
BAYCOM INC				
GO-34396-DO	03/09/2026	2026 ANNUAL SUBSCRIPTION	11-21-00-58100 EQUIPMENT OUTLAY	453.00
Total BAYCOM INC:				453.00
CHARTER COMMUNICATIONS				
152473401030	03/01/2026	INTERNET SVC-MAR 2026	11-32-10-52210 ST DEPT TELEPHONE EXPENSE	100.00
152474001022	02/21/2026	INTERNET SERV - MARCH26	11-22-00-52210 FIRE TELEPHONE EXPENSE	119.99

Invoice Number	Invoice Date	Description	GL Account and Title	Net Invoice Amount
Total CHARTER COMMUNICATIONS:				219.99
CITY OF LAKE GENEVA BID				
FEB 2026	03/12/2026	WAL CTY S/A FEB 2026	89-00-00-24700 DUE TO BID DISTRICT	12,197.11
Total CITY OF LAKE GENEVA BID:				12,197.11
CITY OF LAKE GENEVA POLICE DEPT				
03/04/26	03/04/2026	PETTY CASH-POSTAGE	11-21-00-53120 PD POSTAGE	61.05
Total CITY OF LAKE GENEVA POLICE DEPT:				61.05
CULLIGAN OF BURLINGTON				
420174	02/24/2026	SOLAR SALT FEB 2026	40-55-20-53600 RIV MAINTENANCE SERVICE COSTS	138.00
500X03412307	02/28/2026	BOTTLED WATER RENTAL-MAR	99-00-00-55320 LIBRARY EQUIP LEASES & MAINT	9.00
500X03412406	02/28/2026	DRINKING WATER MAR 2026	99-00-00-55320 LIBRARY EQUIP LEASES & MAINT	48.00
Total CULLIGAN OF BURLINGTON:				195.00
ELAN FINANCIAL SERVICES				
1459-JAN2026	01/26/2026	50 YEARLY EVENTS-DEC 25-JA	11-14-20-54500 COMPUTER IT SVC & EQUIPMENT	109.00
1459-JAN2026	01/26/2026	2026 WGFOA MEMBERSHIP	11-15-10-53200 PROFESSIONAL DUES	25.00
1459-JAN2026	01/26/2026	ESTORE GFOA-RENEWAL FEE	11-15-10-53200 PROFESSIONAL DUES	250.00
1459-JAN2026	01/26/2026	RING EX SUBSCRIPTION	11-32-10-52210 ST DEPT TELEPHONE EXPENSE	415.70
1459-JAN2026	01/26/2026	WIX APP RENEWAL	47-70-00-57155 TOURISM MUNICIPAL DEVELOPMENT	47.88
1459-JAN2026	01/26/2026	WEDDING PRO-RENEWAL	47-70-00-57155 TOURISM MUNICIPAL DEVELOPMENT	854.70
1459-JAN2026	01/26/2026	SLING MEMBERSHIP-PARKING	42-34-50-53100 OFFICE SUPPLIES	31.39
1459-JAN2026	01/26/2026	SLING MEMBERSHIP-RIV 8	40-55-20-53990 MISCELLANEOUS EXPENSES	16.00
1459-JAN2026	01/26/2026	ADOBE SUBSCRIPTIONS-LACE	11-14-30-53100 OFFICE SUPPLIES	23.66
1459-JAN2026	01/26/2026	WIX GOOGLE ADS-MONTHLY	47-70-00-57155 TOURISM MUNICIPAL DEVELOPMENT	300.00
1877-JAN2026	01/26/2026	STATE PARK PASSES	99-00-00-54100 LIBRARY ADULT MATERIALS	990.00
1877-JAN2026	01/26/2026	LARGE FORMAT PRINTING	99-00-00-53100 LIBRARY OFFICE SUPPLIES	4.91
1877-JAN2026	01/26/2026	DOMAIN REGISTRATION	99-00-00-53100 LIBRARY OFFICE SUPPLIES	20.00
1877-JAN2026	01/26/2026	FACEBOOK AD	99-00-00-54155 LIBRARY MARKETING	7.72
1877-JAN2026	01/26/2026	GOOGLE BUSINESS SUITE	99-00-00-55150 LIBRARY COMPUTER SOFTWARE	134.40
1877-JAN2026	01/26/2026	MOBILE BEACON	99-00-00-54100 LIBRARY ADULT MATERIALS	600.00
1877-JAN2026	01/26/2026	BUSINESS CARDS	99-00-00-52110 GENERAL ADMIN EXPENSES	40.98
1877-JAN2026	01/26/2026	MEETING - COFFEE	99-00-00-52110 GENERAL ADMIN EXPENSES	8.18
1877-JAN2026	01/26/2026	FACEBOOK AD	99-00-00-54155 LIBRARY MARKETING	80.00
2474-JAN2026	01/26/2026	WAA MEMBER SIGN UP-MORG	11-32-13-54300 TREE, BRUSH & COMPOST OPER SUP	300.00
2474-JAN2026	01/26/2026	MECHANICAL TOOL SET 2025	11-32-10-53990 ST DEPT MISCELLANEOUS EXP	129.00
2474-JAN2026	01/26/2026	MECHANIC TOOL SET-2025	11-32-10-53500 BLDG MAINT SUPPLIES-STR DEPT	89.88
2474-JAN2026	01/26/2026	NUT DRIVER SET- 2025	11-32-10-53990 ST DEPT MISCELLANEOUS EXP	143.90
2474-JAN2026	01/26/2026	DESK ORGANIZER-2025	48-00-00-53100 CEM OFFICE SUPPLIES	19.58
2474-JAN2026	01/26/2026	BACKPACK SPRAYER-VETS 202	11-52-00-53990 PARKS MISCELLANEOUS EXPENSES	170.99
2474-JAN2026	01/26/2026	CONFERENCE SIGN-BREAK RO	43-32-10-17020 DPW CAPITAL PROJECTS	48.89
2474-JAN2026	01/26/2026	CONFERENCE SIGN-BREAK RO	43-32-10-17020 DPW CAPITAL PROJECTS	11.96
2474-JAN2026	01/26/2026	VACCUM BELT	11-32-10-53400 OPERATING SUPPLIES-STREET DEPT	8.50
2474-JAN2026	01/26/2026	POWER TOOL ORGANIZER 202	11-32-10-53990 ST DEPT MISCELLANEOUS EXP	49.99
2474-JAN2026	01/26/2026	DYMO LABEL TAPER	11-32-10-53400 OPERATING SUPPLIES-STREET DEPT	21.69
2474-JAN2026	01/26/2026	WHITE OUT	48-00-00-53400 CEM OPERATING SUPPLIES	5.24
2474-JAN2026	01/26/2026	CALENDAR, SICKY NOTES, PE	48-00-00-53100 CEM OFFICE SUPPLIES	31.51
2474-JAN2026	01/26/2026	FOLDERS, ORGANIZER	48-00-00-53100 CEM OFFICE SUPPLIES	38.98
2474-JAN2026	01/26/2026	VERIZON MONTHLY BILL	11-32-12-53400 OPERATING SUPPLIES-SNOW & ICE	472.53
2474-JAN2026	01/26/2026	LOGO-DPW	11-32-10-53400 OPERATING SUPPLIES-STREET DEPT	15.00
2474-JAN2026	01/26/2026	WAA MEMBER -GERA	11-32-13-54300 TREE, BRUSH & COMPOST OPER SUP	300.00

Invoice Number	Invoice Date	Description	GL Account and Title	Net Invoice Amount
2474-JAN2026	01/26/2026	UWM MANAGEMENT ASSESSM	11-32-13-54100 TRAINING & SEMINARS	375.00
2474-JAN2026	01/26/2026	PAPER	11-32-10-53400 OPERATING SUPPLIES-STREET DEPT	44.99
2474-JAN2026	01/26/2026	PIN KIT	11-32-10-53500 BLDG MAINT SUPPLIES-STR DEPT	13.99
2474-JAN2026	01/26/2026	HYDRAULIC HOSE PROTECTO	11-32-10-53400 OPERATING SUPPLIES-STREET DEPT	97.02
2474-JAN2026	01/26/2026	EAR PLUGS	11-32-10-53900 FIRST AID AND SAFETY SUPPLIES	84.00
2474-JAN2026	01/26/2026	ADOBE SUB	11-32-10-53400 OPERATING SUPPLIES-STREET DEPT	21.09
2474-JAN2026	01/26/2026	REGIONAL NEWS	11-32-10-53400 OPERATING SUPPLIES-STREET DEPT	24.99
2474-JAN2026	01/26/2026	VALVE-COLE TRUCK	11-32-10-52500 ST DEPT EQUIPMENT REPAIRS	1,100.65
2474-JAN2026	01/26/2026	TOOLS	11-32-13-54300 TREE, BRUSH & COMPOST OPER SUP	328.81
2474-JAN2026	01/26/2026	CONSTRUCTION SCREWW	11-32-10-53500 BLDG MAINT SUPPLIES-STR DEPT	85.02
2474-JAN2026	01/26/2026	DONUTS	11-32-10-53400 OPERATING SUPPLIES-STREET DEPT	27.98
2474-JAN2026	01/26/2026	NUT DRIVER BIT SET, KNOUT S	11-32-10-53500 BLDG MAINT SUPPLIES-STREET DEPT	22.57
2474-JAN2026	01/26/2026	BIT SET-BREAK ROOM	11-32-10-53990 ST DEPT MISCELLANEOUS EXP	45.35
2474-JAN2026	01/26/2026	ADHESIVE-BREAK ROOM	43-32-10-17020 DPW CAPITAL PROJECTS	19.73
2474-JAN2026	01/26/2026	PRESSURE SEND, VINYL TRO	43-32-10-17020 DPW CAPITAL PROJECTS	107.27
2474-JAN2026	01/26/2026	U BOLT	11-32-10-53510 VEHICLE/EQUIPMENT MAINTENANCE	20.96
4416-JAN 2026	01/26/2026	CLERK WMCA MBRSH	11-14-30-53320 CONFERENCES/TRAINING	65.00
4416-JAN 2026	01/26/2026	DPTY CLERK WMCA MBRSH	11-14-30-53320 CONFERENCES/TRAINING	65.00
4416-JAN 2026	01/26/2026	BUS CARDS	11-14-30-53100 OFFICE SUPPLIES	30.98
7126 JAN 2026	01/26/2026	WATER-STRATEGIC MEETING	11-14-20-53500 STRATEGIC PLAN	9.58
7126 JAN 2026	01/26/2026	COFFEE, CREAMER, CUPS	11-14-20-53500 STRATEGIC PLAN	37.66
7126 JAN 2026	01/26/2026	COFFEE, CREAMER, CUPS	11-14-20-53500 STRATEGIC PLAN	75.32
7126 JAN 2026	01/26/2026	COFFEE, CREAMER, CUPS	11-14-20-53500 STRATEGIC PLAN	37.66
7498-JAN 2026	01/26/2026	FIRE CHIEFS ASSOCIATION DU	11-22-00-53200 MEMBERSHIP DUES & FEES	110.00
7498-JAN 2026	01/26/2026	COMM GEAR-RADIO PROJECT	43-21-00-17010 PD CAPITAL PROJECTS	61.53
7498-JAN 2026	01/26/2026	WSFCA 2026 WINTER IN-SERVI	11-22-00-53320 FIRE DEPT CONFERENCES/SCHOOLS	195.00
7498-JAN 2026	01/26/2026	HARD HEAD VETERANS-RTF H	11-22-00-58100 EMS EQUIPMENT/SUPPLIES	370.00
7498-JAN 2026	01/26/2026	WSFIA 2026 MEMBERSHIP-HUB	11-22-00-53320 FIRE DEPT CONFERENCES/SCHOOLS	46.62
7498-JAN 2026	01/26/2026	CAATAILANTENNAS-RADIO PR	43-21-00-17010 PD CAPITAL PROJECTS	63.99
7498-JAN 2026	01/26/2026	TAYLOR TINS-LOCKER/CHICAG	11-22-00-58000 FIRE EQUIPMENT/SUPPLIES	171.00
7498-JAN 2026	01/26/2026	ADOBE SOFTWARE	11-22-00-54500 FIRE IT SERVICES	312.95
7498-JAN 2026	01/26/2026	ADORAMA-DRONE SOFTWARE	11-29-00-53400 EMER MGMT SUPPLIES	949.00
7498-JAN 2026	01/26/2026	HOME DEPOT-PVC PIPE, LUMB	11-22-00-54100 FIRE TRAINING PAY	846.95
7498-JAN 2026	01/26/2026	HOME DEPOT-CHARCOAL MAT	11-22-00-53500 BLDG MAINT SUPPLIES-FIREHOUSE	45.94
7498-JAN 2026	01/26/2026	HOME DEPOT-TARPS, ELECTRI	11-22-00-58000 FIRE EQUIPMENT/SUPPLIES	468.50
9347-JAN 2026	01/26/2026	POSTAGE	99-00-00-53120 LIBRARY POSTAGE	24.04
9347-JAN 2026	01/26/2026	WALGREENS-REIMB BY LIBRA	99-00-00-52110 GENERAL ADMIN EXPENSES	55.95
9347-JAN 2026	01/26/2026	ALDI-WATER, TEA, ETC	99-00-00-54150 LIBRARY PROGRAMS	19.74
9417-JAN 2026	01/26/2026	BUILDING PERMIT SEALS	11-24-00-53120 STATE SEALS	2,071.49
9417-JAN 2026	01/26/2026	WALMART-MEETING SUPPLIES	11-14-20-53500 STRATEGIC PLAN	60.73
9417-JAN 2026	01/26/2026	WALMART-MEETING SUPPLIES	11-14-20-53500 STRATEGIC PLAN	27.56
9417-JAN 2026	01/26/2026	VISTAPRINT-BUSINESS CARDS	11-24-00-53100 OFFICE SUPPLIES	30.98
9805-JAN 2026	01/26/2026	KALAHARI RESORT - CREDIT	11-52-00-53990 PARKS MISCELLANEOUS EXPENSES	95.00-
9805-JAN 2026	01/26/2026	WIS PARK AND REC CREDIT	11-52-00-53990 PARKS MISCELLANEOUS EXPENSES	300.00-
9805-JAN 2026	01/26/2026	MELGES CAR WASH-STAFF HO	11-10-00-51390 STAFF APPRECIATION	100.00
9805-JAN 2026	01/26/2026	LAKE GENEVA SPICE-STAFF H	11-10-00-51390 STAFF APPRECIATION	30.00
9805-JAN 2026	01/26/2026	LE COOKERY-STAFF HOLIDAY P	11-10-00-51390 STAFF APPRECIATION	30.00
9805-JAN 2026	01/26/2026	VAGARO ELEMENT MASSAGE-	11-10-00-51390 STAFF APPRECIATION	200.00
9805-JAN 2026	01/26/2026	INSPIRED COFFEE-STAFF HOLI	11-10-00-51390 STAFF APPRECIATION	32.90
9805-JAN 2026	01/26/2026	ILLINOIS PARK & REC ASSC	11-52-00-53990 PARKS MISCELLANEOUS EXPENSES	270.00
9805-JAN 2026	01/26/2026	WIS PARK AND REC	11-52-00-53990 PARKS MISCELLANEOUS EXPENSES	75.00
Total ELAN FINANCIAL SERVICES:				14,832.65
FINLEY, WENDY				
FINLEY-03022	03/02/2026	PROGRAM MILEAGE REIMBUR	99-00-00-54150 LIBRARY PROGRAMS	16.89

Invoice Number	Invoice Date	Description	GL Account and Title	Net Invoice Amount
Total FINLEY, WENDY:				16.89
GENEVA ONLINE INC				
1179984	02/01/2026	INTERNET	11-21-00-52210 PD TELEPHONE EXPENSE	78.00
Total GENEVA ONLINE INC:				78.00
GERLACH, KEITH				
GERLACH-030	03/02/2026	PROGRAM MILEAGE REIMBUR	99-00-00-54150 LIBRARY PROGRAMS	33.57
Total GERLACH, KEITH:				33.57
GLEN FERN CONSTRUCTION LLC				
24657000-2	03/09/2026	PROJECT 24657000-PYMT 2	43-99-00-17010 LIBRARY CAPITAL PROJECTS	207,941.89
Total GLEN FERN CONSTRUCTION LLC:				207,941.89
HINZPETER, SEAN				
03/09/26	03/09/2026	ASP ANNUAL TRAINING CONF-0	11-21-00-53310 PD MEALS & LODGING	44.00
Total HINZPETER, SEAN:				44.00
INITIAL DESIGNS				
2065	03/05/2026	EMBROIDERED KNIT CAPS-PU	11-22-00-52175 2% FIRE DUES EXPENSES	436.50
Total INITIAL DESIGNS:				436.50
KEITH'S AUTO BODY INC				
55767	12/30/2025	FORD 4D UTV POLICE VEHICLE	11-21-00-52450 EQUIPMENT REPAIRS-INS CLAIMS	7,058.95
Total KEITH'S AUTO BODY INC:				7,058.95
KENOSHA CIRCUIT COURT				
WARRANT-SC	03/05/2026	WARRANT# /24CM996 SCHUST	11-12-00-24280 COURT FINES-OTHER	500.00
WARRANT-TA	03/05/2026	WARRANT#/24CM1654 TAPIA B	11-12-00-24280 COURT FINES-OTHER	750.00
Total KENOSHA CIRCUIT COURT:				1,250.00
LAKE GENEVA JAYCEES				
01/24/26	03/09/2026	RIVIERA DEPOSIT REFUND 01/2	40-55-10-23530 SECURITY DEPOSITS-UPPER RIV	1,000.00
Total LAKE GENEVA JAYCEES:				1,000.00
LEE ADVERTISING				
6500615	02/26/2026	BRIDAL GUIDE ORDER 153960-	47-70-00-57155 TOURISM MUNICIPAL DEVELOPMENT	500.00
Total LEE ADVERTISING:				500.00
NELSON, BRANDI				
03/12/26	03/12/2026	REIMB TUTION/BOOKS-NELSO	11-21-00-54150 TUITION & BOOKS PER CONTRACT	1,497.02
Total NELSON, BRANDI:				1,497.02
NEW EARTH STRATEGIES LLC				
03/15/26	03/10/2026	BI-WEEKLY-HILMOOR COORDI	11-62-01-59900 OTHER PROFESSIONAL SERVICES	1,500.00

Invoice Number	Invoice Date	Description	GL Account and Title	Net Invoice Amount
Total NEW EARTH STRATEGIES LLC:				1,500.00
PRO-TECH SALES				
INV5591	03/09/2026	DOOR RAM, BATTERY GREENLI	11-22-00-52175 2% FIRE DUES EXPENSES	10,055.00
Total PRO-TECH SALES:				10,055.00
RHYME BUSINESS PRODUCTS				
41392036	03/02/2026	RHYME COPIER - MARCH26	11-22-00-53400 OPERATING SUPPLIES	227.11
Total RHYME BUSINESS PRODUCTS:				227.11
SECURIAN FINANCIAL GROUP INC				
APRIL-2026-LI	03/11/2026	APRIL 2026	61-00-00-92630 LIFE INSURANCE EXPENSE	9.68
APRIL-2026-LI	03/11/2026	APRIL 2026	62-00-00-92630 LIFE INSURANCE EXPENSE	14.05
APRIL-2026-LI	03/11/2026	APRIL 2026	11-00-00-21340 LIFE INSURANCE DEDUCTION	217.16
APRIL-LIFE-20	03/11/2026	APRIL 2026	11-10-00-51330 LIFE INSURANCE POLICY FEES	275.64
APRIL-LIFE-20	03/11/2026	APRIL 2026	11-00-00-21340 LIFE INSURANCE DEDUCTION	3,579.94
Total SECURIAN FINANCIAL GROUP INC:				4,096.47
SPRINGHORN, KARL				
03/09/26	03/09/2026	ASP ANNUAL TRAINING CONF-0	11-21-00-53310 PD MEALS & LODGING	44.00
Total SPRINGHORN, KARL:				44.00
US BANK				
3341-JAN-FEB	03/09/2026	WALMART-PHONE ACCESSORI	11-21-00-52210 PD TELEPHONE EXPENSE	122.13
3341-JAN-FEB	03/09/2026	AMAZON-SQUAD-WEATHERTE	50-21-00-58000 POLICE EQUIPMENT PURCHASES	277.90
3341-JAN-FEB	03/09/2026	USPS-MAIL BLOOD	11-21-00-53120 PD POSTAGE	19.90
3341-JAN-FEB	03/09/2026	ELITE APPAREL-HANSEN	11-21-00-51380 PD UNIFORM ALLOWANCE	269.00
3341-JAN-FEB	03/09/2026	AMAZON-TIETZ	11-21-00-51380 PD UNIFORM ALLOWANCE	92.67
3341-JAN-FEB	03/09/2026	AMAZON-WISNIEWSKI	11-21-00-51380 PD UNIFORM ALLOWANCE	129.99
3341-JAN-FEB	03/09/2026	AMAZON-RED DO SCREW VARI	11-21-00-54100 PD TRAINING EXPENSES	44.97
3341-JAN-FEB	03/09/2026	5.11 TIETZ	11-21-00-51380 PD UNIFORM ALLOWANCE	189.90
3341-JAN-FEB	03/09/2026	USPS-MAIL BLOOD	11-21-00-53120 PD POSTAGE	20.60
3341-JAN-FEB	03/09/2026	DOCTOR TACO CORP-DEPT MT	11-21-00-53990 PD MISCELLANEOUS EXP	610.00
3341-JAN-FEB	03/09/2026	DOCTOR TACO CORP-DEPT MT	11-21-00-54100 PD TRAINING EXPENSES	610.00
3341-JAN-FEB	03/09/2026	WEST MARINE PRO-BOSTON W	43-21-00-17010 PD CAPITAL PROJECTS	278.39
3341-JAN-FEB	03/09/2026	WEST MARINE PRO-BOSTON W	43-21-00-17010 PD CAPITAL PROJECTS	644.06
3341-JAN-FEB	03/09/2026	WEST MARINE PRO-BOSTON W	43-21-00-17010 PD CAPITAL PROJECTS	1,288.12
3341-JAN-FEB	03/09/2026	WI ASSOC WOMEN - WOMENS	11-21-00-54100 PD TRAINING EXPENSES	500.00
3341-JAN-FEB	03/09/2026	MIDSTATE ORGANIZED CRIME I	11-21-00-53800 PD SPECIAL INVESTIGATIONS	200.00
3341-JAN-FEB	03/09/2026	WI POLICE CHIEF ASSOC-ANN	11-21-00-54100 PD TRAINING EXPENSES	150.00
3341-JAN-FEB	03/09/2026	WI POLICE CHIEF ASSOC-CHIE	11-21-00-54100 PD TRAINING EXPENSES	300.00
3341-JAN-FEB	03/09/2026	WI ASSOC WOMEN - WOMENS	11-21-00-54100 PD TRAINING EXPENSES	250.00
3341-JAN-FEB	03/09/2026	AMAZON-TIETZ	11-21-00-51380 PD UNIFORM ALLOWANCE	51.52
3341-JAN-FEB	03/09/2026	AMAZON-HALL	11-21-00-51380 PD UNIFORM ALLOWANCE	316.34
3341-JAN-FEB	03/09/2026	AMAZON-HALL	11-21-00-51380 PD UNIFORM ALLOWANCE	118.40
3341-JAN-FEB	03/09/2026	AMAZON-BORO	11-21-00-51380 PD UNIFORM ALLOWANCE	39.65
3341-JAN-FEB	03/09/2026	KOHLER RESORT	11-21-00-53310 PD MEALS & LODGING	114.49
3341-JAN-FEB	03/09/2026	J. ROBERTS-GRITZNER	11-21-00-51380 PD UNIFORM ALLOWANCE	538.04
3341-JAN-FEB	03/09/2026	ILEARN TO BOAT WARD-BOATE	11-21-00-54100 PD TRAINING EXPENSES	64.30
3341-JAN-FEB	03/09/2026	WEST MARINE PRO-BOSTON W	43-21-00-17010 PD CAPITAL PROJECTS	178.02
3341-JAN-FEB	03/09/2026	PAYPAL-SWAT CONFERENCE	11-21-00-54100 PD TRAINING EXPENSES	282.38
3341-JAN-FEB	03/09/2026	AMAZON-FROGGATT	11-21-00-51380 PD UNIFORM ALLOWANCE	54.96

Invoice Number	Invoice Date	Description	GL Account and Title	Net Invoice Amount
3341-JAN-FEB	03/09/2026	USPS-MAIL BLOOD	11-21-00-53120 PD POSTAGE	20.35
3341-JAN-FEB	03/09/2026	AMAZON-FROGGATT	11-21-00-51380 PD UNIFORM ALLOWANCE	315.93
3341-JAN-FEB	03/09/2026	BIGFOOT HOLSTERS-FIREARM	11-21-00-58100 EQUIPMENT OUTLAY	261.50
3341-JAN-FEB	03/09/2026	AMAZON-TRIPP	11-21-00-51380 PD UNIFORM ALLOWANCE	20.88
3341-JAN-FEB	03/09/2026	HOME DEPOT-EV TECH SUPPLI	11-21-00-54100 PD TRAINING EXPENSES	45.96
3341-JAN-FEB	03/09/2026	PAYPAL-SWAT CONFERENCE	11-21-00-54100 PD TRAINING EXPENSES	282.38
3341-JAN-FEB	03/09/2026	AMAZON-NETTESHEIM	11-21-00-51380 PD UNIFORM ALLOWANCE	55.00
3341-JAN-FEB	03/09/2026	MIDWAY USA-HINZPETER	11-21-00-51380 PD UNIFORM ALLOWANCE	590.55
3341-JAN-FEB	03/09/2026	HOME DEPOT-DRILL BITS	11-21-00-53420 PD SPECIAL EQUIPMENT	21.97
3341-JAN-FEB	03/09/2026	WALMART-HANDWARMERS	11-21-00-53990 PD MISCELLANEOUS EXP	45.12
3341-JAN-FEB	03/09/2026	SHERATON-TRAINING	11-21-00-53310 PD MEALS & LODGING	121.28
3341-JAN-FEB	03/09/2026	NEXT DOOR PUB-WINTERFEST	11-21-00-53990 PD MISCELLANEOUS EXP	60.01
3341-JAN-FEB	03/09/2026	WILDERNESS RESORT	11-21-00-53310 PD MEALS & LODGING	196.00
3341-JAN-FEB	03/09/2026	AMAZON-NETTESHEIM	11-21-00-51380 PD UNIFORM ALLOWANCE	19.58
3341-JAN-FEB	03/09/2026	DRUNK BUSTERS-GOGGLES	11-21-00-53160 CRIME PREVENTION PROGRAM	238.00
3341-JAN-FEB	03/09/2026	ILEARNTOBOAT- GRITZNER BO	11-21-00-54100 PD TRAINING EXPENSES	64.30
3341-JAN-FEB	03/09/2026	KALAHARI-CHIEF CONFERENC	11-21-00-53310 PD MEALS & LODGING	258.08
3341-JAN-FEB	03/09/2026	KALAHARI-CHIEF CONFERENC	11-21-00-53310 PD MEALS & LODGING	258.08
3341-JAN-FEB	03/09/2026	AMAZON-GARAGE DOOR OPE	11-21-00-53610 PD EQUIP MAINT SERV COSTS	112.30
3341-JAN-FEB	03/09/2026	FAMOUS DAVES-CHIEF CONF	11-21-00-53310 PD MEALS & LODGING	78.34
3341-JAN-FEB	03/09/2026	KALAHARI-CHIEF CONFERENC	11-21-00-53310 PD MEALS & LODGING	51.51
3341-JAN-FEB	03/09/2026	AMAZON TRIPP	11-21-00-51380 PD UNIFORM ALLOWANCE	607.21
3341-JAN-FEB	03/09/2026	AMAZON TRIPP	11-21-00-51380 PD UNIFORM ALLOWANCE	105.49
Total US BANK:				11,585.55
VERIZON WIRELESS				
6136867104	02/23/2026	PHONE - FEB26	11-22-00-52210 FIRE TELEPHONE EXPENSE	38.01
Total VERIZON WIRELESS:				38.01
WI DEPT OF NATURAL RESOURCES				
BOAT PATROL	03/05/2026	BOAT PATROL TRAINING-GRITZ	11-21-00-54100 PD TRAINING EXPENSES	40.00
Total WI DEPT OF NATURAL RESOURCES:				40.00
Grand Totals:				312,004.51

Invoice Number	Invoice Date	Description	GL Account and Title	Net Invoice Amount
----------------	--------------	-------------	----------------------	--------------------

Dated: _____

Mayor: _____

City Council: _____

City Recorder: _____

Report Criteria:

Detail report.

Invoices with totals above \$0.00 included.

Paid and unpaid invoices included.

Invoice.Batch = "PD03042026","03062026","03102026","03112026","03132026","03122026"

Report Criteria:

Detail report.
 Invoices with totals above \$0.00 included.
 Only unpaid invoices included.
 Invoice.Batch = "03182026","03182026A"
 Invoice.Detail.GL account (2 Characters) = {<>} "61"
 Invoice.Detail.GL account (2 Characters) = {<>} "62"

Invoice Number	Invoice Date	Description	GL Account and Title	Net Invoice Amount
A+ GRAPHICS & PRINTING				
51568	03/09/2026	STRATEGIC PLAN-POSTERS	11-14-20-53500 STRATEGIC PLAN	342.00
Total A+ GRAPHICS & PRINTING:				342.00
ALL OUT TRUCKING LLC				
1328	02/01/2026	SNOW CONTRACT HAULING SE	11-32-12-52200 CONTRACT HAULING SERVICES	1,380.00
Total ALL OUT TRUCKING LLC:				1,380.00
ALL PRO CLEANING SYSTEMS				
6010	03/09/2026	5 WEEK CLEANING-FEB-MAR 2	99-00-00-53600 LIBRARY BLDG MAINT SERVICES	2,990.00
Total ALL PRO CLEANING SYSTEMS:				2,990.00
ANGELO JR, DEAN CARMEN				
BN743168-6	02/23/2026	ANGELO_REFUND BN743168-6	11-12-00-45100 COURT PENALTIES & FINES	346.70
Total ANGELO JR, DEAN CARMEN:				346.70
ASSOCIATED APPRAISAL CONSULTANTS INC				
185096	03/01/2026	MAR 2026 ASSMT SRVCS	11-15-40-52100 ASSESSOR CONTRACTED SERVICES	3,750.00
Total ASSOCIATED APPRAISAL CONSULTANTS INC:				3,750.00
AURORA MEDICAL GROUP				
153209	03/01/2026	CONSORTIUM,ANNUAL	11-32-10-52050 DRUG AND MEDICAL TESTING	100.00
153209	03/01/2026	JOHNSON,SARAH-DRUG SCRE	42-34-50-53990 PARKING MISC EXPENSES	111.00
153209	03/01/2026	BLOCK,RITA-EXAM, DRUG SCR	42-34-50-53990 PARKING MISC EXPENSES	111.00
153209	03/01/2026	QUANDT,TREVOR-DRUG TEST,	11-24-00-53990 MISCELLANEOUS EXPENSES	111.00
153209	03/01/2026	BENNET, CHRISTOPHER-DRUG	11-14-20-53990 MISCELLANEOUS EXPENSES	111.00
Total AURORA MEDICAL GROUP:				544.00
BATZNER PEST CONTROL				
91623315	02/20/2026	PEST CONTROL	40-55-20-53600 RIV MAINTENANCE SERVICE COSTS	188.91
91626999	02/26/2026	PEST CONTROL-FEB 2026	11-16-10-53600 CITY HALL MAINT SERVICE COSTS	97.25
Total BATZNER PEST CONTROL:				286.16
BEAR CLAW TRUCKING LLC				
0035	03/03/2026	COMPOST HAULING	11-32-12-52200 CONTRACT HAULING SERVICES	1,062.50
Total BEAR CLAW TRUCKING LLC:				1,062.50
BUMPER TO BUMPER				
662-509654	03/03/2026	DUST COVER-TRAILER	11-32-10-52500 ST DEPT EQUIPMENT REPAIRS	3.99
662-509902	03/03/2026	CONNECTOR KIT	11-32-10-52500 ST DEPT EQUIPMENT REPAIRS	28.89

Invoice Number	Invoice Date	Description	GL Account and Title	Net Invoice Amount
Total BUMPER TO BUMPER:				32.88
CDW GOVERNMENT				
AI2NT2S	02/24/2026	PHONE SYSTEM	50-00-00-58000 MISC/COMP EQUIP PURCHASES	360.00
Total CDW GOVERNMENT:				360.00
CINTAS				
5321742009	03/04/2026	FIRST AID RESTOCK	11-32-10-53900 FIRST AID AND SAFETY SUPPLIES	104.42
Total CINTAS:				104.42
CITY ELECTRIC SUPPLY-MA				
LKG/113139	03/04/2026	PULL TAPE	11-34-10-52610 STREET LIGHTS REPAIRS	133.64
Total CITY ELECTRIC SUPPLY-MA:				133.64
COLUMN SOFTWARE PBC				
C2330076-012	02/11/2026	TYPE E-SPR 26	11-14-30-53110 BALLOTS/OTHER ELECTION EXPENSE	19.92
C2330076-012	02/11/2026	TYPE E-SPR 26	11-00-00-13910 A/R BILL OUTS	179.28
C2330076-012	02/12/2026	HORT HALL ALC LIC	11-10-00-53140 OFFICIAL PUBLICATIONS & NOTICE	20.71
C2330076-012	02/24/2026	CC MIN 02 09 26	11-10-00-53140 OFFICIAL PUBLICATIONS & NOTICE	141.01
Total COLUMN SOFTWARE PBC:				360.92
DECKARD TECHNOLOGIES INC				
2389	01/27/2026	B&Z SOFTWARE-STR	11-14-20-54500 COMPUTER IT SVC & EQUIPMENT	21,525.00
Total DECKARD TECHNOLOGIES INC:				21,525.00
DEKIND COMPUTER CONSULTANTS				
44533	03/02/2026	IT SVC APR	11-14-20-54500 COMPUTER IT SVC & EQUIPMENT	6,347.00
44712	03/04/2026	HP ZBOOK, HP USB-C DOCK-CI	50-00-00-58000 MISC/COMP EQUIP PURCHASES	2,306.58
Total DEKIND COMPUTER CONSULTANTS:				8,653.58
DUNN LUMBER				
2321912	02/27/2026	NUTS&BOLTS-CHIPPER	11-32-10-53510 VEHICLE/EQUIPMENT MAINTENANCE	4.68
2324383	03/02/2026	DAWN DISH SOAP	11-32-10-53500 BLDG MAINT SUPPLIES-STR DEPT	4.99
2325256	03/03/2026	NUTS&BOLTS,SPRAY PAINT	11-32-10-52500 ST DEPT EQUIPMENT REPAIRS	17.38
2327372	03/05/2026	SPRAY PAINT- PARKS	11-62-01-59520 GROUNDS MAINTENANCE SUPPLIES	37.95
2328672	03/06/2026	NUTS & BOLTS	11-32-10-52500 ST DEPT EQUIPMENT REPAIRS	8.94
2329938	03/09/2026	NUTS & BOLTS	11-32-10-53510 VEHICLE/EQUIPMENT MAINTENANCE	5.56
2329938	03/09/2026	MAILBOXES	11-32-12-53400 OPERATING SUPPLIES-SNOW & ICE	84.96
2330588	03/09/2026	NUTS & BOLTS	11-32-10-52500 ST DEPT EQUIPMENT REPAIRS	16.38
2331442	03/10/2026	LIGHTS- BATHROOM	11-52-00-53500 BLDG MAINT SUPPLIES-PARKS	29.98
2331697	03/10/2026	METAL TRIG NOZZLE, INSECT F	11-52-00-52410 BLDG MAINT&REPAIR-PARKS	41.96
2332147	03/10/2026	INSECT FOGGER,NUTS AND B	11-52-00-52410 BLDG MAINT&REPAIR-PARKS	15.24
Total DUNN LUMBER:				268.02
FORWARD TS LTD				
AR277382	03/09/2026	SHARP CONTRACT-FEB 2026	11-13-00-53100 CITY ATTORNEY OFFICE SUPPLIES	14.00
Total FORWARD TS LTD:				14.00

Invoice Number	Invoice Date	Description	GL Account and Title	Net Invoice Amount
GAPPA SECURITY SOLUTIONS				
33363	03/06/2026	DEADBOLT, SINGLE CYLINDER	11-52-00-52410 BLDG MAINT&REPAIR-PARKS	500.15
Total GAPPA SECURITY SOLUTIONS:				500.15
GENERAL CODE				
PG000045461	02/28/2026	CODE SUPPLMNT 34	11-14-30-52180 MUNICIPAL CODIFICATION	750.00
Total GENERAL CODE:				750.00
GIRAFFE ELECTRIC II INC				
26-0246	03/04/2026	TROUBLESHOOT WATER HEAT	99-00-00-53600 LIBRARY BLDG MAINT SERVICES	270.00
Total GIRAFFE ELECTRIC II INC:				270.00
GORDON FLESCH CO INC				
IN15530774	03/05/2026	COPIES-01/30/26-03/01/26	99-00-00-55320 LIBRARY EQUIP LEASES & MAINT	235.33
Total GORDON FLESCH CO INC:				235.33
GREAT AMERICA FINANCIAL SERVICES CORP				
41367488	02/25/2026	COPIER MARCH 2026	11-13-00-53100 CITY ATTORNEY OFFICE SUPPLIES	73.85
Total GREAT AMERICA FINANCIAL SERVICES CORP:				73.85
HEIN ELECTRIC SUPPLY COMPANY				
S100391830.0	03/04/2026	WIRE	11-34-10-52610 STREET LIGHTS REPAIRS	1,556.46
Total HEIN ELECTRIC SUPPLY COMPANY:				1,556.46
HEYER TRUE VALUE				
391954	03/11/2026	THREAD CUT OIL	11-32-10-53400 OPERATING SUPPLIES-STREET DEPT	22.99
Total HEYER TRUE VALUE:				22.99
INGRAM BOOK COMPANY				
92497740	12/04/2025	ADULT BOOKS	99-00-00-54100 LIBRARY ADULT MATERIALS	17.30
92497740	12/04/2025	MATERIALS	99-00-00-55120 LIBRARY PROCESSING SUPPLIES	1.63
92497741	12/04/2025	ADULT BOOKS	99-00-00-54100 LIBRARY ADULT MATERIALS	100.95
92497741	12/04/2025	MATERIALS	99-00-00-55120 LIBRARY PROCESSING SUPPLIES	9.78
92497742	12/04/2025	ADULT BOOKS	99-00-00-54100 LIBRARY ADULT MATERIALS	17.82
92497742	12/04/2025	MATERIALS	99-00-00-55120 LIBRARY PROCESSING SUPPLIES	1.63
92497743	12/04/2025	ADULT BOOKS	99-00-00-54100 LIBRARY ADULT MATERIALS	15.55
92497743	12/04/2025	MATERIALS	99-00-00-55120 LIBRARY PROCESSING SUPPLIES	1.63
92497744	12/04/2025	ADULT BOOKS	99-00-00-54100 LIBRARY ADULT MATERIALS	19.44
92497744	12/04/2025	PROCESSING MATERIALS	99-00-00-55120 LIBRARY PROCESSING SUPPLIES	1.63
92497745	12/04/2025	YOUTH BOOKS	99-00-00-54110 LIBRARY YOUTH MATERIALS	22.34
92497745	12/04/2025	PROCESSING MATERIALS	99-00-00-55120 LIBRARY PROCESSING SUPPLIES	3.26
92497746	12/04/2025	YOUTH BOOKS	99-00-00-54110 LIBRARY YOUTH MATERIALS	10.59
92497746	12/04/2025	MATERIALS	99-00-00-55120 LIBRARY PROCESSING SUPPLIES	1.63
92497747	12/04/2025	ADULT COLLECTION	99-00-00-54100 LIBRARY ADULT MATERIALS	26.94
92497748	12/04/2025	ADULT BOOKS	99-00-00-54100 LIBRARY ADULT MATERIALS	40.02
92497748	12/04/2025	MATERIALS	99-00-00-55120 LIBRARY PROCESSING SUPPLIES	3.26
93409345	01/05/2026	ADULT BOOKS	99-00-00-54100 LIBRARY ADULT MATERIALS	21.13
93409345	01/05/2026	MATERIALS	99-00-00-55120 LIBRARY PROCESSING SUPPLIES	1.63
93409346	01/05/2026	YOUTH BOOKS	99-00-00-54110 LIBRARY YOUTH MATERIALS	60.89
93409346	01/05/2026	MATERIALS	99-00-00-55120 LIBRARY PROCESSING SUPPLIES	3.26

Invoice Number	Invoice Date	Description	GL Account and Title	Net Invoice Amount
93409347	01/05/2026	ADULT BOOKS	99-00-00-54100 LIBRARY ADULT MATERIALS	93.48
93409347	01/05/2026	MATERIALS	99-00-00-55120 LIBRARY PROCESSING SUPPLIES	4.89
94059621	01/29/2026	ADULT BOOKS	99-00-00-54100 LIBRARY ADULT MATERIALS	36.00
94059621	01/29/2026	MATERIALS	99-00-00-55120 LIBRARY PROCESSING SUPPLIES	3.26
94083877	01/29/2026	ADULT BOOKS- CREDIT	99-00-00-54100 LIBRARY ADULT MATERIALS	2.97-
94821192	02/27/2026	ADULT BOOKS	99-00-00-54100 LIBRARY ADULT MATERIALS	32.89
94821192	02/27/2026	MATERIALS	99-00-00-55120 LIBRARY PROCESSING SUPPLIES	3.26
94821193	02/27/2026	ADULT BOOKS	99-00-00-54100 LIBRARY ADULT MATERIALS	38.68
94821193	02/27/2026	PROCESSING MATERIALS	99-00-00-55120 LIBRARY PROCESSING SUPPLIES	3.26
94821194	02/27/2026	ADULT BOOKS	99-00-00-54100 LIBRARY ADULT MATERIALS	13.34
94821194	02/27/2026	PROCESSING MATERIALS	99-00-00-55120 LIBRARY PROCESSING SUPPLIES	1.63
94821195	02/27/2026	YOUTH BOOKS	99-00-00-54110 LIBRARY YOUTH MATERIALS	138.31
94821195	02/27/2026	PROCESSING MATERIALS	99-00-00-55120 LIBRARY PROCESSING SUPPLIES	21.19
94821196	02/27/2026	ADULT BOOKS	99-00-00-54100 LIBRARY ADULT MATERIALS	18.95
94821196	02/27/2026	PROCESSING MATERIALS	99-00-00-55120 LIBRARY PROCESSING SUPPLIES	1.63
94821197	02/27/2026	ADULT BOOKS	99-00-00-54100 LIBRARY ADULT MATERIALS	17.55
94821197	02/27/2026	PROCESSING MATERIALS	99-00-00-55120 LIBRARY PROCESSING SUPPLIES	1.63
94821198	02/27/2026	MATERIALS	99-00-00-55120 LIBRARY PROCESSING SUPPLIES	1.63
94821198	02/27/2026	YOUTH BOOKS	99-00-00-54110 LIBRARY YOUTH MATERIALS	11.84
94880775	03/02/2026	ADULT BOOKS- CREDIT	99-00-00-54100 LIBRARY ADULT MATERIALS	1.63-
94893762	03/03/2026	ADULT BOOKS	99-00-00-54100 LIBRARY ADULT MATERIALS	110.69
94893762	03/03/2026	PROCESSING MATERIALS	99-00-00-55120 LIBRARY PROCESSING SUPPLIES	13.93
94893763	03/03/2026	ADULT BOOKS	99-00-00-54100 LIBRARY ADULT MATERIALS	16.64
94893763	03/03/2026	PROCESSING MATERIALS	99-00-00-55120 LIBRARY PROCESSING SUPPLIES	1.99
94893764	03/03/2026	ADULT BOOKS	99-00-00-54100 LIBRARY ADULT MATERIALS	41.04
94893764	03/03/2026	PROCESSING MATERIALS	99-00-00-55120 LIBRARY PROCESSING SUPPLIES	3.98
94893765	03/03/2026	ADULT BOOKS	99-00-00-54100 LIBRARY ADULT MATERIALS	19.45
94893765	03/03/2026	PROCESSING MATERIALS	99-00-00-55120 LIBRARY PROCESSING SUPPLIES	1.99
94893766	03/03/2026	ADULT BOOKS	99-00-00-54100 LIBRARY ADULT MATERIALS	39.24
94893766	03/03/2026	PROCESSING MATERIALS	99-00-00-55120 LIBRARY PROCESSING SUPPLIES	3.98
94893767	03/03/2026	ADULT BOOKS	99-00-00-54100 LIBRARY ADULT MATERIALS	16.08
94893767	03/03/2026	PROCESSING MATERIALS	99-00-00-55120 LIBRARY PROCESSING SUPPLIES	1.99
94893768	03/03/2026	YOUTH BOOKS	99-00-00-54110 LIBRARY YOUTH MATERIALS	95.56
94893768	03/03/2026	PROCESSING MATERIALS	99-00-00-55120 LIBRARY PROCESSING SUPPLIES	15.92
94934573	03/04/2026	ADULT BOOKS	99-00-00-54100 LIBRARY ADULT MATERIALS	80.84
94934573	03/04/2026	PROCESSING MATERIALS	99-00-00-55120 LIBRARY PROCESSING SUPPLIES	9.95
94934574	03/04/2026	ADULT BOOKS	99-00-00-54100 LIBRARY ADULT MATERIALS	130.16
94934574	03/04/2026	PROCESSING MATERIALS	99-00-00-55120 LIBRARY PROCESSING SUPPLIES	13.93
94934575	03/04/2026	ADULT BOOKS	99-00-00-54100 LIBRARY ADULT MATERIALS	37.48
94934575	03/04/2026	PROCESSING MATERIALS	99-00-00-55120 LIBRARY PROCESSING SUPPLIES	3.98
94934576	03/04/2026	ADULT BOOKS	99-00-00-54100 LIBRARY ADULT MATERIALS	17.73
94934576	03/04/2026	PROCESSING MATERIALS	99-00-00-55120 LIBRARY PROCESSING SUPPLIES	1.99
94934577	03/04/2026	YOUTH BOOKS	99-00-00-54110 LIBRARY YOUTH MATERIALS	92.25
94934577	03/04/2026	PROCESSING MATERIALS	99-00-00-55120 LIBRARY PROCESSING SUPPLIES	17.91
94934578	03/04/2026	ADULT BOOKS	99-00-00-54100 LIBRARY ADULT MATERIALS	17.11
94934578	03/04/2026	PROCESSING MATERIALS	99-00-00-55120 LIBRARY PROCESSING SUPPLIES	1.99
94934579	03/04/2026	YOUTH BOOKS	99-00-00-54110 LIBRARY YOUTH MATERIALS	12.82
94934579	03/04/2026	PROCESSING MATERIALS	99-00-00-55120 LIBRARY PROCESSING SUPPLIES	1.99
94981718	03/05/2026	YOUTH BOOKS	99-00-00-54110 LIBRARY YOUTH MATERIALS	48.88
94981718	03/05/2026	PROCESSING MATERIALS	99-00-00-55120 LIBRARY PROCESSING SUPPLIES	3.98
94999140	03/06/2026	ADULT BOOKS	99-00-00-54100 LIBRARY ADULT MATERIALS	16.20
94999140	03/06/2026	MATERIALS	99-00-00-55120 LIBRARY PROCESSING SUPPLIES	1.99
94999141	03/06/2026	MATERIALS	99-00-00-55120 LIBRARY PROCESSING SUPPLIES	1.99
94999141	03/06/2026	ADULT BOOKS	99-00-00-54100 LIBRARY ADULT MATERIALS	16.13
94999142	03/06/2026	ADULT BOOKS	99-00-00-54100 LIBRARY ADULT MATERIALS	20.59
94999142	03/06/2026	PROCESSING MATERIALS	99-00-00-55120 LIBRARY PROCESSING SUPPLIES	1.99
94999143	03/06/2026	ADULT BOOKS	99-00-00-54100 LIBRARY ADULT MATERIALS	66.36

Invoice Number	Invoice Date	Description	GL Account and Title	Net Invoice Amount
94999143	03/06/2026	MATERIALS	99-00-00-55120 LIBRARY PROCESSING SUPPLIES	7.96
94999144	03/06/2026	YOUTH BOOKS	99-00-00-54110 LIBRARY YOUTH MATERIALS	65.94
94999144	03/06/2026	MATERIALS	99-00-00-55120 LIBRARY PROCESSING SUPPLIES	11.94
94999145	03/06/2026	ADULT BOOKS	99-00-00-54100 LIBRARY ADULT MATERIALS	18.09
94999145	03/06/2026	MATERIALS	99-00-00-55120 LIBRARY PROCESSING SUPPLIES	1.99
94999146	03/06/2026	ADULT BOOKS	99-00-00-54100 LIBRARY ADULT MATERIALS	20.01
94999146	03/06/2026	MATERIALS	99-00-00-55120 LIBRARY PROCESSING SUPPLIES	1.99
Total INGRAM BOOK COMPANY:				1,949.77
ITU ABSORBTECH INC				
8688844	02/27/2026	MAT SERVICE	11-32-10-53600 ST DEPT BLDG MAINT SERV COSTS	147.07
8688845	02/27/2026	MAT SERVICE-MAR 2026	11-16-10-53600 CITY HALL MAINT SERVICE COSTS	184.75
Total ITU ABSORBTECH INC:				331.82
JKL SERVICES LLC				
022326	02/23/2026	COMPOST HAUL	11-32-12-52200 CONTRACT HAULING SERVICES	1,125.00
030226	03/02/2026	COMPOST HAUL	11-32-12-52200 CONTRACT HAULING SERVICES	1,062.50
Total JKL SERVICES LLC:				2,187.50
JOHNS DISPOSAL SERVICE				
2040646	02/28/2026	CEMETERY DUMPSTER	48-00-00-53600 CEM MAINT SERVICE EXP	73.00
2050917	03/05/2026	RECYCLE-SVC-MAR 2026	11-36-00-52970 SOLID WASTE-RECYCLING	23,051.32
2050917	03/05/2026	GARBAGE-SVC MAR 2026	11-36-00-52940 SOLID WASTE-RESIDENTIAL	42,026.04
Total JOHNS DISPOSAL SERVICE:				65,150.36
JOHNSON CONTROLS FIRE PROTECTION LP				
53834514	02/26/2026	REPLACED 4 SPRINKLER HEAD	11-51-10-52400 MUSEUM-MAINTENANCE & REPAIRS	2,365.00
Total JOHNSON CONTROLS FIRE PROTECTION LP:				2,365.00
KAPUR & ASSOCIATES INC				
137965	01/27/2026	VETERANS PARK RFP	43-52-00-53000 PARKS AND REC CAPITAL PROJECTS	540.00
138793	03/04/2026	VISTAS SHODEEN	11-00-00-13910 A/R BILL OUTS	525.00
138794	03/04/2026	SYMPHONY BAY PH 7	11-00-00-13910 A/R BILL OUTS	290.70
138797	03/04/2026	COVENANT HABOR	11-00-00-13910 A/R BILL OUTS	437.50
138799	03/04/2026	GIS UPDATES	11-30-00-52160 CITY ENGINEERING FEES	60.00
138800	03/04/2026	BRICK MAPPING-PROJECT SU	11-30-00-52160 CITY ENGINEERING FEES	889.00
138801	03/04/2026	CENTER INTERCHANGE N	11-00-00-13910 A/R BILL OUTS	175.00
138802	03/04/2026	1624 N LSD	11-00-00-13910 A/R BILL OUTS	175.00
138803	03/04/2026	830 WILLIAMS ST	11-00-00-13910 A/R BILL OUTS	87.50
138805	03/04/2026	GIS UPDATES	11-30-00-52160 CITY ENGINEERING FEES	1,920.00
138806	03/04/2026	MEETINGS	11-30-00-52160 CITY ENGINEERING FEES	1,225.85
Total KAPUR & ASSOCIATES INC:				6,325.55
LAKE GENEVA UTILITY				
1630 LASALLE	01/28/2026	1630 LASALLE ST`	45-00-00-24520 WATER IMPACT FEES	1,690.00
1630 LASALLE	01/28/2026	1630 LASALLE ST`	45-00-00-24530 SEWER IMPACT FEES	1,865.00
1760 LASALLE	01/27/2026	1760 LASALLE ST	45-00-00-24520 WATER IMPACT FEES	1,690.00
1760 LASALLE	01/27/2026	1760 LASALLE ST	45-00-00-24530 SEWER IMPACT FEES	1,865.00
304 EVAN DR	01/14/2026	304 EVAN DR	45-00-00-24520 WATER IMPACT FEES	2,530.00
304 EVAN DR	01/14/2026	304 EVAN DR	45-00-00-24530 SEWER IMPACT FEES	4,103.00
407 EVAN DR	01/19/2026	407 EVAN DR	45-00-00-24520 WATER IMPACT FEES	2,530.00

Invoice Number	Invoice Date	Description	GL Account and Title	Net Invoice Amount
407 EVAN DR	01/19/2026	407 EVAN DR	45-00-00-24530 SEWER IMPACT FEES	4,103.00
Total LAKE GENEVA UTILITY:				20,376.00
LANGE ENTERPRISES INC				
94461	03/04/2026	ULTRA FLAG BRACKETE ONLY	11-34-10-53750 TRAFFIC CONTROL STREET SIGNS	67.58
Total LANGE ENTERPRISES INC:				67.58
LARRY'S TOWING & RECOVERY				
11485	02/28/2026	TOW-NISSAN ALTIMA	11-34-10-52900 CAR TOWING	920.00
Total LARRY'S TOWING & RECOVERY:				920.00
MARED MECHANICAL				
SV-INV008457	02/24/2026	LEAKING VALVE/ON FIRE PROT	11-16-10-52400 CITY HALL BUILDING REPAIRS	501.50
Total MARED MECHANICAL:				501.50
MIDWEST TAPE LLC				
508533843	03/05/2026	ADULT AUDIO BOOKS	99-00-00-54100 LIBRARY ADULT MATERIALS	125.97
508533843	03/05/2026	AUDIO BOOKS PROCESSING	99-00-00-55120 LIBRARY PROCESSING SUPPLIES	5.97
Total MIDWEST TAPE LLC:				131.94
MONDRAGON ESQUIVEL, EMMANUEL				
BM976323-5	02/26/2026	MONDRAGON_BM976323-5	11-12-00-45100 COURT PENALTIES & FINES	986.00
Total MONDRAGON ESQUIVEL, EMMANUEL:				986.00
MUNICIPAL CODE ENFORCEMENT LLC				
1810	03/01/2026	FEB 2026-CODE ENFORCE	11-24-00-53350 OTHER PROFESSIONAL FEES	4,314.51
Total MUNICIPAL CODE ENFORCEMENT LLC:				4,314.51
MUNICIPAL LAW & LITIGATION GRO S.C.				
17013	02/26/2026	MISC ATTORNEY FEES-JAN 202	11-13-10-52140 OUTSIDE ATTORNEYS FEES	2,500.00
Total MUNICIPAL LAW & LITIGATION GRO S.C.:				2,500.00
NAPA AUTO PARTS				
392382	03/02/2026	BATTERY CABLE-BACKHOE	11-32-10-52500 ST DEPT EQUIPMENT REPAIRS	39.78
392384	03/02/2026	CORE & DEPOSIT	11-32-10-53510 VEHICLE/EQUIPMENT MAINTENANCE	408.86
392465	03/03/2026	TAPE-ELECTRIC	11-32-10-53400 OPERATING SUPPLIES-STREET DEPT	7.77
392489	03/03/2026	TRAILER WIRE	11-32-10-53510 VEHICLE/EQUIPMENT MAINTENANCE	55.20
392594	03/04/2026	BULK TRAILER WIRE	11-32-10-53510 VEHICLE/EQUIPMENT MAINTENANCE	35.07
392642	03/05/2026	HARD SHELL PASTE,TERRY PA	11-32-10-53510 VEHICLE/EQUIPMENT MAINTENANCE	58.26
392800	03/06/2026	SPARK PLUG	11-32-10-53510 VEHICLE/EQUIPMENT MAINTENANCE	7.50
392800	03/06/2026	OIL	11-32-10-53410 VEHICLE-FUEL & OIL	27.96
393126	03/10/2026	WIPERS	11-32-10-53510 VEHICLE/EQUIPMENT MAINTENANCE	399.00
393228	03/11/2026	ENGINE OIL FILTERS	11-32-10-53510 VEHICLE/EQUIPMENT MAINTENANCE	224.98
393229	03/11/2026	ENGINE OIL FILTERS	11-32-10-53510 VEHICLE/EQUIPMENT MAINTENANCE	36.09
Total NAPA AUTO PARTS:				1,300.47
NATIVE RANGE ECOLOGICAL				
1686	02/26/2026	ECOLOGICAL RESTORATION D	43-52-00-53000 PARKS AND REC CAPITAL PROJECTS	4,030.00

Invoice Number	Invoice Date	Description	GL Account and Title	Net Invoice Amount
Total NATIVE RANGE ECOLOGICAL:				4,030.00
OFFICE PRO INC				
759203-0	02/26/2026	BURNISH PAD	40-55-20-53500 BLDG MAINT SUPPLIES-LOWER RIV	31.00
759599-0	02/25/2026	TOWEL ROLLS, TISSUE, SOAP	11-16-10-53500 CITY HALL BLDG MAINT SUPPLIES	138.40
759832-1	03/02/2026	HANDWASH	11-52-00-53500 BLDG MAINT SUPPLIES-PARKS	472.94
Total OFFICE PRO INC:				642.34
PITNEY BOWES				
1029054897	03/02/2026	EZ SEAL FOR POSTAGE	11-16-10-53100 CITY HALL OFFICE SUPPLIES	102.08
Total PITNEY BOWES:				102.08
PLAYAWAY PRODUCTS LLC				
527330	03/09/2026	YOUTH LARGE PRINT BOOK	99-00-00-54110 LIBRARY YOUTH MATERIALS	76.94
Total PLAYAWAY PRODUCTS LLC:				76.94
QUILL LLC				
47952251	02/26/2026	FOLD TOWEL, FOAM SOAP	99-00-00-53500 LIBRARY MAINT SUPPLIES	97.15
Total QUILL LLC:				97.15
R&R INSURANCE SERVICES INC				
3367580	03/02/2026	WORKERS COMP INS	11-10-10-55160 WORKERS COMPENSATION	89,412.00
3367581	03/02/2026	PROPERTY & CYBER INS	11-10-10-55120 GENERAL LIABILITY INSURANCE	99,211.00
Total R&R INSURANCE SERVICES INC:				188,623.00
RHYME BUSINESS PRODUCTS				
41245197	02/09/2026	KYOCERA TASKALFA508CI FEB	11-12-00-53810 MUNICIPAL COURT OPERATIONS	197.05
41416489	03/04/2026	COPIER-MAR 2026	11-16-10-55310 CH OFFICE EQUIPMENT CONTRACTS	425.05
Total RHYME BUSINESS PRODUCTS:				622.10
ROTE OIL LTD				
22382	02/26/2026	199.1 ON RD	11-32-10-53410 VEHICLE-FUEL & OIL	666.18
22383	02/26/2026	224.5 OFF RD	11-32-10-53410 VEHICLE-FUEL & OIL	678.00
23104	03/06/2026	169.2 OFF RD	11-32-10-53410 VEHICLE-FUEL & OIL	629.42
23105	03/06/2026	315.7 ON RD	11-32-10-53410 VEHICLE-FUEL & OIL	1,271.01
Total ROTE OIL LTD:				3,244.61
SAFEBUILT LLC				
1130765-1	12/31/2024	2024 ERROR	11-24-00-52190 CONTRACT BUILDING INSPECTOR	500.00
Total SAFEBUILT LLC:				500.00
SCHILLER LAWN & LANDSCAPE LLC				
25921	02/10/2026	SNOW REMOVAL 12/12/2025-01/	11-32-12-53440 SNOW REMOVAL EXPENSES	6,600.00
Total SCHILLER LAWN & LANDSCAPE LLC:				6,600.00
SCHMIDT CUSTOM FLOORS				
031574	03/06/2026	RIVIERA FLOOR-BUFF COAT	40-55-10-53600 UPPER RIVIERA MAINTENANCE	3,664.35

Invoice Number	Invoice Date	Description	GL Account and Title	Net Invoice Amount
Total SCHMIDT CUSTOM FLOORS:				3,664.35
SHERWIN WILLIAMS				
503551315202	02/26/2026	PAINT-PARKS	11-52-00-53520 GROUNDS MAINT SUPPLIES	57.82
560221315203	03/10/2026	PAINT-PARKS	11-52-00-53520 GROUNDS MAINT SUPPLIES	109.45
Total SHERWIN WILLIAMS:				167.27
SHRED-IT				
8013539451	02/25/2026	SHRED SERV. FEB 2026	11-16-10-53600 CITY HALL MAINT SERVICE COSTS	123.68
Total SHRED-IT:				123.68
STATE OF WISCONSIN				
64-246 02/26	03/02/2026	COURT FINES-FEB 2026	11-12-00-24240 COURT FINES-STATE	3,796.13
Total STATE OF WISCONSIN:				3,796.13
T2 SYSTEMS INC				
UPS00056961	02/24/2026	UPSAFETY SUBSC. SERV-2026	42-34-50-54500 SUPPORT CONTRACTS	12,431.53
Total T2 SYSTEMS INC:				12,431.53
TOTAL PARKING SOLUTIONS INC				
107754	02/24/2026	PAY BY TEXT CONTRACT-OCT-	42-34-50-54500 SUPPORT CONTRACTS	2,382.45
107782	02/27/2026	NEW KIOSKS	42-34-50-58700 OUTLAY-PARKING	20,900.00
107783	02/27/2026	RECEIPT PAPER-KIOSK	42-34-50-52500 KIOSK REPAIRS/SUPPLIES	8,000.00
107789	03/02/2026	WEB OFFICE-APRIL2026	42-34-50-54500 SUPPORT CONTRACTS	3,850.00
TOTAL PARKING SOLUTIONS INC:				35,132.45
UBIQUITI INC				
US4774570	02/27/2026	PHONE PROJECT	50-00-00-58000 MISC/COMP EQUIP PURCHASES	553.90
Total UBIQUITI INC:				553.90
UNIQUE MANAGEMENT SERVICES INC				
6152486	03/01/2026	PLACEMENTS-FEB 2026	99-00-00-55110 CIRCULATION SUPPLIES & SERVICE	61.80
Total UNIQUE MANAGEMENT SERVICES INC:				61.80
UNITED LABORATORIES				
INV455465	03/03/2026	LIQUI-ZYME, AROMA THERAPY	40-55-20-53500 BLDG MAINT SUPPLIES-LOWER RIV	673.80
Total UNITED LABORATORIES:				673.80
UPLAND DESIGN LTD				
25-1430-03	03/04/2026	HILLMOOR ZONE 1 DESIGN (KN	47-70-00-57155 TOURISM MUNICIPAL DEVELOPMENT	9,816.85
Total UPLAND DESIGN LTD:				9,816.85
VERTICAL SUPPLY GROUP				
CM-259537	02/27/2026	REPLACEMENT MIC	11-32-13-54300 TREE, BRUSH & COMPOST OPER SUP	99.98-
INV-1191519	02/19/2026	MIC REPLACEMENT	11-32-13-54300 TREE, BRUSH & COMPOST OPER SUP	99.98

Invoice Number	Invoice Date	Description	GL Account and Title	Net Invoice Amount
Total VERTICAL SUPPLY GROUP:				.00
WALWORTH COUNTY PUBLIC WORKS				
1202615	02/11/2026	SALT-FEB LABOR	11-32-12-53400 OPERATING SUPPLIES-SNOW & ICE	395.96
1202616	02/11/2026	SALT / BRINE FOR ROADS	11-32-12-53400 OPERATING SUPPLIES-SNOW & ICE	15,204.39
Total WALWORTH COUNTY PUBLIC WORKS:				15,600.35
WALWORTH COUNTY SHERIFF				
136424	03/04/2026	PRISONER CONFINEMENT-FEB	11-12-00-52900 CARE OF PRISONERS	55.00
Total WALWORTH COUNTY SHERIFF:				55.00
WALWORTH COUNTY TREASURER				
64-246 02/26	03/02/2026	COURT FINES- FEB 2026	11-12-00-24200 COURT FINES-COUNTY	1,351.60
Total WALWORTH COUNTY TREASURER:				1,351.60
WATERFORD TRUCK SERVICE INC				
10133	03/05/2026	COMPOST HUALING	11-32-12-52200 CONTRACT HAULING SERVICES	1,062.50
Total WATERFORD TRUCK SERVICE INC:				1,062.50
WELDERS SUPPLY CO				
3281109	02/28/2026	ACETYLENE, OXYGEN, PROPA	11-32-10-53400 OPERATING SUPPLIES-STREET DEPT	38.08
3285012	03/09/2026	PROPANE, OXYGEN	11-32-10-53400 OPERATING SUPPLIES-STREET DEPT	110.72
Total WELDERS SUPPLY CO:				148.80
WI DEPARTMENT OF TRANSPORTATION				
395-00002864	12/01/2022	CREDIT FROM LG TO EAST TR	11-32-10-53700 ROAD MAINTENANCE SUPPLIES	.35-
395-00004314	03/02/2026	W MAIN ST/ HWY 50 WIS DOT	43-32-10-17010 STREET IMP PROGRAM	3,836.89
395-00004314	03/02/2026	C LAKE GENEVA, MAIN ST/ HW	43-32-10-17010 STREET IMP PROGRAM	3,810.72
Total WI DEPARTMENT OF TRANSPORTATION:				7,647.26
Grand Totals:				451,796.09

Invoice Number	Invoice Date	Description	GL Account and Title	Net Invoice Amount
----------------	--------------	-------------	----------------------	--------------------

Dated: _____

Mayor: _____

City Council: _____

City Recorder: _____

Report Criteria:

Detail report.

Invoices with totals above \$0.00 included.

Only unpaid invoices included.

Invoice.Batch = "03182026", "03182026A"

Invoice Detail.GL account (2 Characters) = {<>} "61"

Invoice Detail.GL account (2 Characters) = {<>} "62"

Agent Type (check one)

- Original (no fee)
- Successor (\$10 fee for municipal licensees only)

Part A: Business Information

1. Legal Business Name (individual name if sole proprietor)
GE Geneva LLC.

2. Business Trade Name or DBA
Emmi's & Gotham Bagels Lake Geneva

3. Entity Type (check one) Limited Liability Company Corporation Nonprofit Organization

4. Alcohol Beverage Business Authorization (check one) 5. If successor agent, provide State Permit or Municipal Retail License Number

Municipal Retail License State Permit 456-0003248917-02

6. Describe the reason for appointing a successor agent, if successor is checked above.
Current Agent is leaving the organization and need to replace with new organization representative.

Part B: Agent Information

1. Last Name Fonseca	2. First Name Ashley	3. M.I. J
8. State WI		

Part C: Agent Questions

1. Have you satisfied the responsible beverage server training requirement? Yes No
Submit proof of completion.

2. Have you completed Form AB-100, *Alcohol Beverage Individual Questionnaire* (licensee) or Form AB-300, *Alcohol Beverage Personal Questionnaire* (permittee)? Yes No

3. Have you been a Wisconsin resident for at least 90 continuous days? Yes No
See instructions for exceptions.

Continued →

Part D: Business Attestation

READ CAREFULLY BEFORE SIGNING: I, the **Undersigned**, authorize the above-named individual to act for the above-named corporation, nonprofit organization, or limited liability company with full authority and control of the premises and of all alcohol beverage activities on such premises. I certify that I am authorized by the above-named entity to authorize this individual to act on behalf of the entity. If I am appointing a successor agent, I rescind all previous agent appointments for this premises. Further, I understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Last Name Himmel	First Name Jordan	M.I. A
Title COO	[REDACTED]	
Signature <i>Jordan Himmel</i>	Date 03/10/26	

Part E: Agent Attestation

READ CAREFULLY BEFORE SIGNING: I, the **Agent**, hereby accept this appointment as agent for the above-named corporation, nonprofit organization, or limited liability company and assume full responsibility for the conduct of all alcohol beverage activities on the premises for the above-named business. I further understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Last Name Fonseca	First Name Ashley	M.I. J
Signature <i>Ashley Fonseca</i>	Date 03/10/26	



Agenda Item Memo

City of Lake Geneva

Committee: Council

Meeting Date: March 23, 2026

Subject / Title: Agent Change for GE Geneva LLC

Submitted By: Clerk's Office

Background / Request

GE Geneva LLC dba Emmis & Gotham Bagels, previously doing business as Gino's East, has filed an agent change form due to staffing changes. The proposed agent has passed the necessary background check and meets the other qualifications to serve as an agent on an alcohol license.

Fiscal Impact / Budget

- **Estimated Cost:** N/A
- **Funding Source:** N/A (e.g., General Fund, TID, Water Utility, Grants)
- **Budget Status:** Within Budget _____ Over Budget _____
 Budget Amendment Required _____
- **GL Number:** N/A

(If applicable, note grant awards, cost-sharing, or capital plan references.)

Ordinance/Policy Implications/Changes:

None

Recommendation:

Approve the agent change for GE Geneva LLC to Ashley Fonseca.

Implementation/Next Steps

Name of Committee	Date of Meeting	Original Agenda Item #	Outcome

Attachments (list any and all attachments that go with this item and memo)

1. AB-101-Appointment of Agent form

Reviewed by	Date:	Comments
Clerk's office	March 2026	Qualified to be an agent
PD	March 2026	Background Check passed



Agenda Item Memo

City of Lake Geneva

Committee: Council

Meeting Date: 3/23/2026

Subject / Title: Special Event Approvals

Submitted By: David Winger

Background / Request

Staff have reviewed special event applications for Concerts in the Park and Liberty on the Lake. Staff are recommending these events to Council for approval.

Fiscal Impact / Budget

- **Estimated Cost:** N/A
- **Funding Source:** Click or tap here to enter text. (e.g., General Fund, TID, Water Utility, Grants)
- **Budget Status:** Within Budget _____ Over Budget _____
 Budget Amendment Required _____
- **GL Number:** _____

(If applicable, note grant awards, cost-sharing, or capital plan references.)

Ordinance/Policy Implications/Changes:

Recommendation:

Recommend Council approval for the following special events:

- A. Concerts in the Park – Dates Vary (June – August)
- B. Liberty on the Lake – (7/4/2026)

Implementation/Next Steps

Name of Committee	Date of Meeting	Original Agenda Item #	Outcome
Council	3/23/2026		TBD

Attachments (list any and all attachments that go with this item and memo)

Event applications for each of the events: Concerts in the Park and Liberty on the Lake

Reviewed by	Date:	Comments

CITY OF LAKE GENEVA EVENT PERMIT APPLICATION

For events using City Parks or other Public Property.

Please fill in all blanks completely, as incomplete applications will be rejected. Applications for Public Events must be submitted AT LEAST 45 DAYS prior to the proposed event date for consideration.

Submit to: parksdirector@cityoflakegeneva.gov

Do not use this form if your event is on private property.



Section I- APPLICANT INFORMATION

Name of Applicant: VISIT Lake Geneva - Brie Schalck-Pacey

Name of Event Organizer/Producer: VISIT Lake Geneva

Production Company/Organization: VISIT Lake Geneva FEIN #: [REDACTED]

Street Address: 527 Center St

City: Lake Geneva State: WI Zip code: 53147

E-mail Address: [REDACTED]

Daytime Phone: [REDACTED] Cell Phone: [REDACTED]

Are you a Business/Individual OR Non-Profit Organization 501(c) 6

EIN # (Tax Exempt Number): [REDACTED]

*All non-profits must present a copy of their current Tax ID- EIN#

Section II- EVENT INFORMATION- Select all that apply

Private Event/Shelter Reservation- Use of City of Lake Geneva Park and or Park Shelter for private use or event not that is not open to the public. Examples: family reunion, birthday party, club meeting, team practice. *Local non-profits exempt from fees

- Flat Iron Park Brunk Pavilion \$250/day
- Gazebo-Flat Iron Park \$125/day
- Seminary Park Shelter \$75/day
- Cobb Park Shelter \$75/day
- Park Use (no shelter) \$75/day

Other Location: _____

Public Event-Event open to the public, including ticketed or open admission. Examples: festival, art/ware sale/ market, concert, community activity, parade. *Non-profits exempt from fees

- Application fee: \$100- submitted at least 60 days prior
 \$300- submitted at least 45 days but fewer than 60 days prior

Select parks/facilities used during event, fees applied from list above:

- Park Space**
- Flat Iron Park
 - Seminary Park
 - Cobb Park
 - Library Park
 - Other: _____

- Shelters**
- Brunk Pavilion Gazebo
 - Seminary Park Shelter
 - Cobb Park Shelter

*Applicants for a Public Event Permit MUST attend the Committee & Council meetings where their applications are considered for approval.

Concerts in the Park

1. Title of Event: _____

2. Date(s) of Event: Thursdays - 6/25/26, 7/2/26, 7/9/26, 7/16/26, 7/23/26, 7/30/26, 8/6

3. Location(s) of Event: Flat Iron Park and Brunk Pavilion

4. Hours: Setup: 4:00pm-6:00pm | Event: 6:00pm-8:00pm

Include :Start Time & End Time of event, and set up and tear down times

5. Event Chair/Contact Person: Brie Schalck-Pacey Phone: (262) 812-0023

6. Day of Event Contact Name: Brie Schalck-Pacey Phone: (262) 748-4979

7. Is the event open to the public? Yes No

8. Will you charge an admission fee? Yes No

9. Estimated Attendance Number: 300-500

10. Basis for estimate: Previous year's attendance

11. Will you be setting up a tent? Yes No

If yes, list the location, size, Rental Company, and proof of completion of locates.

10x10 EZ Up - no rental company

12. Will there be any animals? Yes No

If yes, what type and how many: _____

13. Attach a detailed description of proposed event with map of the exact location of the event and/or route.

14. Description of plan for handling refuse collection and after-event clean-up:

VISIT Lake Geneva staff will ensure refuse collection and disposal immediately following each event.

15. Description of plan for providing event security (if applicable):

16. Will there be fireworks or pyrotechnics at your event? Yes No

If yes, please submit a fireworks display application.

17. Will your event include the sale of beer and/or wine? Yes No

If yes, please submit a completed Temporary Alcohol License & any necessary Temporary Operator License Applications to the City Clerk's office.

18. Will you or any other vendors be selling food or merchandise? Yes No

If yes, please attach list of proposed vendors, including business name and type of food/merchandise sold.

19. Describe Signage to be used during event:

24x36 a-frame signs for way-finding throughout Flat Iron Park and Riviera Plaza
Self-standing banners on pavilion stage

If using City Street Banner poles, submit a completed Street Banner Display Application.

Section III- STREET USE/CLOSURE-\$75 PER DAY PLUS COST OF BARRICADE RENTAL

- Street Closure
- Street Use
- N/A-Skip to Section IV

Required for any event using a public street. Per Sec. 62-243 of the municipal code, this application must include the following attachments:

- Certificate of Comprehensive General Liability Insurance with the City, its employees and agents as additional insured with coverage for contractual liability with minimum limits of \$500,000 per occurrence for bodily injury and property damage limits of \$250,000 per occurrence.
- Petition signed by more than half of the residential dwelling units and/or commercial units residing along that portion of the street designated for the proposed use or whose property is denied access by virtue of the granting of the permit.

Describe street(s) being used or closed. Attach additional pages if necessary & include a map.
Street closures must include rental of barricades; must be coordinated with the City of Lake Geneva Department of Public Works

Section IV- PARKING REQUESTS

Will any parking stalls be used or blocked during the event? Yes No

Parking Stall daily fees or bagging of Parking Stall fees are not included with the event permit fee; arrangements must be made with the City of Lake Geneva Parking Manager

Dates of Use: Thursdays-6/25/26, 7/2/26, 7/9/26, 7/16/26, 7/23/26, 7/30/26, 8/6/26

Total Number of Parking Stalls being Requested: 5

Parking Stall Location: Center St Lot-stalls closest to Brunk Pavilion for band parking & unloading

Attach a map showing location of requested stalls.

Section V - REQUESTS FOR ADDITIONAL SERVICES

Anticipated Services Beyond Facility/Park Space Use Will Result in Additional Fees
Please indicate below any additional services you are requesting for your event. Estimated Fees for these services may be required prior to issuance of permit

Electricity; Explain: Electricity at Brunk Pavilion for band sound & food vendor

Water; Explain: _____

Traffic Control; Explain: _____

Police Services; Explain: _____

Fire/EMS Services; Explain: _____

Other; Explain: _____

For Office Use Only

Date Filed: _____ Fees: Exempt Charged Amt Due: _____

Required Approvals

Parks Director Signature: _____ Date: _____

Approve Denied Notes: _____

Police Chief Signature: _____ Date: _____

Approve Denied Notes: _____

Fire Chief Signature: _____ Date: _____

Approve Denied Notes: _____

DPW Signature: _____ Date: _____

Approve Denied Notes: _____

As Needed Approvals

Parking Signature: _____ Date: _____

Approve Denied Notes: _____

Harbormaster Signature: _____ Date: _____

Approve Denied Notes: _____

City Clerk Signature: _____ Date: _____

Approve Denied Notes: _____

Public Events:

FLR Meeting Date: _____

Council Meeting Date: _____

Public Event-Save the Date Form

ONLY Public Events held annually have the ability to reserve future dates for that event no more than three years after the current event being applied for.

Completion of this form does not replace the application process for a City of Lake Geneva Event permit. An event permit application must be submitted each year.

Do not complete this form if your event is a private event.

Event Name: **Concerts in the Park**

Event Date: YR 20 27 : **Thurs, 6/24-8/5**

YR 20 28 : **Thurs, 6/22-8/5**

YR 20 29 : **Thurs, 6/21-8/2**

All Park Facilities: **Flat Iron Park and Brunk Pavilion**

Name of Sponsoring Organization: **VISIT Lake Geneva**

If Non-profit or Not-for-Profit: Tax ID / EIN #: **[REDACTED]**

Contact First Name: **[REDACTED]**

Phone/Mobile: **[REDACTED]**

Email: **[REDACTED]**

Notes/Request: _____



Thursdays June 25 – August 6, 2026 Vendor & Entertainment Detail

2/24/26

ENTERTAINMENT

Bands will arrive for setup between 4:00 and 5:00pm with final sound checks completed by 5:30pm. VISIT Lake Geneva will contact a professional sound contractor who will also set up between 4:00 and 6:00pm. The band lineup for the 2026 Concerts in the Park series is as follows:

- June 25 – TBD
- July 2 – TBD
- July 9 – **Frank Martin Bush & the Names**
- July 16 – Lake Geneva Symphony Orchestra
- July 23 – TBD
- July 30 – TBD
- August 8 – TBD

VENDORS

VISIT Lake Geneva will have up to three vendors at the 2026 Concerts in the Park series. Each vendor will be serving food and non-alcoholic beverages during each Thursday evening event, 6:00 – 8:00pm. Food choices will range from snacks and appetizers to sandwiches and salads. Beverages will be non-alcoholic only (coffee, water, soda, smoothies, juice, etc.) Vendors will be positioned between the Brunk Pavilion and the Visitor Information Center building (see map below). A 10x10' pop-up tent to the side of the pavilion may be used by VLG and/or weekly band sponsors. As of this application date, food and beverage vendors are being finalized and will be provided to the City by Friday, April 24, 2026.

Vendor 1 – TBD

Vendor 2 – TBD

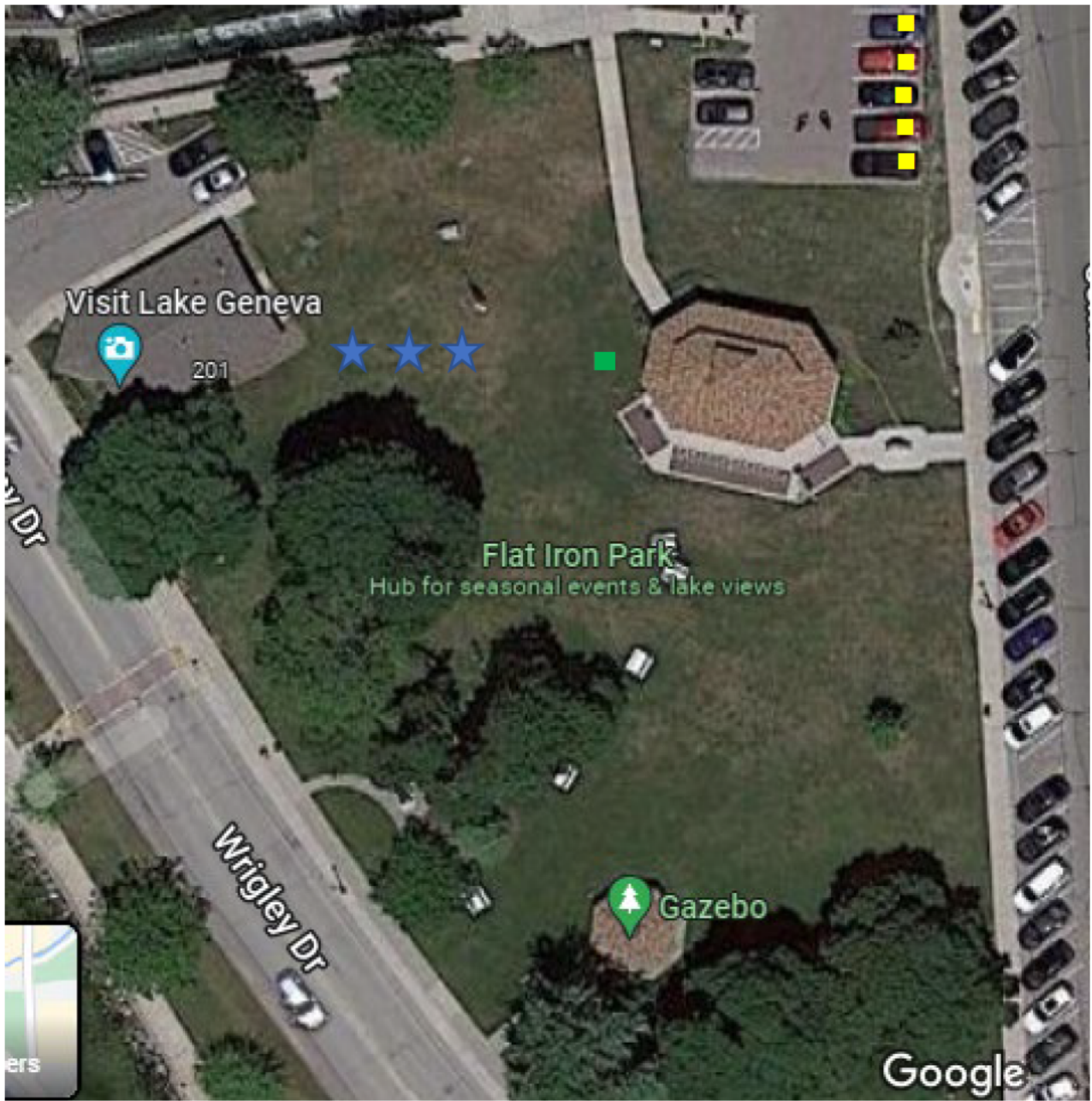
Vendor 3 – TBD

Details including band bios, photos and each weeks' band sponsor can be found online at <https://www.visitlakegeneva.com/events/concerts-park/bands/>.

ON-SITE CONTACTS

One or both of the following VLG staff members will be onsite for all Concerts in the Park events:

1. Brie Schalck-Pacey, Events Manager – mobile phone (262) 748-4979
2. Deanna Goodwin, VP Marketing – mobile phone (262) 914-1303



★ F&B Vendor | ■ Reserved Parking | ■ VLG/Sponsor Tent

CITY OF LAKE GENEVA EVENT PERMIT APPLICATION

For events using City Parks or other Public Property.

Please fill in all blanks completely, as incomplete applications will be rejected. Applications for Public Events must be submitted AT LEAST 45 DAYS prior to the proposed event date for consideration.

Submit to: parksdirector@cityoflakegeneva.gov

Do not use this form if your event is on private property.



Section I- APPLICANT INFORMATION

Name of Applicant: VISIT Lake Geneva - Brie Schalck-Pacey

Name of Event Organizer/Producer: VISIT Lake Geneva

Production Company/Organization: VISIT Lake Geneva FEIN #: [REDACTED]

Street Address: 527 Center St

City: Lake Geneva State: WI Zip code: 53147

E-mail Address: [REDACTED]

Daytime Phone: [REDACTED] Cell Phone: [REDACTED]

Are you a Business/Individual OR Non-Profit Organization 501(c) 6

EIN # (Tax Exempt Number): [REDACTED]

*All non-profits must present a copy of their current Tax ID- EIN#

Section II- EVENT INFORMATION- Select all that apply

Private Event/Shelter Reservation- Use of City of Lake Geneva Park and or Park Shelter for private use or event not that is not open to the public. Examples: family reunion, birthday party, club meeting, team practice. *Local non-profits exempt from fees

- Flat Iron Park Brunk Pavilion \$250/day
- Gazebo-Flat Iron Park \$125/day
- Seminary Park Shelter \$75/day
- Cobb Park Shelter \$75/day
- Park Use (no shelter) \$75/day

Other Location: _____

Public Event-Event open to the public, including ticketed or open admission. Examples: festival, art/ware sale/ market, concert, community activity, parade. *Non-profits exempt from fees

- Application fee: \$100- submitted at least 60 days prior
 \$300- submitted at least 45 days but fewer than 60 days prior

Select parks/facilities used during event, fees applied from list above:

- Park Space**
- Flat Iron Park
 - Seminary Park
 - Cobb Park
 - Library Park
 - Other: _____

- Shelters**
- Brunk Pavilion Gazebo
 - Seminary Park Shelter
 - Cobb Park Shelter

*Applicants for a Public Event Permit MUST attend the Committee & Council meetings where their applications are considered for approval.

Liberty on the Lake

1. Title of Event: _____

2. Date(s) of Event: Setup: Friday, July 3, 2026 | Event: Saturday, July 4, 2026

3. Location(s) of Event: Flat Iron Park

4. Hours: Setup (Friday): 10am-2:00pm. Setup (Saturday): 8:00am | Event: 5-9:30pm
Include :Start Time & End Time of event, and set up and tear down times

5. Event Chair/Contact Person: Brie Schalck-Pacey Phone: (262) 812-0023

6. Day of Event Contact Name: Brie Schalck-Pacey Phone: (262) 748-4979

7. Is the event open to the public? Yes No

8. Will you charge an admission fee? Yes No

9. Estimated Attendance Number: 1000

10. Basis for estimate: _____

11. Will you be setting up a tent? Yes No

If yes, list the location, size, Rental Company, and proof of completion of locates.

10x10 EZ Up - No rental company

12. Will there be any animals? Yes No

If yes, what type and how many: _____

13. Attach a detailed description of proposed event with map of the exact location of the event and/or route.

14. Description of plan for handling refuse collection and after-event clean-up:

VISIT Lake Geneva staff to ensure refuse collection and disposal immediately after the event.

15. Description of plan for providing event security (if applicable):

16. Will there be fireworks or pyrotechnics at your event? Yes No

If yes, please submit a fireworks display application.

17. Will your event include the sale of beer and/or wine? Yes No

If yes, please submit a completed Temporary Alcohol License & any necessary Temporary Operator License Applications to the City Clerk's office.

18. Will you or any other vendors be selling food or merchandise? Yes No

If yes, please attach list of proposed vendors, including business name and type of food/merchandise sold.

19. Describe Signage to be used during event:

Multiple 24x36 a-frame signs for way-finding throughout Flat Iron Park

1 24x36 a-frame sign for way-finding at Riviera Beach Entrance

1 24x36 a-frame sign for way-finding at Riviera Plaza

If using City Street Banner poles, submit a completed Street Banner Display Application.

Section III- STREET USE/CLOSURE-\$75 PER DAY PLUS COST OF BARRICADE RENTAL

- Street Closure Street Use N/A-Skip to Section IV

Required for any event using a public street. Per Sec. 62-243 of the municipal code, this application must include the following attachments:

- Certificate of Comprehensive General Liability Insurance with the City, its employees and agents as additional insured with coverage for contractual liability with minimum limits of \$500,000 per occurrence for bodily injury and property damage limits of \$250,000 per occurrence.
- Petition signed by more than half of the residential dwelling units and/or commercial units residing along that portion of the street designated for the proposed use or whose property is denied access by virtue of the granting of the permit.

Describe street(s) being used or closed. Attach additional pages if necessary & include a map.

Street closures must include rental of barricades; must be coordinated with the City of Lake Geneva Department of Public Works

Wrigley Dr closure, per LGPD from Wrigley Dr and Broad St intersection to boat launch parking stalls/cross-walk. Using barricades and police squad cars to block both ends. Road closure to begin at 4:30pm and open at 9:45pm on Saturday, July 4, 2026.

Section IV- PARKING REQUESTS

Will any parking stalls be used or blocked during the event? Yes No

Parking Stall daily fees or bagging of Parking Stall fees are not included with the event permit fee; arrangements must be made with the City of Lake Geneva Parking Manager

Dates of Use: Saturday, July 4, 2026 - ONLY

Total Number of Parking Stalls being Requested: 10 parking stalls (closest to Brunk Pavilion)

Parking Stall Location: Center St Parking Lot

Attach a map showing location of requested stalls.

Section V - REQUESTS FOR ADDITIONAL SERVICES

Anticipated Services Beyond Facility/Park Space Use Will Result in Additional Fees

Please indicate below any additional services you are requesting for your event. Estimated Fees for these services may be required prior to issuance of permit

Electricity; Explain: Flat Iron and Brunk Pavilion

Water; Explain: _____

Traffic Control; Explain: _____

Police Services; Explain: Police/CSO foot patrol during span of event and water patrol for safety zone under drone show (15-20 minutes), LGPD to put light tower on Cook and Main St _____

Fire/EMS Services; Explain: EMS UTV - per LGFD

Other; Explain: Restrooms to stay open until 10pm at Visitor Center, Riviera Beach, Riviera Plaza, Library Park (West End)

Section VI - SIGNATURE AND INDEMINIFICATION

Acknowledgements-Applicant Must Initial Each Item

- 1. BSP The City of Lake Geneva, the Police Department and/or Fire Department have the right to cancel an event due to inclement weather, other safety risks, or if event is found to be in violation of any conditions of the event permit issued. No refunds will be issued for cancellations due to safety risks or permit violations.

- 2. BSP All Parks and Public Spaces must be left the way they were originally found.

- 3. BSP Event Tear Down and Clean Up must be completed within time frame specified in the hours listed on page 2, unless prior arrangements are made with the Parks Director and/or other appropriate City Staff.

- 4. BSP Applicant is responsible for the cost of damages or additional clean up resulting from event.

- 5. BSP Applicant will be invoiced for damages or clean up charges. Failure to pay invoices will result in denial of any and all future event applications.

- 6. BSP Must have a designated contact person on site and accessible at all times.

- 7. BSP Application fees due upon submission. Facility/Park Space fees, Parking Fees, Additional Services Fees due at least 1 week prior to the start of the event.

- 8. BSP Applicant is responsible for reporting any issues or concerns with event location to the appropriate City Department as soon as they are aware.

- 9. BSP Any incomplete, misleading, or falsified information in this application will result in automatic denial.

The applicant for her/himself and for other persons, organizations, firms and corporations, if any listed in this application, being of sound mind and body, do hereby freely, voluntarily and knowingly, now and for all times, fully save and hold harmless and defend, the CITY OF LAKE GENEVA, a Wisconsin Municipal Corporation located in the Walworth County, and each and every of its elected and appointed officials, employees, representatives, agents, heirs, and assigns, jointly and severally from and against any and all claims, causes of action, actions, liabilities, demands, losses, damages, and/or expenses of whatsoever kind and nature including counsel or attorneys' fees, which I have or may, at any time, incur or sustain arising from, resulting from, incurred in consequence of, or pertaining to, any and all intentional and negligent acts, omissions, incidents, activities and transactions, of whatever kind and nature, direct or indirect, of mine own and those of or by the CITY OF LAKE GENEVA, and each and every of its elected and appointed officials, employees, representatives, and agents, regardless of when or where, occurring or arising from this event.

Applicant Signature: Brianna Schalck-Pacey Date: 3/12/2026

Submit completed applications to the Parks Director: parksdirector@cityoflakegeneva.gov

For Office Use Only

Date Filed: _____

Fees: Exempt

Charged

Amt Due: _____

Required Approvals

Parks Director Signature: David Winger

Date: 03/13/2026

Approve Denied Notes: Post event walk through of turf

Police Chief Signature: Lt. Kaitlin Tietz
Lt. Kaitlin Tietz (Mar 13, 2026 11:17:32 CDT)

Date: 03/13/2026

Approve Denied Notes: _____

Fire Chief Signature: Dennis Detkowski
Dennis Detkowski (Mar 13, 2026 11:24:28 CDT)

Date: 03/13/2026

Approve Denied Notes: 03/13/2026

DPW Signature: Neil Waswo
Neil Waswo (Mar 17, 2026 09:39:07 CDT)

Date: 03/17/2026

Approve Denied Notes: N/A

As Needed Approvals

Parking Signature: _____ Date: _____

Approve Denied Notes: _____

Harbormaster Signature: _____ Date: _____

Approve Denied Notes: _____

City Clerk Signature: _____ Date: _____

Approve Denied Notes: _____

Public Events:

FLR Meeting Date: _____

Council Meeting Date: 3/23/2026

Public Event-Save the Date Form

ONLY Public Events held annually have the ability to reserve future dates for that event no more than three years after the current event being applied for.

Completion of this form does not replace the application process for a City of Lake Geneva Event permit. An event permit application must be submitted each year.

Do not complete this form if your event is a private event.

Event Name: _____

Event Date: YR 20____: _____

YR 20____: _____

YR 20____: _____

All Park Facilities: _____

Name of Sponsoring Organization: _____

If Non-profit or Not-for-Profit: Tax ID / EIN #: _____

Contact First Name: _____ Last Name: _____

Phone/Mobile: _____

Email: _____

Notes/Request: _____



LIBERTY ON THE LAKE
July 4, 2026

PERMIT APPLICATION OVERVIEW
REVISED 2/25/26

Event Summary

VISIT Lake Geneva is proud to host a community-wide 4th of July festival designed to provide a safe, family-friendly environment for residents and visitors to celebrate our Nation's 250th Birthday. The event will feature live music, food vendors, family activities, and a professionally produced drone show as the evening's main attraction. The goal is to create an inclusive celebration that supports local businesses, encourages community engagement, and offers a memorable holiday experience on this momentous occasion. By offering a well-organized, professionally managed event, VISIT Lake Geneva aims to create a positive holiday experience that reflects the values and spirit of Lake Geneva.

- **Event Name:** Liberty on the Lake
- **Organizer:** VISIT Lake Geneva
- **Date:** July 4, 2026
- **Location:** Flat Iron Park
- **Event Hours:** 5:00pm – 9:30pm
- **Cost:** Free attendance

Event Schedule

Food Vendors

5-9pm

A curated selection of 3-4 licensed food trucks or local food & beverage vendors will be positioned in designated areas with adequate spacing for lines and foot traffic. Vendors will serve out of food trucks/trailers and/or 10x10 EZ Up tents. A list of all confirmed food vendors will be provided to the City two weeks prior to the event (June 19, 2026).

Family Entertainment

5-9pm

VISIT Lake Geneva plans to secure a small number of family-oriented activities such as face painting and roaming performers to entertain guests throughout the evening. We also plan to invite local civic groups such as the American Legion to join in the Independence Day

celebration. A list of all confirmed entertainers will be provided to the City two weeks prior to the event (June 19, 2026).

Live Band Performance

6-8:30pm

A live performance by the band [EZFM](#) will perform at the Brunk Pavilion, using the same setup as our annual Concerts in the Park series. The performance will include family-appropriate music and will run from 6:00pm to 8:30pm with a brief intermission. All sound equipment and amplification will be professionally managed to comply with city noise guidelines.

Drone Light Show

9-9:20pm

The evening will conclude with a choreographed drone light show operated by [Northern Lights Drone Shows](#), a Wisconsin-based certified professional drone-show provider.

- The Northern Lights team includes FAA Part 107-certified pilots and all operations will comply with FAA regulations.
- The show will use a group of 300 GPS-coordinated drones equipped with LED lights, in a flight pattern over Geneva Lake and set to patriotic music.
- Music will be amplified via the band sound system in Flat Iron Park and speakers along the lakefront (locations to be determined and approved by City). Visitors can also stream the show's music on their phones.
- The show will be visible across the City's lakefront. While event activities will be centered within Flat Iron Park, we anticipate people will also view the show from other areas such as Library Park, The Riviera, and Riviera Beach.
- A secure perimeter will be established around the drone launch and landing zone to ensure public safety.
 - An area measuring roughly 55 x 55 feet (3,025 square feet) is needed for the drone launch field. Northern Lights representatives will conduct a site visit in early to mid-March to scout potential launch sites and work with City staff to confirm the most appropriate location.
- Northern Lights Drone Shows will provide \$5 million in liability insurance.

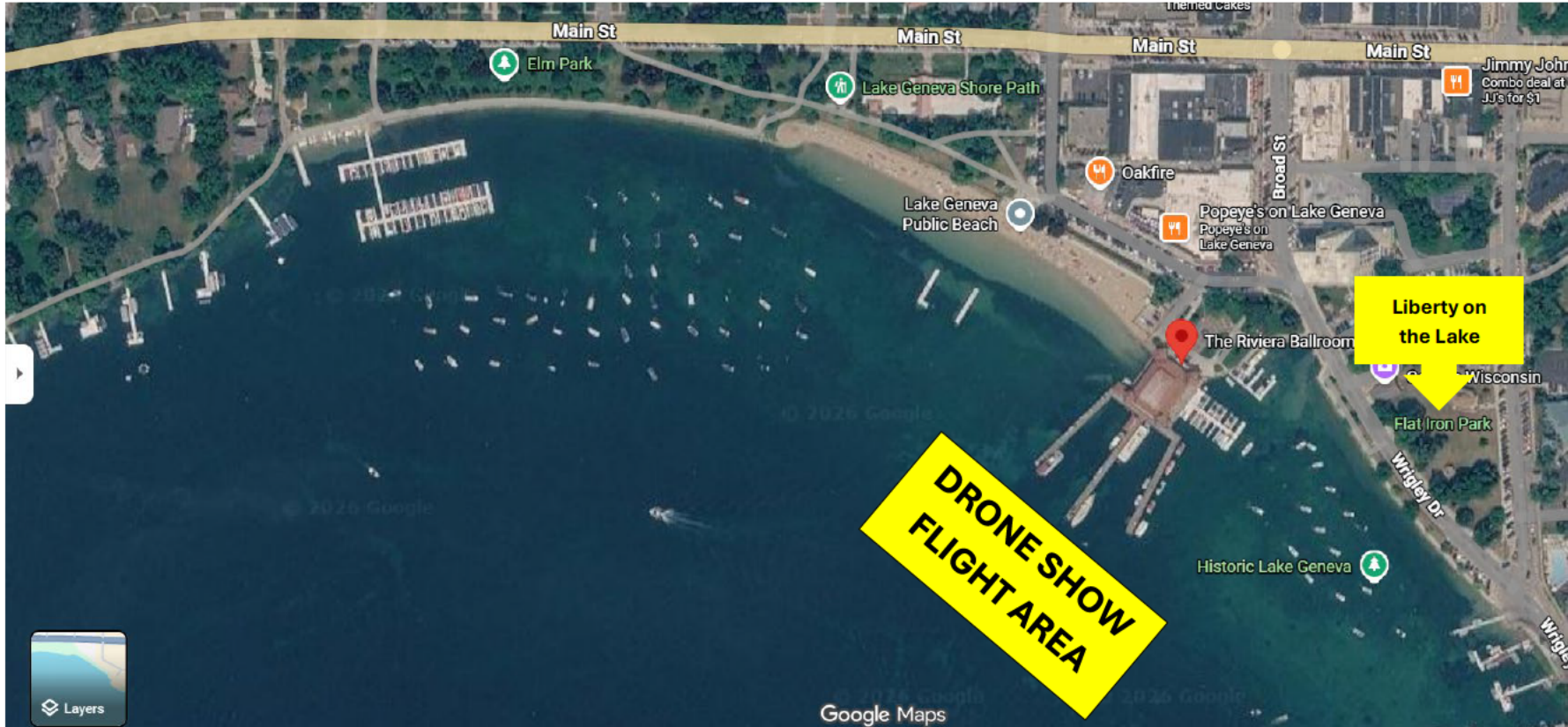
Water Safety & Logistics

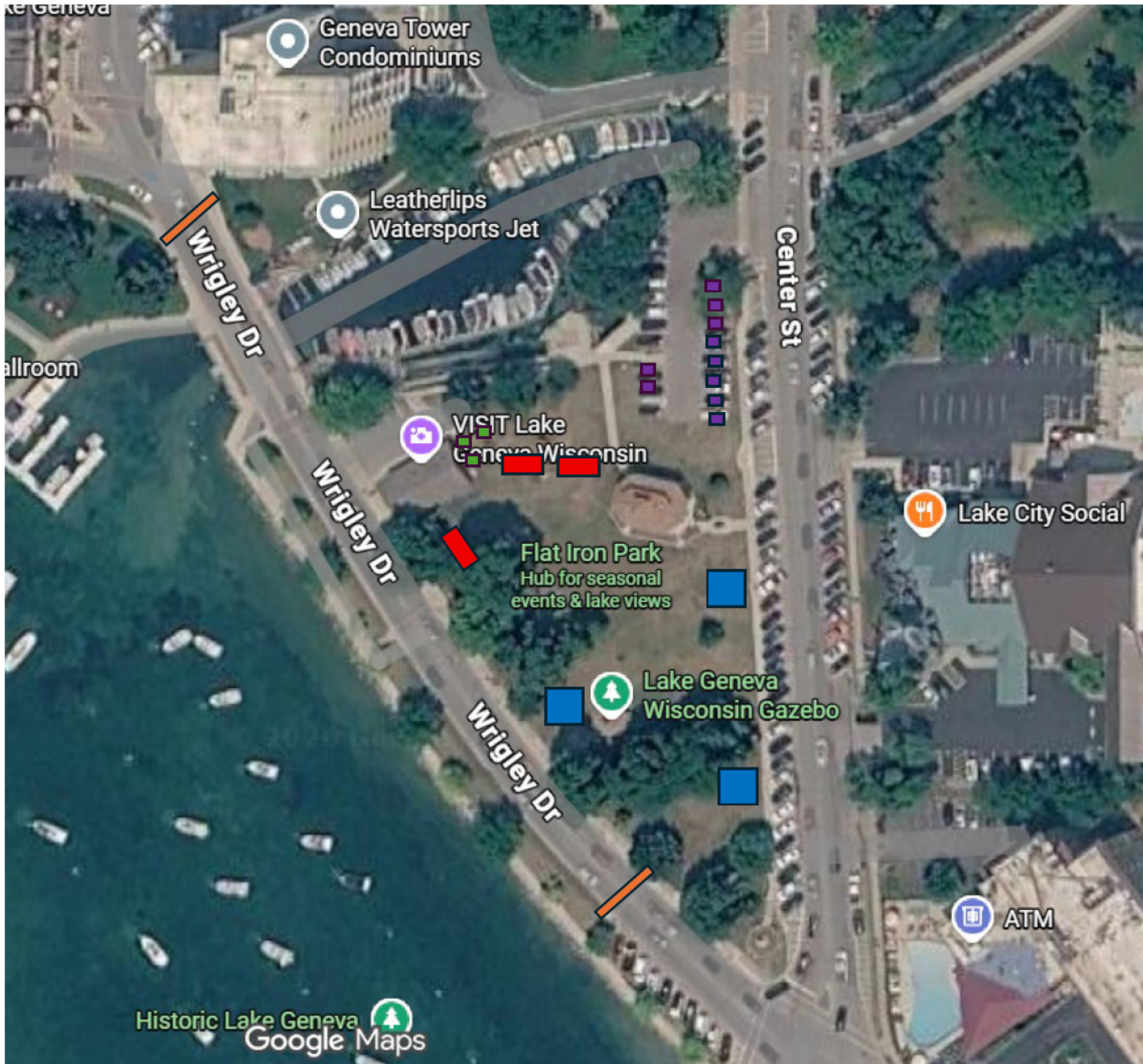
- Boat traffic under the drone flight pattern will need to be paused during the drone show (15-20 minutes). Visit Lake Geneva will work with City of Lake Geneva Police, Wisconsin DNR, and Geneva Lake Water Safety Patrol to create a no-boat-traffic zone and a communication plan to notify boaters.
- Visit Lake Geneva will also communicate with Lake Geneva Cruise Line, boat rental vendors and other businesses along the lakefront to notify them of the event and drone show.

Event Setup

- **Food Trucks/Vendors** – Food and beverage vendor setup will be 4pm-5pm.
- **Band** – The band will begin setup at the Brunk Pavilion approximately 4pm.
- **Drone Show** – Northern Lights Drone Show team will begin launch area setup between 4pm and 5pm.
- Parking spaces in the Center Street lot will be reserved within the permit for the band, sound vendor, and drone show team.

Liberty on the Lake | July 4, 2026





KEY - TBD

- ▭ Food Trucks
- ▭ Vendor Tents
- ▭ Portable Restrooms & Hand Washing Stations
- ▭ Parking Spots
- ▭ Road Closure Barricades



Agenda Item Memo

City of Lake Geneva

Committee: Council

Meeting Date: March 23, 2026

Subject / Title: Proposed Changes to Business License Ordinance

Submitted By: Clerk's Office

Background / Request

The General business license section of the City's Code needs to be updated. Most of the section has remained unedited since 1992. The proposed changes are meant to bring the code into alignment with modern business practices, state a purpose for the section, update language to reflect current staff positions, and streamline some outdated practices to assist with interdepartmental efficiency-eliminating unnecessary steps with certain aspects of the process.

- The proposed stated Purpose (subsection a) is consistent with messaging found in various other municipalities' codes and clearly states the reason why the City of Lake Geneva has an interest in issuing General Business Licenses. This purpose was absent from the original code and is necessary to establish why the City is electing to engage in General Business Licensing.
- Additional language in subsection b; Required, clarifies situations in which a business license is required. This language, combined with the stated purpose, assists with clarifying when/if a business license is required. The prior code did not address various business models that are increasing in popularity with remote work/internet-based set ups that the City really has no interest or need in licensing. For example, if an individual is utilizing a home office for a work-from home type set up, where no customer interaction ever takes place in the home, the City has no need to require a license. The prior wording was not clear on if this type of situation would require a business license; the proposed changes make clear that this individual would not be required to obtain a license.
- The proposed changes include removing the appearance of "Health Officer" throughout, since the City does not have a staff position of Health Officer anymore.
- Subsection "e" addresses the processes for a new business license or location change vs a standard renewal of an existing license. The current code does not differentiate between the two, meaning that Building & Zoning and Fire are currently required to review all types of business license applications, even renewals to licenses with absolutely no changes from the prior year. Specialty licenses, such as alcohol, that require regular review by additional departments will continue to be sent to those departments annually during the renewal process. Location changes and other processes that necessitate inspections will also continue to be sent to the necessary departments. In discussing the renewal process with both B&Z & FD, it has become clear to the Clerk's office that these departments do not need to be reviewing renewal applications with no type of change; therefore, this requirement is arbitrary. By removing that requirement for renewal applications, we can streamline the process, improving on turnaround time for the applicants, as well as ensuring that the applications that actually need attention from other departments are not overshadowed by an influx of arbitrary approvals. We've attached a list of current licenses for reference. The licenses highlighted in green show the ones that could be processed and issued without B&Z or FD approvals, again, so long as no location changes are included when the renewal application is filed.
- The bond and insurance section is removed as including this requirement for a General Business License is arbitrary and opens the City to certain liabilities. Specialty licenses, such as a Sidewalk Café permit, have their own insurance requirements which would not be affected by this proposed change.
- The Mayor is not required to sign any other licenses or permits issued by the Clerk's office, and does not do so in practice, as individual General Licenses are not granted by the Council, therefore we are proposing removing this language in section 18-34.
- Licensees are required to hang their licenses in their establishments, therefore carrying the license on their person while conducting business is excessive and unnecessary. That language has been removed from

Section 18-35.

- **Section 18-38 is redundant as it is covered again under 18-40.**

Fiscal Impact / Budget

- **Estimated Cost: N/A**
- **Funding Source: N / A** (e.g., General Fund, TID, Water Utility, Grants)
- **Budget Status:** Within Budget _____ Over Budget _____
 Budget Amendment Required _____
- **GL Number:** _____

(If applicable, note grant awards, cost-sharing, or capital plan references.)

Ordinance/Policy Implications/Changes:

- Requires changes to the municipal code as presented
- will assist in streamlining process of approving business licenses-reducing staff hours required to process business license renewals that require no intervention and/or additional steps by departments other than Clerk's Office

Recommendation:

Approve and move to a second reading.

Please contact the Clerk's Office with any questions prior to the meeting so that answers can be researched and provided at the meeting.

Implementation/Next Steps

Name of Committee	Date of Meeting	Original Agenda Item #	Outcome

Attachments (list any and all attachments that go with this item and memo)

1. Proposed Changes to Article II of Chapter 18 of the City of Lake Geneva Municipal Code
2. List of current licenses

Reviewed by	Date:	Comments
Attorney	March 2026	Drafted with the Clerk's Office
Clerk's Office	March 2026	Drafted with the Attorney

ORDINANCE OF THE COMMON COUNCIL			
An ordinance amending Sections 18-31, General Business license, repealing Section 18-32, Bond and insurance, amending Section 18-34, Certificate contents; records, amending Section 18-35, Same--- exhibition, and repealing Section 18-38, Determinations of the City Council, of Division 1, Generally, of Article II, Licensing of Chapter 18, Businesses of the Municipal Code of the City of Lake Geneva, Wisconsin updating and amending procedures for issuance and display of general business licenses.			
Committee	N/A		
Fiscal Impact	N/A		
File Number	26-04	First Reading	March ____, 2026
		Second Reading	March ____, 2026

The Common Council of the City of Lake Geneva, Wisconsin, does hereby ordain that an ordinance amending Section 18-31, General business license, of Division 1, Generally, of Article II, Licensing, of Chapter 18, Businesses of the Municipal Code of the City of Lake Geneva, Wisconsin is amended to read as follows:

Sec. 18-31. General business license. [Code 1992, § 12.16; Ord. No. 03-11, §§ I, II, 10-27-2003; Ord. No. 06-02, § I, 1-23-2006]

- a. Purpose. This Article is not a regulation of business but rather to verify locations of active business operations, to obtain emergency contact information in order to notify and provide efficient public safety services to the business, to support economic development activities and to verify compliance with site and operational zoning regulations of the City. The information gathered from the business license application and the annual renewal is essential to performing the community’s public-safety and public-work-related services. The information obtained from the business license application and annual renewals is also important to the community for the purposes of its overall economic development business attraction and retention strategy insofar as the City will be able to track and maintain an accurate listing of all active businesses, relevant contact information, employment counts and anticipated employment growth projections on an annual basis.
- b. Required. No person shall establish any home-based or non-home-based business, trade or profession in a building within the City of Lake Geneva wherein the public may be invited to enter without first obtaining a general business license therefor.
- c. Application. Application for a general business license shall be made in writing to the City Clerk upon forms provided by the City and the applicant shall state the location, type of activity to be conducted and such facts as may be required for or be applicable to the granting of such a license. A copy of the application shall be forwarded to the Building Inspector, Zoning Administrator, ~~Health Officer~~ and Fire Inspector.
- d. Payment of fee. The fee specified in Section 18-56 shall be paid at the office of the City Clerk at the time the application is submitted. No application shall be accepted or acted upon until such fee is paid. No fee shall be refunded, unless the license is denied. Any payment after July 1 of each year shall be subject to a late fee as specified in Section 18-56.
- e. Approvals required prior to issuance. No license for a new business or an existing business in a new location shall be issued under ~~the~~ this section until the Building Inspector, Zoning Administrator, ~~Health Officer~~ and Fire Inspector have reviewed and made recommendations for approval of the application. Renewals of business licenses do not require review and recommendations from the Building Inspection, Zoning Administrator or Fire Inspector.
- f. Terms. The general business license shall expire each year on June 30. A renewal license application must be filed with the City Clerk.

The Common Council of the City of Lake Geneva, Wisconsin, does hereby ordain that an ordinance amending Section 18-32, Bond and insurance of Division 1, Generally, of Article II, Licensing, of Chapter 18, Businesses of the Municipal Code of the City of Lake Geneva, Wisconsin is hereby repealed.

Sec. 18-32. Bond and insurance. [Code 1992, § 12.02(4)]

~~All required bonds shall be executed by two sureties or a surety company and be subject to the approval of the City Council. Where policies of insurance are required, such policies shall be approved as to substance and form by the City Attorney. Satisfactory evidence of coverage by bond or insurance shall be filed with the City before the license or permit is issued.~~

The Common Council of the City of Lake Geneva, Wisconsin, does hereby ordain that an ordinance amending Section 18-34, Certificate—contents; records, of Division 1, Generally, of Article II, Licensing of Chapter 18, Businesses of the Municipal Code of the City of Lake Geneva, Wisconsin is amended to read as follows:

Sec. 18-34. Certificate—contents; records. [Code 1992, § 12.02(6)]

Licenses or permit certificates shall show the name of the licensee or permittee, the date of issue, the activity licensed and the term of the license or permit and shall be signed in the name of the City by the ~~Mayor and~~ City Clerk and be impressed with the City Seal. The Clerk shall keep a record of all licenses and permits issued.

The Common Council of the City of Lake Geneva, Wisconsin, does hereby ordain that an ordinance amending Section 18-35, Same--exhibition, of Division 1, Generally, of Article II, Licensing of Chapter 18, Businesses of the Municipal Code of the City of Lake Geneva, Wisconsin is amended to read as follows:

Sec. 18-35. Same—exhibition. [Code 1992, § 12.02(8)]

Every licensee or permittee ~~shall carry his license or permit certificate upon his person at all times when engaged in the activity for which the license or permit was granted, except that where such activity is conducted at a fixed place or establishment,~~ shall have the license or permit certificate ~~shall be~~ exhibited at all times in some conspicuous place in his place of business. The licensee or permittee shall exhibit the license certificate when applying for a renewal and upon demand of any police officer or person representing the issuing authority

The Common Council of the City of Lake Geneva, Wisconsin, does hereby ordain that an ordinance amending Section 18-38, Determinations of the City Council, of Division 1, Generally, of Article II, Licensing of Chapter 18, Businesses of the Municipal Code of the City of Lake Geneva, Wisconsin is hereby repealed.

Sec. 18-38. Determinations of the City Council. [Code 1992, § 12.02(10)]

~~All determinations made by the City Council shall be subject to the provisions of Chapter 2 of this Code.~~

Approved by the City of Lake Geneva Common Council on this _____ day of March 2026.

Council Action: Adopted Failed **Vote** _____

Mayoral Action: Accept Veto

Todd Krause, Mayor Date

Attest:

Lacey L. Reynolds, City Clerk Date

ORDINANCE OF THE COMMON COUNCIL

An ordinance amending Section 2-49, Standing committees of Article II, CITY COUNCIL, and Subsection (b) of Section 2-303 of Division V, Cemetery Board, of Article V, Boards and Commissions, and Subsection (e) Agenda, of Sec. 2-235 Meetings; conduct; duties of Division 1.1, Avian (Bird) Committee of Article V, Boards and Commissions, of Chapter 2 Administration and Subsection (1) Meeting, and Subsection (3) Tree Board, of Article III, Board of Park Commissioners, of Chapter 54, Parks and Recreation, of the Municipal Code of the City of Lake Geneva, Wisconsin allowing two alderpersons to place items on standing committees, boards and committees.

Committee	N/A		
Fiscal Impact	N/A		
File Number:	26-05	First Reading	March ____, 2026
		Second Reading	March ____, 2026

The Common Council of the City of Lake Geneva, Wisconsin, does hereby ordain that an ordinance amending Section 2-49, Standing committees of Article II, CITY COUNCIL Section 2-49, Standing committees of Article II, CITY COUNCIL of the Municipal Code of the City of Lake Geneva, Wisconsin is amended to read as follows:

Sec. 2-49 Standing committees.

[Code 1992, § 2.12; Ord. No. 08-02, 3-10-2008; 5-24-2010 by Ord. No. 10-05; 11-28-2011 by Ord. No. 11-32; 5-29-2012 by Ord. No. 12-08; 9-22-2014 by Ord. No. 14-05; 11-10-2014 by Ord. No. 14-08; 12-27-2016 by Ord. No. 16-23; 12-27-2016 by Ord. No. 16-21; 5-28-2019 by Ord. No. 19-06; 8-12-2020 by Ord. No. 20-09; 2-22-2021 by Ord. No. 21-01; 10-13-2025 by Ord. No. 25-15]

The standing committees of the council shall be:

Piers, Harbors, and Lakefront Committee;

Personnel Committee;

Public Works Committees.

The standing committees shall consist of five persons all of whom shall be Aldermen and shall be appointed by the Mayor subject to approval of Council.

The Mayor shall designate one of each committee's members as the committee chairman.

The term for member shall be one year. Vacancies shall be filled by appointment by the Mayor subject to approval of Council for the unexpired term.

A member or members of each standing committee may be removed by the Mayor with the approval of the Council.

Committee members shall serve without compensation other than the regularly established salary as Aldermen.

Each standing committee shall adopt its own rules and procedures that are consistent with the current edition of Robert's Rules of Order and shall keep a written record and file a copy with the City Clerk of all its minutes, resolutions, and proceedings.

The City Clerk shall prepare the agenda and provide timely public notice, including date, place and agenda of all standing committee meetings in accordance with state statutes. **The City Clerk shall ensure that all items referred to the standing committees by two Alderpersons are included on the agenda. Referrals from two Alderpersons must be submitted on the proper form and received by the Clerk two Fridays prior to the scheduled meeting.**

All standing committees shall meet at City Hall unless a meeting elsewhere is authorized by the Mayor or City Clerk.

A majority of the members of the committee shall constitute a quorum for the transaction of business.

The powers, duties, and responsibilities of each standing committee are:

...

The Common Council of the City of Lake Geneva, Wisconsin, does hereby ordain that an ordinance amending Subsection (b) of Section 2-303, Authority and duties of Division V, Cemetery Board, of Article V, Boards and Commissions of Chapter 2, Administration of the Municipal Code of the City of Lake Geneva, Wisconsin is amended as follows:

(b) Agenda. The President of the Cemetery Board is responsible for the preparation of the agenda and shall provide a digital or electronic copy of such agenda to the City Clerk for posting and distribution to other Board members and the public at least 48 hours prior to such meeting. Informational material for items identified on the agenda shall also be provided with the agenda when practical. The President of the Cemetery Board shall ensure that all items referred to the Cemetery Board by two Alderpersons are included on the agenda. Referrals from two Alderpersons must be submitted on the proper form and received by the President of the Cemetery Board two Fridays prior to the scheduled meeting. All meetings shall be held at City Hall.

The Common Council of the City of Lake Geneva, Wisconsin, does hereby ordain that an ordinance amending Subsection (e), Agenda of Section 2-235, Meetings' conduct; duties of Division 1.1, Avian (Bird) Committee, of Article V, Boards and Commissions of Chapter 2, Administration of the Municipal Code of the City of Lake Geneva, Wisconsin is amended to read as follows:

(e) Agenda. The Chairperson is responsible for the preparation of the agenda and shall provide a digital or electronic copy of such agenda to the City Clerk for posting and distribution to other Committee members and the public at least 48 hours prior to such meeting. Informational material for items identified on the agenda shall also be provided with the agenda when practical. The Chairperson shall ensure that all items referred to the Avian Committee by two Alderpersons are included on the agenda. Referrals from two Alderpersons must be submitted on the proper form and received by the Chairperson two Fridays prior to the scheduled meeting.

The Common Council of the City of Lake Geneva, Wisconsin, does hereby ordain that an ordinance amending Subsection (1) Meeting, of Article III, Board of Park Commissioners, of Chapter 54, Parks and Recreation of the Municipal Code of the City of Lake Geneva, Wisconsin is amended to read as follows:

(1) Meeting. The Board of Park Commissioners shall meet at least quarterly. The Board may meet as necessary, or as called by the Chairman or as called by a majority of the Board. The Chairperson is responsible for the preparation of the agenda and shall provide a digital or electronic copy of such agenda to the City Clerk for posting and distribution to other Board members and the public at least 48 hours prior to such meeting. The Chairman shall ensure that all items referred to the Board of Park Commissioners by two Alderpersons are included on the agenda. Referrals from two Alderpersons must be submitted on the proper form and received by the Chairman

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: March 16, 2026

Applicant:

Eric Anderson
Covenant Harbor
1724 W. Main St.
Lake Geneva, WI

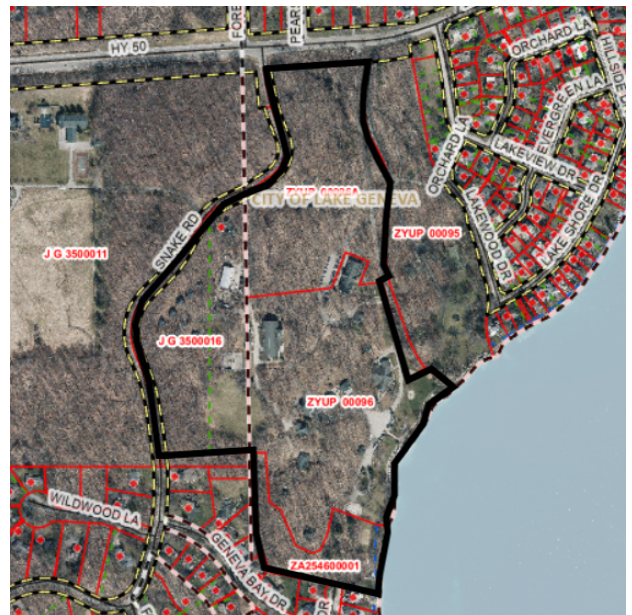
Request:

1724 W. Main St.
Tax Key No. ZA522000001
Planned Development – Precise
Implementation Plan

Description:

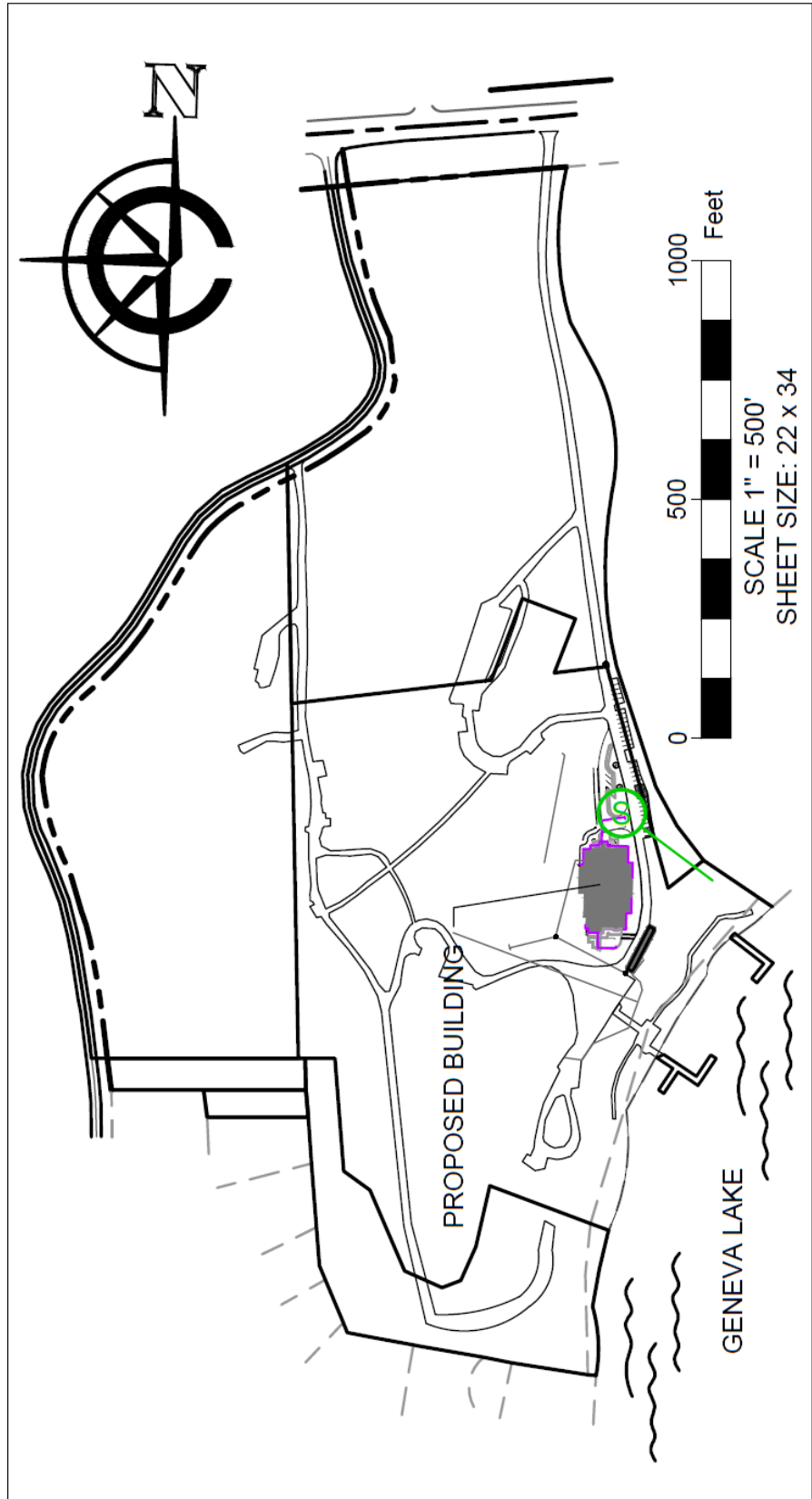
Covenant Harbor Bible Camp & Retreat Center has requested a Planned Development – Precise Implementation Plan (PIP) for proposed modifications to their property. Covenant Harbor operates a Christian camp, conference, and retreat center on a 52-acre property located at 1724 W. Main Street on Geneva Lake.

A PD-PIP (Precise Implementation Plan) is Step 4 of 4 of the Planned Development process. A PIP establishes the details of site development including architecture, landscaping, lighting, and engineering and must be substantially consistent with the General Development Plan (GDP). The City approved an amendment to the GDP in spring of 2025. That approval included an upgrade to the existing worship tent and a replacement of the existing dining facility. The new dining facility is the subject of this PIP.



The dining facility (“Dining Commons”) will be a new 16,785-square-foot building to be used as a dining hall and indoor lounge space for campers. It will replace “The Lodge,” a 76-year-old building that includes both a dining hall and 52 beds. These beds will not be replaced in the new dining hall. Other improvements include windows with lake views, outdoor patios with seating, a lakeside café, and an enhanced camper drop-off and vehicle turnaround. The Dining Commons will be located on the southeast side of the camp, near the lakefront, as seen on the map on the following page.

Dining Commons Location (from Civil Engineering Plans Sheet 05)



Note: the Civil Engineering Plans in the meeting packet are oriented so that North is on the right side of the page.

Setback and Bulk Requirements

The proposed building exceeds minimum setback requirements. The proposed Landscape Surface Ratio for the entire camp property is 89%, greatly exceeding the minimum Landscape Surface Ratio of 60%. A detailed calculation is provided in the PIP application.

Site Plan and Site Access

The Site Plan includes a redesigned access drive on the north side of the Dining Commons. This is primarily used for loading and camper drop-off and allows for adequate vehicle turnaround. The access drive will include three new parking spaces as well. Dumpsters for the Dining Commons will be located in the existing parking area to the north east of the building. The proposed dumpster enclosure will include stone and wood siding intended to blend into the surrounding environment.

Landscaping Plan

The location of the proposed dining facility foundation and disturbance area is located within a wooded area. Boulder retaining walls on the north and east sides of the building stabilize the slopes. Substantial regrading will be done on the west side of the building, as the site slopes downhill toward the lake. Approximately 30 trees will be removed around the perimeter of the new dining hall due to construction and grading. Selective cutting (removal of 30% trees or less) is permitted by right in woodland areas, and the proposed tree removal is well under 30%. New trees are proposed along the south side of the building and in the center of the driveway turnaround on the north side of the building. Shrubs are proposed for the north side of the building. Plant species include Black Hills Spruce, Swamp White Oak, Sugar Maple, Serviceberry, Spirea, Viburnum, and others. The Landscaping Plan also includes permeable paver patios on the north and south sides of the building and boulder landscaping accents. The proposed Landscaping Plan exceeds the City's minimum landscaping requirements and provides sufficient landscaping, appropriate for a woodland context.

Parking and Circulation

The campground is primarily a pedestrian experience, but the operations of the campgrounds require vehicles, including emergency vehicle access. Existing parking areas serving the Dining Commons include a larger parking lot to the south of the building and the row of parking to the northeast of the building. Three parking spaces in the northeast parking area will be removed to accommodate the dumpsters for Dining Commons, described above. The Applicant proposes three new stalls in the access drive/turnaround and one additional space in the northeast parking area, for a net increase of one parking space.

Building Elevations

Conceptual building elevations are provided in the PIP application. Building materials will be consistent in design, quality and character with other buildings at the camp. They will include granite at some lower portions of the structure, patio pillars and the fire place; engineered lap siding and trim; asphalt shingles; and wood and plate beam accents at peaks. Proposed colors include tan and a muted blue.

Exterior Lighting

Building-mounted lighting at the building entrance will be directed downwards, similar to other lighting at the camp. Path lighting mounted on posts will ensure a lit path to and from the building.

Signage

New signage will be directed only to the interior of the site. No new signage will be visible from a public street. This Dining Commons building will include exterior, non-illuminated signs with dark green wood trim, which will be placed near the walkways leading to the main entrances.

Utilities and Stormwater

Utility improvements include an extension of the existing 8-inch private watermain and new sanitary pipe to service the new building. Stormwater quantity requirements of the municipal code do not apply to runoff from the improvements tributary to Geneva Lake; however, water quality provisions must be addressed. The plan currently proposes drainage structures and underground stormwater chambers to meet stormwater requirements. Conditions of approval are detailed in the memorandum from Kapur dated January 30, 2026.

Consistency with the GDP:

The PIP step is designed to accommodate refinement of the site plan as final engineering plans are prepared. A few such changes are included in the PIP submittal. As compared to the approved GDP, the Dining Commons building has shifted several feet closer to the lake and the building footprint has been reduced slightly. The Applicant notes adjustments were needed to conserve trees, reduce impervious surface, and reduce use of retaining walls. The design of the turnaround drive was modified to respond to comments from the Fire Department and Utility Commission. The stormwater management approach has been adjusted. Instead of a drainage swale, as included in the approved GDP, the camp will instead install an underground stormwater management system. This is detailed in the Stormwater Management Report. Staff views all of these changes to be minor refinements of the approved GDP, therefore finding the proposed PIP to be consistent with the approved GDP.

Relationship to Base Zoning Standards:

All Planned Developments must identify zoning flexibility being requested from the base zoning standards in the most comparable regular zoning district. In this instance, the ER-1 zoning district provides that comparison zoning district. The applicant requests no additional flexibility from the ER-1 zoning standards.

Staff Review Comments:

The proposed PD provides for a new Dining Commons with a minimum of paved roads and parking, only as needed to meet operational needs. It maintains the woodland theme and landscape. The proposed elevations will complement the camp's natural setting. The Applicant has worked closely with the Utility Commission and City Engineer to develop plans that satisfy City requirements.

Action by the Plan Commission:

As part of the consideration of a requested Planned Development / Precise Implementation Plan (PIP), the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed Zoning Map amendment,
- Include *findings* required by the Zoning Ordinance for Zoning Map amendment, and,
- Provide specific suggested *requirements* to modify the project as submitted.

Required Plan Commission Findings on the PIP for Recommendation to Common Council:

A proposed PIP must undergo the review standards for all Conditional Use Permits, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be in agreement with Factors 1-6 of the following.
1. The proposed PIP (the use in general, independent of its location) is in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, this Chapter, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. The proposed PIP (in its specific location) is in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, this Chapter, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed PIP, in its proposed location and as depicted on the required site plan, does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan, or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed PIP maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed PIP is located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed PIP outweigh all potential adverse impacts of the proposed PIP (as identified in Items 1. through 5., above), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend *denial*, then the appropriate fact finding would be in disagreement with at least one of Factors 1-6 listed above.

Staff Recommendation:

Staff recommends that the Plan Commission recommend *approval* of the PIP as submitted.

Staff recommends the affirmative set of findings provided above, noting the proposal maintains the desired consistency of land uses, land use intensities, and land use impacts for the camp property and it upgrades utilities and stormwater to meet current City standards.

Staff recommends the following *additional condition(s) of approval* be attached:

1. Refer to conditions of approval detailed in the memorandum from Kapur dated January 30, 2026

Jackie Mich, AICP, City Planning Consultant , Vandewalle & Associates

APPLICATION FOR PRECISE IMPLEMENTATION PLAN OR AMENDMENT

City of Lake Geneva

Site Address/Parcel No. and full Legal Description required (attach separate sheet if necessary):

Covenant Harbor Bible Camp and Retreat Center, 1724 W. Main Street, Lake Geneva, WI. The property has multiple parcels, but the parcel pertinent to this project is ZYUP 00096. Full legal description attached from the Walworth County Register of Deeds, WI.

Name and Address of Current Owner: Covenant Harbor Bible Camp and Retreat Center, 1724 W. Main St. Lake Geneva, WI 53147

Telephone No. with area code & Email of Current Owner:

Owner Signature: _____

Name and Address of Applicant: Same as owner

Telephone No. with area code & Email of Applicant: Same as owner

Proposed Use:

The proposed dining facility is intended to replace an existing and outdated facility that serves as both dining and lodging. The new facility will provide campers and guests with a spot to share meals and other camp related activities. The new facility will focus on dining and will not replace the lost lodging component.

Zoning District in which land is located: Planned Development

Names and Addresses of architect, professional engineer and contractor of project:

Engineer: Cardinal Engineering, Ryan Cardinal, 526 S. Wells St. Lake Geneva, WI 53147

Architect/Contractor: Carlson Brothers, Inc., Mark Carlson 17250 New Lenox Rd. Joliet, IL 60433

Short statement describing activities to take place on site:

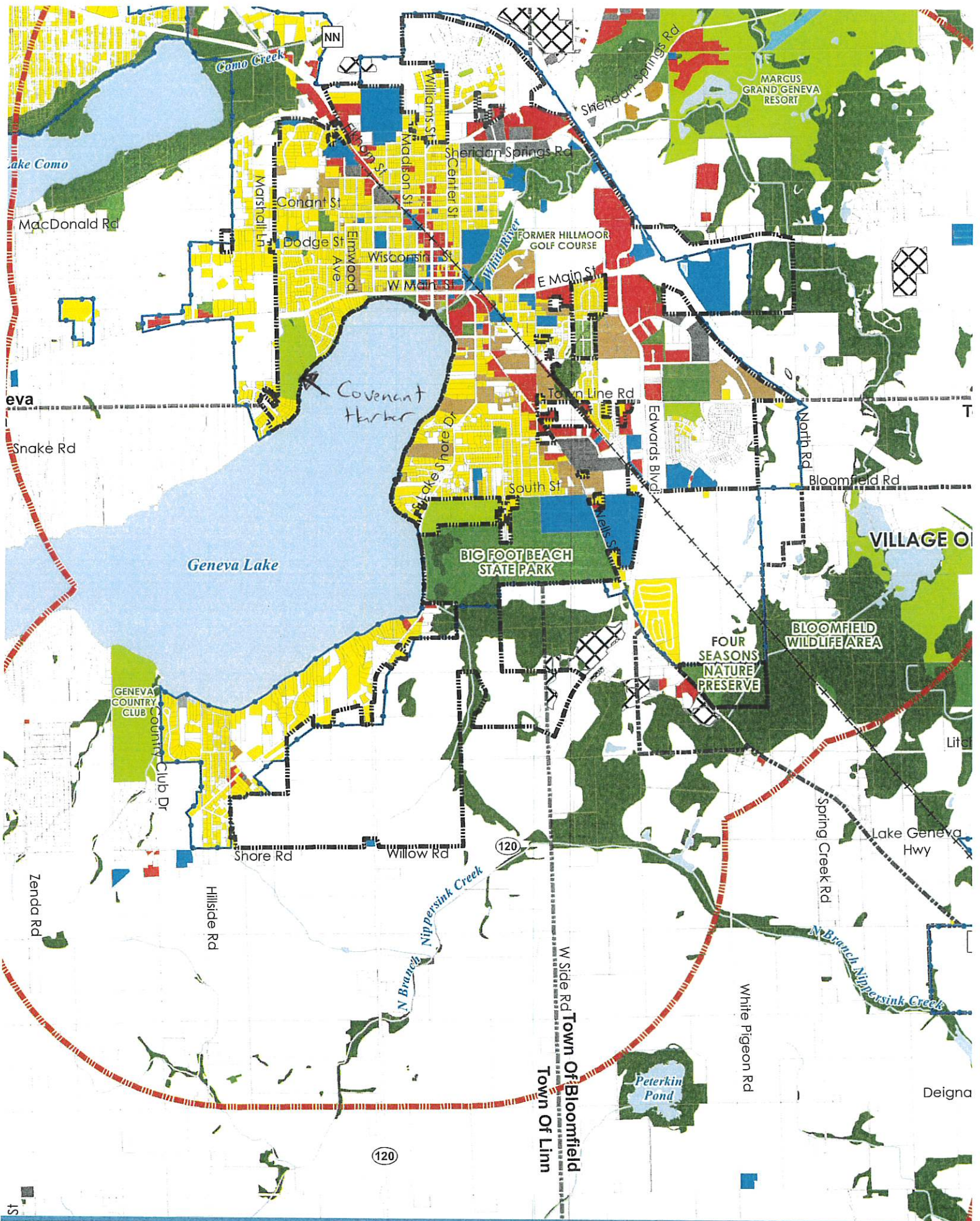
The new facility will be a newly constructed building to replace an existing facility called "The Lodge", which has been in use for approximately 76 years. "The Lodge" currently serves as a dining facility for campers and also includes 52 beds and corresponding bathrooms for lodging within the building. The new facility, called the "Dining Commons" will be exclusively used as a dining facility and as an indoor lounge area for campers. The new facility will not replace the 52 beds or shower facilities. The new "Dining Commons" is to serve guests already onsite staying in onsite lodging spaces.

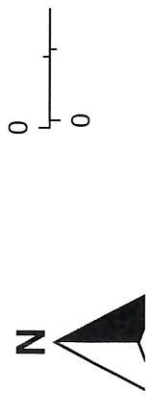
PIP fee \$450.00, payable upon filing application.

11/7/25

Date


Signature of Applicant





- MR-8 - Two-family Residential-8
- RH - Rural Holding

- PD - Planned Development
- ER-1 - Estate Residential-1

Section 3 General Written Description

Executive Summary:

The proposed building construction now being submitted as a Precise Implementation Plan is a portion included in the previously approved General Development Plan approved by the Lake Geneva City Council May 12, 2025. The scope of this PIP is to replace the current dining hall with a new dining hall, complying with appropriate zoning setbacks for location.

The intent is to replace an existing building called "The Lodge", which has been in continuous service as a dining hall and 52 bed lodging facility for the last 76 years. The intent is to demolish "The Lodge" and replace it with a new structure called "The Dining Commons" on the same location and of similar purpose. The difference between the new structure and the old structure is that the new "Dining Commons" will have expanded dining capacity, but will not include housing

The building to be demolished currently has:

- dining hall
- kitchen
- camp store
- bathrooms (including showers)
- 6 cabins of lodging for 52 people
- outdoor deck.

The new Dining Commons will also include:

- dining hall
- kitchen
- camp store
- small office area
- bathrooms
- conversation lounge and mezzanine.
- outdoor patio

Improvements will include an enhanced camper dropoff and vehicle turnaround, outdoor patios with seating, capabilities to serve grilled meals outdoors to campers, and generous windows with lake views.

The dining hall is part of a larger camp complex, one of nearly 40 buildings and other outdoor spaces on the camp's 52 acre property. As such, it is not intended or needed for this proposed project to operate as a stand alone solution to gathering, parking, bathrooms, offices, etc. because those needs are satisfied in other and better locations around the camp property.

The new dining commons is not expected to increase any demand on city water or sewer compared to the present seasonal pattern. The new dining commons is not expected to increase current guest capacity or occupancy. This new building is simply replacing one old dining facility with another new dining facility, serving the same number of guests. Same number of dishes, same number of toilet flushes, same number of parking spaces utilized, etc. as with the Lodge.

The camp is proposing to extend an existing private water main to supply potable water and water necessary for a fire protection system, including sprinklers. As the new building is about improving the dining experience of existing guests already onsite, the camp is not anticipating any changes in water demands or changes to peak flows to the sanitary system. As the new dining commons will not replace the 52 beds currently located in the old Lodge, the overnight guest capacity for the camp will decrease as a result of this project.

Specific Project Themes and Images

Using the definitions of land use described in the City of Lake Geneva Zoning Ordinance Covenant Harbor is best described as an Outdoor Institutional land use with recreational facilities and buildings that are Indoor Institutional land use. For this application the proposed Dining Commons will be regarded as Indoor Institutional. Consideration for its setting in a privately held permanently protected green space is requested.

The theme of Covenant Harbor is and will be to provide a facility that will "draw people from their routines into opportunities to enjoy creation, recreation and relationships so that all will experience God through Jesus Christ".

The images associated with Covenant Harbor are of the water and shore of Geneva Lake and the minimally altered woods and lands that are the campgrounds.

In addition to the stated social mission, Covenant Harbor is an institutional conservator of those woods and lands is part of the Geneva Lakes Conservancy.

Mix of dwelling unit types and/or land uses

The 52 acre camp has a variety of buildings common to other year-round camp and retreat centers. There are some higher density buildings with bunk beds for summer camp cabins, some spaces with lower density housing for adults and families. There are also a variety of common use spaces, including meeting areas, a gymnasium, dining, and indoor/outdoor activity areas.

The camp is located on Geneva Lake and leans heavily into all the lake has to offer, including waterfront activities like swimming, canoeing and boating. The camp utilizes lawn areas for outdoor gathering and play. The "front lawn" along the lakefront is especially valued and used.

The Geneva Township parcels include cabins for 72 campers, the maintenance shop, meeting rooms, staff housing and recreational areas. Campers and staff in the township spaces use bathroom facilities utilizing well and septic.

Dwelling Unit Types and Land Uses located in the City of Lake Geneva	QTY
Buildings with Bunk Beds	15
Retreat Center with private rooms	1
Staff housing units	3
Activity Center/gymnasium	1
Meeting Rooms (some attached to cabins)	9
Camp Kitchen and Dining Room	1
Geneva Bay Center Kitchen and Dining	1
Boat House	1
Tent/Pavilion	1
Bathhouse (supplements dining hall bathrooms)	1
Front Lawn (entire lakefrontage)	1
Swim areas	2
Ropes Course	1
Other Outdoor gathering areas	7
Storage sheds (by Tent and Staff Housing)	2
Total	47

Residential densities and non-residential intensities

The Landscape Zoning District of the Dining Commons and Covenant Harbor is applied as Estate Residential, ER -1, per Table 98-305.

Floor Area Ratio: The proposed Floor Area Ratio complies with the Lake Geneva Zoning Ordinance. The proposed Floor Area Ratio is 0.034. The Maximum Allowed FAR is 0.100. Refer to the supporting documents included with this application.

Impervious surface area ratio:

The proposed impervious surface ratio complies with the Lake Geneva Zoning Ordinance and the requirements.

The impervious surface area ratio is the complement to the landscape surface ratio.

The proposed impervious surface area ratio is 11%. The maximum impervious surface area ratio is 40%.

Refer to the supporting documents included with this application.

Treatment of natural features:

We wish to keep our site as natural as possible with as little disruption of the existing woodland as possible. We have gone to great effort to minimize the impact on the site, including minimizing retaining walls, impervious surfaces and tree disruption. We are looking to add net new 4 parking spaces. We propose a minimum of paving and parking associated with this plan because the dining functions should be considered as an accessory service to functions already taking place on camp grounds. For example, campers are residing in other buildings, using other bathroom facilities.

Relationship to nearby properties and public streets

We do not expect this to have any negative impact on nearby properties or public streets. The proposed building exceeds all setback requirements. This building is deep into Covenant Harbor's 52 acres. The nearest corner of the new building is approximately 1,503 feet from the entrance to the camp on HWY 50. It is approximately 482 feet from the nearest neighbor residence and over 110 feet to the nearest neighbor property line. It is approximately 215 feet from the Geneva Lake high water mark.

The new building is in the same location and of the same purpose as the one we hope to replace. This building is not generating any new traffic on the camps private roads or city streets. If anything, we expect it to reduce traffic because the new dining facility has twice the food inventory space of the previous building, which will result in fewer food deliveries.

This building will not generate any new noise or odors. As with our other buildings, external lighting will be minimal and will face downwards as we are interested in keeping the camp grounds dark at night so campers can appreciate nature and the stars.

The building will be a visual improvement over its predecessor, built of higher quality materials. The building will capture and filter new stormwater before it enters the lake, thereby helping the water quality of the lake. We are planting generous quantities of landscaping, focusing on native vegetation and trees, including maples and oaks.

Statement of Rationale as to why PD zoning is proposed:

Covenant Harbor is a unique property, delivering unique services within the city. The property is a mix of short-term housing, recreational activities, meeting rooms, dining, programs and more. The camp is many things at the same time. It is also not just housing or dining. Camp has rhythms of use that are different from most other businesses. Guests and staff flow from one part of camp to the other. Each part serves its purpose while complementing the other parts. Without PD zoning consideration, projects may be viewed as a standalone improvement, which is likely to miss the fact that the camp is part of a larger ecosystem. A PD review for a camp such as Covenant Harbor is the best process to deliver the most common sense results for the land, guests program and community.

List of Zoning Standards Not Met:

The PIP as submitted is not failing to meet any zoning standards.

Section 4 A Precise Implementation Plan Drawing

See included documents.

Section 5 A Property Site Plan Drawing

See included documents.

Legal Description

Vol 633 page 292

Covenant Harbor legal description:

A tract of land situated in the County of Walworth, and State of Wisconsin described as follows: Beginning at a point in the North and South $\frac{1}{4}$ line of Section 35, Township 2 North, Range 17 East of the Fourth Principal Meridian which is 11 chains and 34 links North of the South line of said Section measuring on said $\frac{1}{4}$ line marked by a stone monument, octagonal at the top, with lead in its center and situated at the North East corner of a tract of land conveyed to Nathaniel K. Fairbank by Mary D. Sturges by deed bearing the date the 18th day of December, 1891; running thence South $4\frac{1}{2}$ degrees East 5 chains and 60 links to a second stone monument like the one aforesaid; thence running South $22\frac{3}{4}$ degrees East 2 chains and 30 links, to a third like stone monument, thence running South 78 degrees East 2 chains and 31 links to a fourth like stone monument; thence running South $80\frac{1}{4}$ degrees East 5 chains and 65 links more or less to the waters of Geneva Lake, which last mentioned course passes also through a like fifth stone monument placed in said course at a point therein 360 feet more or less eastward from the fourth stone monument aforesaid; thence North Easterly along the shore of Lake Geneva to the South West corner of a tract of land heretofore conveyed by Shelton Sturges to Levi Z. Leiter by deed bearing date the 28th day of September A.O. 1878 and recorded in the office of the Register of Deeds in and for Walworth County aforesaid, on the 28th day of October 1878 in Volume 63 of Deeds at page 43; running thence North $54\frac{1}{2}$ degrees West to a point at the South East corner of a tract of land conveyed to Mary D. Sturges by Levi Z. Leiter by deed bearing date the 6th day of September A.D. 1892 and recorded in the office of the Register of Deeds in and for said Walworth County on the 8th day of December 1892 in Volume 84 of Deeds at page 626; running thence North Westerly along the Easterly boundary of said tract of land to the North Westerly corner thereof; running thence by an arc (convex towards the West) with a radius of 575 feet, whose chord bears North $27\frac{1}{4}$ degrees West 95 feet to a like stone monument; running thence North $17\frac{1}{4}$ degrees West 265 feet to a like stone monument; running thence by an arc (convex towards the west) with a radius of 904 feet

whose chord bears North $\frac{3}{4}$ of a degree West, 366 feet to a like stone monument; running thence by an arc (convex towards the East) with a radius of 387 feet, whose chord bears north $7\frac{1}{4}$ degrees West 263 feet to a like stone monument; running thence North $28\frac{1}{2}$ degrees West 107 feet to a like stone monument; running thence by an arc (convex towards the West) with a radius of 598 feet whose chord bears North 5 degrees West 222 feet to a like stone monument; running thence by an arc (convex towards the West) with a radius of 598 feet whose chord bears North $16\frac{1}{4}$ degrees East 259 feet to a point in the center line of Main Street (heretofore known as the "Geneva and Delavan Road") in the City of Lake Geneva in said Walworth County which last mentioned arc extends over a like stone monument placed in the south line of said Main Street; running thence Westerly in the center line of said Main Street 553 feet more or less to the point of intersection of said centerline with the center line of road, running Southerly through the South $\frac{1}{2}$ of section 35 aforesaid; running thence Southerly and Westerly along the centerline of said road to a point in said center line due West of the place of beginning, running thence East 439 feet more or less to the place of beginning.

Paving and Parking

We will continue to use the same parking areas as with the previous hall, the larger parking lot to the immediate South of the Dining Commons and the row of parking to the East and Northeast of the Dining Commons. We propose to add 4 net new parking spaces: 3 stalls in the turn around area and 1 spot gained parking strip to the Northeast of the building due to improved configurations.

As discussed previously, we wish to keep our site as undisturbed as possible, that is, with as much existing woodland as possible. We propose a minimum of paving and parking associated with this Proposed Implementation because the parking requirements for the Dining Commons should be determined as an accessory addition to an established guest population rather than an independent generator of a specialized population.

The primary purpose of the Dining Commons is to provide meals and conversation areas for guests of Covenant Harbor. Almost without exception, guests park vehicles in the main parking lot South of the dining hall or near their sleeping accommodations upon arrival. Often these vehicles are vans or cars occupied by multiple passengers. A large number of youth guests arrive in buses which leave the campgrounds after guests have been dropped off and return several days later to pick them up at the end of their stay. Once on site, guests are encouraged to not use vehicles to better enjoy the natural setting of the camp grounds. That minimizes traffic and enhances camper safety by reducing potential interaction between people and vehicles. The campground is primarily a pedestrian experience for the campers. But the operations of the campgrounds require a minimum of regulated vehicles, including emergency vehicles. A minimum of paved roads and parking is our goal.

Covenant Harbor provides on site transportation assistance to guests when requested. Transportation service accommodates those who have difficulty walking or need assistance. These accommodations are pre-arranged or upon request from a guest or at the direction of staff.

Outdoor storage

Other than the maintenance shop, located in Geneva Township, the camp does not store items outside for the safety of the campers and guests. The PIP shows a dedicated location for dumpsters adjacent to the proposed Dining Commons. This will be screened with block and wood that are pleasing to the eye, yet provide needed functional access. The screening will be similar the the image below:



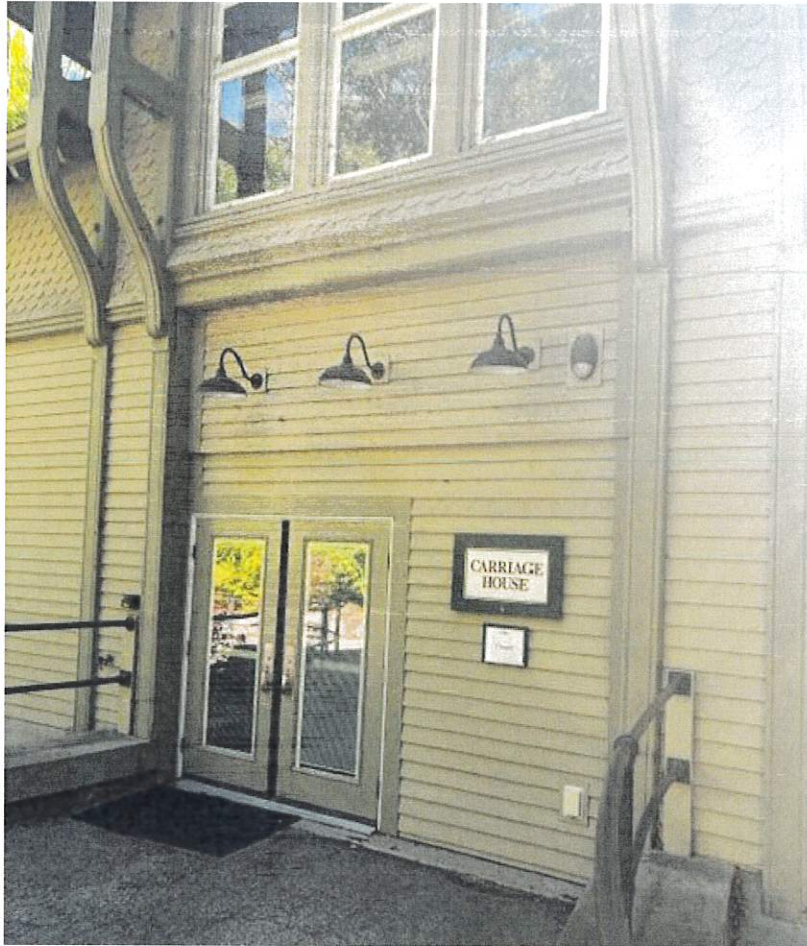
Exterior lighting

All exterior lighting will be in compliance with Section 98-707. Exterior lighting at the camp is purposefully and consistently kept to a minimum so that guests may experience nature and the stars. Exterior lighting mounted to the building will be directed downwards and limited to the entrance areas of the building. Lights mounted near entrances will be consistent with other lighting at the camp.

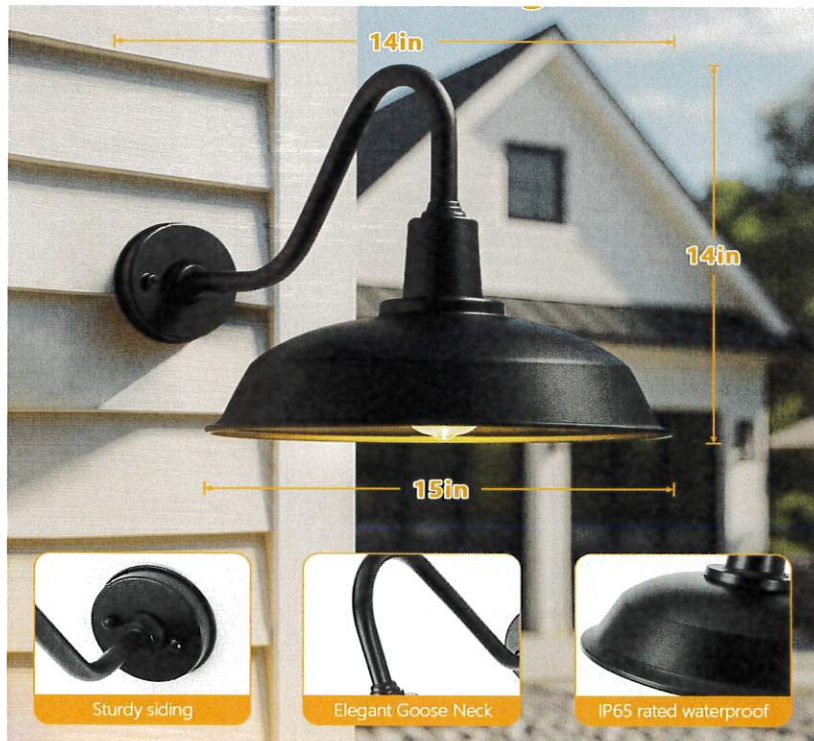
As with the current dining hall, the camp will have minimal pathlighting to ensure guests can safely navigate the walkways leading to and from the exits. The camp wishes to continue its broader camp exterior lighting plan with the proposed building. These pathlights will be mounted on posts less than 36" high, with lighting directed downwards. See photo examples below of current and proposed lighting.



Example of path lighting at Covenant Harbor



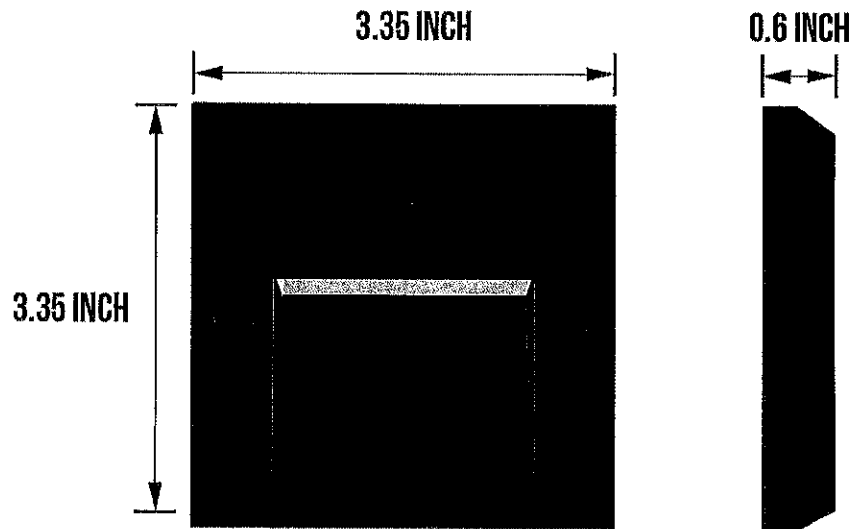
Example of Finishes: Carriage House--siding, exterior lighting, signage



Product information for Building Exit Mounted Lights

Technical Details

Brand	Evkcevla
Color	Black
Material	Metal
Style	Country Rustic
Product Dimensions	22.8"L x 15"W x 13.7"H
Specific Uses For Product	Outdoor use only
Power Source	AC/DC
Installation Type	Flush Mount wall
Special Feature	Waterproof
Light Source Type	LED
Finish Type	Painted
Number of Light Sources	1
Voltage	110 Volts (AC)
Lighting Method	LED
Wattage	60 watts
Bulb Base	E26
Color Temperature	3000 Kelvin
Model Name	9005
Item Weight	6.69 pounds
Item model number	E9005-15in-B1



Product information for Post Lights

Technical Details

Brand	GKOLED
Color	Black
Material	Aluminum, powder coated
Product Dimensions	3.35"L x 0.6"W x 3.35"H

Indoor/Outdoor Usage	Outdoor
Power Source	AC/DC
Installation Type	Flush Mount
Light Source Type	LED
Voltage	12 Volts
Light Color	Warm White
Lighting Method	Downlight
Specification Met	UL Listed
Wattage	1.5 watts
Bulb Base	GU10
Brightness	70 Lumen
Efficiency	High Efficiency
Color Temperature	3000 Kelvin
Item Weight	1.79 pounds
Item model number	GKOLDN1W512V30KAB
Special Features	Energy Efficient, Low Voltage, Waterproof

Section 6 A landscaping plan for the subject property

The Proposed Implementation Plan meets and exceeds the City's landscaping requirements.

Great effort was taken to both minimize the removal of trees for this project because the camp is committed to provide a wooded environment across its 52 wooded acres. The location of the proposed dining facility foundation and disturbance area is not located in a woodland district, simplifying landscaping replacement requirements.

The watermain connection, however, running approximately 201 linear feet, will pass through a woodland district. For this woodland district run, we have the ability to relocate three trees that were planted in 2003 that are in the path of the watermain. One 3" sugar maple will need to be removed to run the line. Landscaping requirements below assume Estate Residential (ER-1) multipliers.

The proposed building has a gross floor area footprint of 16,785 sq ft. and 604 LF building foundation.

Total landscaping ordinance minimum requirement: 743
Total landscaping points provided by new materials: 1,096

Table 98-603: Landscaping Points and Minimum Installation Sizes scores the 3" sugar maple lost from the water main installation at 75 points.

Table 98-604 Building Foundation Landscaping requires 242 landscaping points.

Table 98-605, Developed Lot Landscaping requires 336 points. By calculation that the 51.7 acre site is half wooded with 50 existing climax trees per acre, 95,625 points attributable to the existing site.

Table 98-606 Street Frontage Landscaping Requirement is not applicable as this project is approximately 1,500 feet from a public street. Existing landscaping points are in excess of the requirement.

Table 98-607, Paved Area Landscaping requires 90 landscaping points

The total landscaping points provided by the existing climax forest fulfills the purpose of Section 98-601 and the values and purposes of Covenant Harbor.

Landscape surface area ratio:

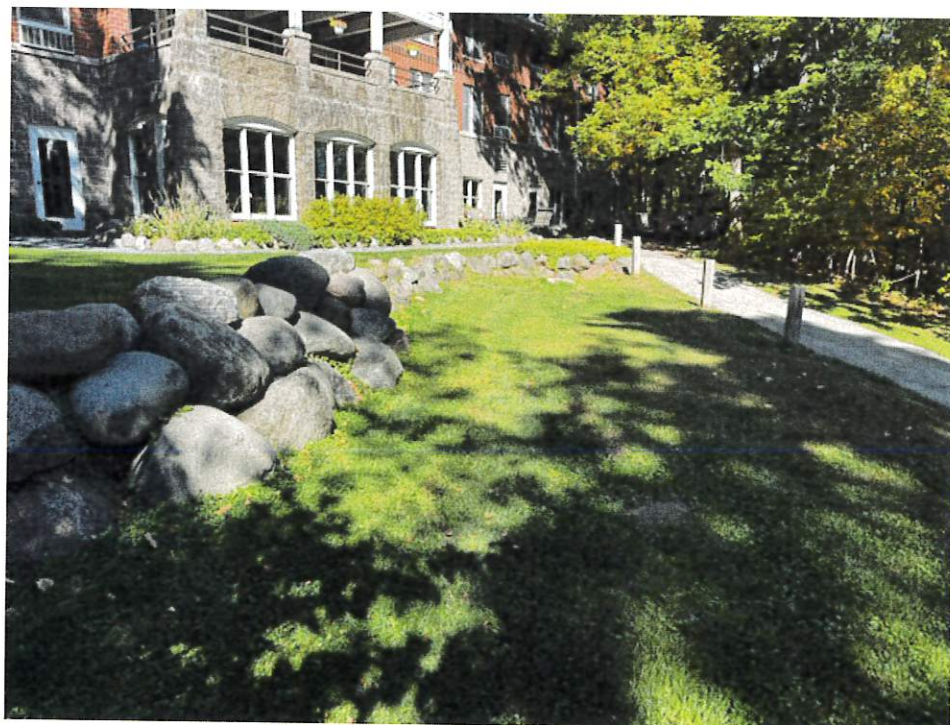
The proposed Landscape Surface Ratio complies with the Lake Geneva Zoning Ordinance.

The proposed landscape surface ratio is 89%. The Minimum Landscape Surface Ratio 60%.

Refer to the supporting documents included with this application.



Example of Patio: Twins Patio--pervious surface



Example of stone retaining walls and path lighting

Floor Area Ratio**Existing Buildings**

Number (a)	Name	Area, SF (b)
1	Staff House	998
2	Lodge	10,600
3	Twin 1	1,330
4	Twin 2	1,330
5	Carriage House	2,855
6	Gate House	1,401
7	Guest House	2,516
8	Boat house	1,804
9	Hilltop	3,398
10	Worship Tent	3,684
11	Knoll	2,082
12	Office	1,603
13	Bath House	1,718
14	Ropes Building	648
15	Geneva Bay Centre	10,000
16	Snug Inn	1,063
17	Ropes Course	64
18	Stuga	705
19	Generator Shed	126
20	Maple Shed	380
21	Kishwauketoe A	665
22	Kishwauketoe B	665
23	Kishwauketoe C	665
24	Kishwauketoe D	665
25	Kishwauketoe E	665
26	Kish Director	272
27	Kish Treehouse	100
28	Maple Commons-restroom	324
29	Maple Commons-restroom	420
30	Maple Commons-Elm	396
31	Maple Commons-Hickory	324
32	Maple Commons-Ginkgo	396
33	Maple Commons-Walnut	324
34	Maple Commons-Oak	324
35	Maple Commons-Maple	324
36	Maple Commons-Buckeye	324
37	Maple Commons-Birch	396
38	Engebretson Lodge	2,866
39	Arts and Crafts	1,484

40	Maintenance Shop	4,000
41	Activity Center	13,033
	Total building footprint area-sf	76,937
Existing Site Area (c)		
	Geneva Township property -acres	12.692
	City of Lake Geneva property -acres	39.041
	Total property-acres	51.733
	Total property area-sf	2,253,489
Existing Floor Area Ratio		
	Existing Floor Area Ratio (d)	0.03414
Proposed Floor Area Ratio		
	Current Lodge-to be demolished	-10,600
	New Dining Commons	16,785
	Net New Floor Area	6,185
	Total floor area = existing +proposed	83,122
	Proposed Floor Area Ratio (e)	0.03689
Maximum Allowed FAR (d)		0.100
Landscape Surface Ratio: Impervious Surface Ratio		
Existing Site Area (c)		
	Geneva Township property -acres	12.692
	City of Lake Geneva property -acres	39.041
	Total property-acres	51.733
	Total property area-sf	2,253,489
Existing buildings-Impervious Area		76,937
Existing pavement-Impervious Area		165,875
Existing Impervious Area		242,812
Proposed building area		6,185
Proposed added impervious area		6,709
PIP Impervious Area		255,706
Proposed Impervious Surface Ratio		11%
Proposed Landscape Surface Ratio		89%
Minimum Landscape Surface Ratio		60%

Footnotes:	
a	Numbering based on private insurance records
b	Areas derived from site measurements and recorded information
c	Recorded Plat of Survey, January 1950
d	Subject to standards of Table 98-305, assuming Estate Residential
e	existing and proposed combined

Section 7 A Series of Building Elevations

Covenant Harbor will extend architectural elements of existing buildings to the proposed Dining Commons, including color, stone, rooflines, and other flourishes. Building materials and look will be consistent in design, quality and character with other buildings at the camp like the Twins, Carriage House and Engebretson Lodge. See photos of the referenced buildings below.

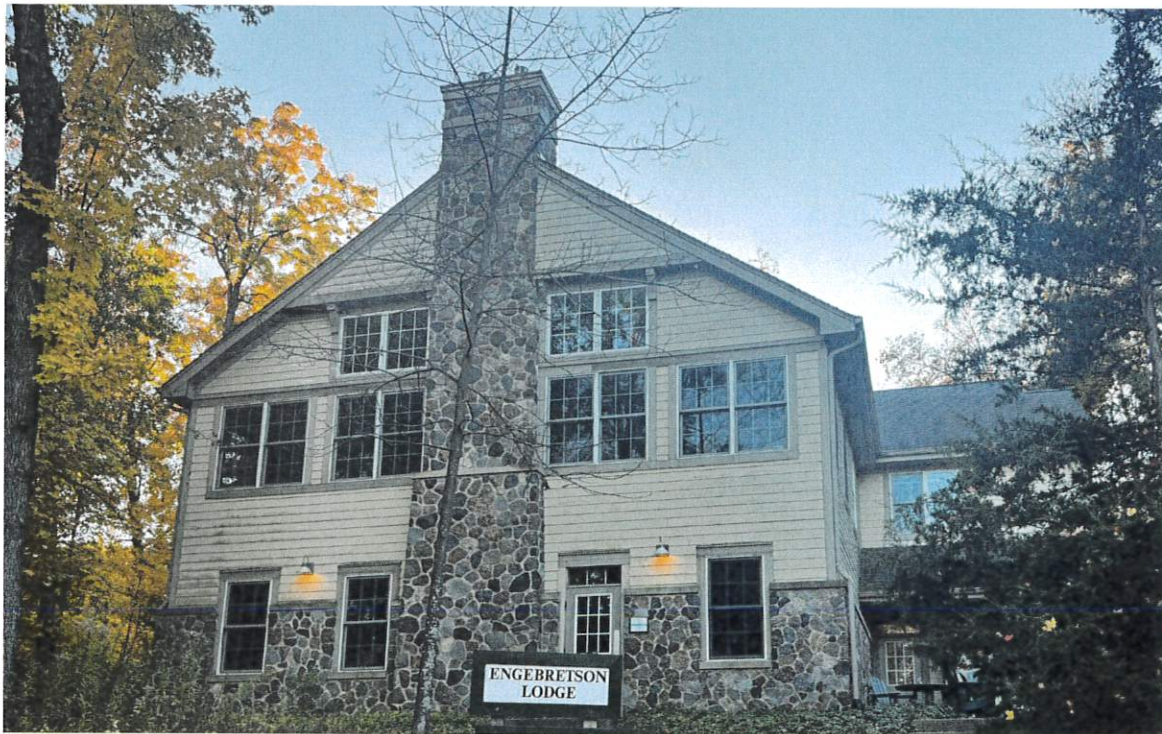
- Granite at some lower portions of the structure, patio pillars and the fire place
- Engineered lap siding and trim
- Asphalt shingles
- Wood and plate beam accents at peaks
- Pervious patio blocks
- Boulder landscaping accents wherever practicable.
- Tan Earth tones found on existing buildings will be color matched for continuity of look between camp buildings. An Earth tone blue is also planned for the exterior to provide additional interest to the building.



Example of Finishes: Twins Cabins--Stone, siding, lighting, signage, path lights, retaining walls



Example of Finishes: Carriage House--Stone, siding, lighting



Example of Finishes: Engbretson Lodge--Stone, siding, lighting, signage

Proposed Dining Commons Exterior Elevations

These elevations are representations of the final look and may not perfectly match the building footprint as identified in the site plan. The site plan from Cardinal Engineering is the definitive and superior exterior footprint for the proposed building and the exterior renderings will conform to the Cardinal Engineering Site Plan. For example, the Northeast and Southeast elevations shown below do not reflect that the uphill side of the building will be against earth.



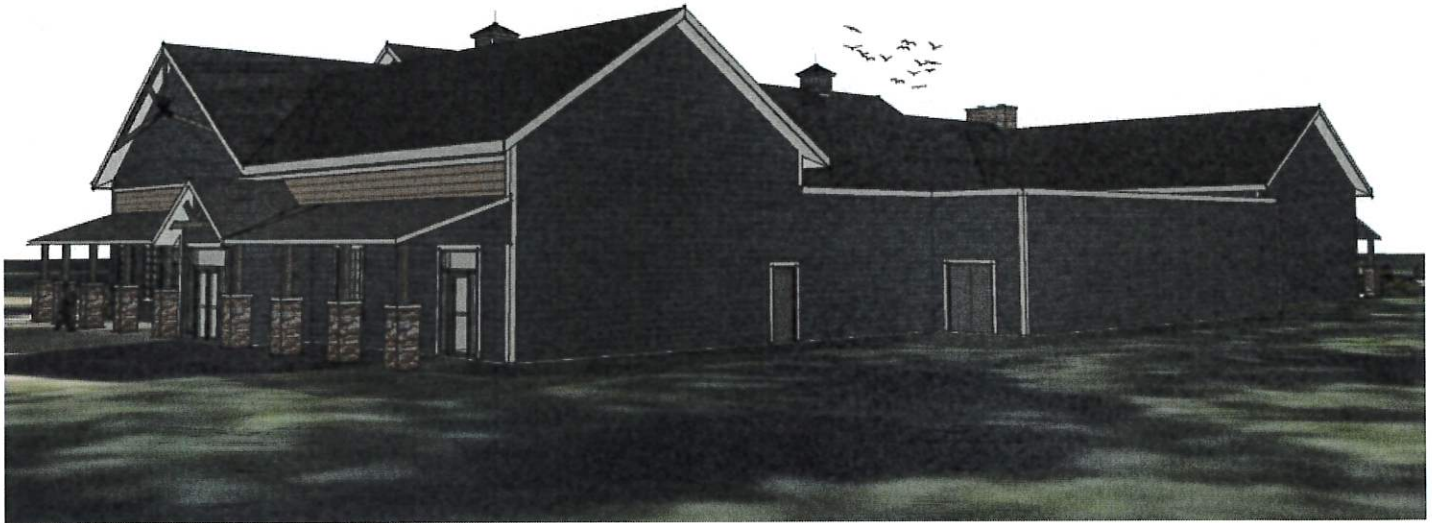
NORTH EAST ISOMETRIC



SOUTH WEST ISOMETRIC



NORTHEAST ISOMETRIC



SOUTHEAST ISOMETRIC

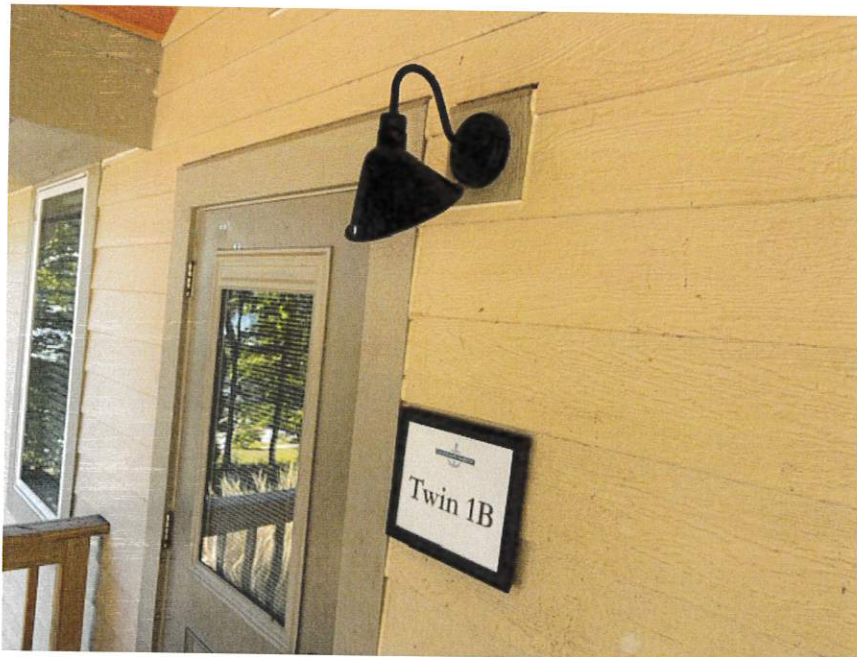
11

Section 8 A general signage plan

Signage will be minimal, simple and consistent with the other signage around camp. It will be in compliance with city standards and common practices. The signs will not be illuminated and will look like the examples provided in this submission document. This building will consist of two exterior, non illuminated signs, with dark green wood trim similar to the one below. The signs will be placed near the walkways leading to the main entrances. One sign will be located at the North end of the building, one sign will be located at the South end of the building.



Example of signage



Example of Finishes: Twins-siding, signage, exterior lighting

Section 9 A general outline of the intended organizational structure

The camp is not part of a property owners association. It has a board of directors which must authorize construction projects, operational budgets, camp policies and land agreements. The camp also has a conservation easement with the Geneva Lakes Conservancy, which is empowered to protect the natural values of the land, which, among other things, gives it a voice in the granting of easements and removal of trees.

Section 10 Consistency of the Proposed PIP with the Approved GDP

The position of the Dining Commons structure has shifted several feet closer to the lake and reduced approximately 7% in footprint. These adjustments were appropriate to conserve trees, reduce impervious surface and reduce retaining walls.

The turn around road has been altered slightly to better take advantage of the topography, reduce retaining walls, reduce impervious surface and conserve trees. This turnaround is for vehicle and guest convenience, but the new turnaround is designed to accommodate firefighting apparatus. A new fire hydrant will be installed at the North end of the building, with the location to be approved by both the Lake Geneva Fire Department and Director of the Lake Geneva Utility Commission.

The stormwater management approach has been upgraded and expanded to better meet the needs of the camp and stormwater management requirements. The approved GDP indicated that stormwater would be managed through a rain garden to the east of the proposed Dining Commons along the front lawn between the new building and the lake. As the stormwater mitigation calculations show that a larger rain garden would be required on the aforementioned lawn, the camp will instead install a compliant underground stormwater management system. See attached stormwater management plans.

Section 11 A written description of variations between PD/GDP

The camp does not propose to have a variance from the PD/GDP and the proposed PIP.

However, there are several grey areas that we request favorable and flexible interpretation for the greater good of the land and ministry. The areas of special consideration include:

1. The camp hopes the city will understand there will be negligible impact to public works. On paper, there may be changes in building occupancy or building DFUs, but the camp has decades of observation and understanding of guest behavior. The paper calculations are important, but city and state codes are unable to capture the nature of camp operations, which significantly differ from a typical restaurant, hotel, or city park.
2. The city has an easement for sewer and water which was implemented in 2002. The easement was provided at the request of the city at that time. Both city officials and Covenant Harbor recognize there may be a need to "clean up" the 2002 easement to provide better clarity on location and maintenance of the lift station in particular. The camp asks that this discussion of "cleaning up" the easement not be connected to the approval of the PIP because Covenant Harbor is not generating any new demands on the lift station as a result of this project.

Covenant Harbor is willing to offer a memorandum of understanding to allow the city to have continued access to the lift station while the easement discussions are sorted out.

3. The camp asks for contextual interpretation of the landscaping plan. Those who visit Covenant Harbor recognize its commitment to maximizing its woodland attributes. While the landscaping plan exceeds required points, the points focus on trees instead of shrubs. The camp is committed to having the camp look like natural woods over a manicured landscaped residential yard or business. As such, some landscaping points may not be planted directly at the disturbed construction area, but rather nearby in a way that maximizes the camp features.

Section 12 Proof of Financial Capability regarding Public Works:

Covenant Harbor has its own private utilities. The Dining Commons is a replacement of an existing dining hall. This building is not intended to increase guest volume on the property.

Sanitary System: The proposed Dining Commons has an estimated DFU increase of 7 compared to the current building, with 40 water fixtures in the new structure compared to 42 in the current building. See table below.

Fixtures	Current Dining QTY	New Dining QTY	DFU/ea	Current Dining DFU	New Dining DFU
Toilets (public)	8	10	6	48	60
Urinals	1	3	2	2	6
Showers	4	0	2	8	0
Lav-size Sink (1 DFU)	21	16	1	21	16
Large Sink (2 DFU)	5	9	2	10	18
Residential Laundry (appliance)	2	1	4	8	4
Dishwasher (same; excluded from total)	1	1	See note	0	0
Total (excluding dishwasher)	42	40		97	104

Despite the increase in DFUs “on paper”, the proposed Dining Commons should not result in an increase in demand on the sanitary system either to the camp as a whole or with the proposed building specifically. The camp intends to serve the same number of guests, the same number of meals over the same time frames, there is no anticipated change in the quantity of dishes to be washed, toilet flushes, aprons to be laundered, etc.. Importantly, Covenant Harbor’s bed capacity is also decreasing by 52 people with this project, which would decrease demands on the systems.

The Utility Commission estimates that the current lift station is at 73% of its capacity. Concern over new demand on the sanitary system is to be reasonable and expected. The 7 DFU increase from the old building to the new building is about the equivalent of adding one toilet, which is at 6 DFUs. While it is possible a camper may use the rest room in the proposed building, it is just as likely they will use the rest room back in their sleeping cabin or other provided facilities around the camp. Our decades of experience running camp gives us high confidence that all effluent levels and peak flows will remain similar with or without the proposed building with all effluent flowing to the same lift station.

Questions may arise if the camp or city may expect to see any change in the peak flow rates which could increase demand on the sanitary system. Even though the building occupancy will increase, the camp does not expect any change in water or sewer patterns either by hour, day or season compared to current patterns. See Anticipated Use table below.

Special consideration is requested to interpret Covenant Harbor’s new demand on the sanitary system and lift station as insignificant so as to not require upgrades to components of the sewer lines or lift stations. In the event that Covenant Harbor one day outgrows the capacity of the lift station, that can be dealt with at that time. After this project, the lift station capacity should still remain close to 73%.

Anticipated Use Table	Current Lodge	Proposed Dining Hall	Change
Hours of occupancy -Dining	7:00AM-8:00PM staff 8:00AM-6:30PM guests	7:00AM-8:00PM staff 8:00AM-6:30PM guests	No change
Hours of occupancy-Lodging	24/7	n/a	Housing removed in new building
Building Occupancy Capacity	Approx. 324	Est. 470	Est. 146 increase in legal capacity
Lounge use	n/a	20-40 people may use lounges outside of peak meal times	20-40 people during off peak hours
Peak Loads Peak use of camp is mid June-mid August during summer camps. Camp serves guests at other times of the year, but with	Overnight camps Sunday evening - Friday afternoon. Day camps Monday-Friday Meals significantly reduced	Overnight camps Sunday evening - Friday afternoon. Day camps Monday-Friday Meals significantly reduced	No change

lower intensity.	on weekends in summer.	on weekends in summer.	
Meals Served	350 people breakfast 7:45-8:30AM (one seating) 450 people lunch 11:30-1:00PM (two seatings) 350 people dinner 5:30-6:15PM (one seating)	350 people breakfast 7:45-8:30AM (one seating) 450 people lunch 11:30-1:00PM (two seatings) 350 people dinner 5:30-6:15PM (one seating)	No change
Water/Sewer Use	Distributed around camp	Distributed around camp	No change

Water: As the new Dining Commons will require a sprinkler system, the camp is increasing the water main by extending an 8" water line from an existing private hydrant located adjacent to a building called Twin 2 approximately 201 ft. west of the proposed building. This watermain will also supply the potable water for the building. This run is the most economical, least disruptive to woods and will provide water supply that exceeds the service the needs of the building. While not required because an existing hydrant is less than 300 ft to the building, Covenant Harbor will install an additional fire hydrant adjacent to the new Dining Hall for the convenience and safety of the Lake Geneva Fire Department.

The city currently provides an 8" water main via an existing easement that runs approximately 1,100 ft from Snake Road to the South along a Covenant Harbor private road. This 8" line terminates near a fire hydrant located near a building called the Carriage House. From there, Covenant Harbor has documented 8" private lines which connect to two other downhill hydrants, one of which is located near a building called Twin 2 mentioned above.

Electrical: Alliant Energies will supply three phase electrical service to a new transformer for the proposed building. The upgraded service will come from an existing transformer near a building called Engbretson Lodge, located approximately 245 ft to the southwest of the proposed building.

Lift Station: Special consideration is requested regarding the city's lift station, which is located on Covenant Harbor's northeast corner of the camp's lakeshore frontage. The city has an existing easement for the lift station, but the electrical service for the lift station has been provided through Covenant Harbor's existing power grid since 2007. Covenant Harbor has paid for the city's electrical usage and not billed the city during that time. The service line to the lift station comes from our current lodge and is not separately metered. Upon demolition of the old Lodge, a new solution to power the lift station will be needed.

As the city and Covenant Harbor will require that the lift station be under continuous power during construction, the camp has made arrangements for a new transformer to be installed outside of the construction disturbance area, which will not only provide future service to the proposed building, but also allow for a new and permanent buried electrical line, of approximately 135 ft, to be run to provide service to the city lift station. While this is of additional expense and aesthetic inconvenience to Covenant Harbor, the camp is wanting to be helpful to the city through this solution. A billing meter for the lift station will be installed so the city can track and pay for the lift station power going forward. This approach is a common sense plan as it means the city does not need to run a 1,500+ ft power line from HWY 50 to the lift station, does not need to execute a new easement on Covenant Harbor property and does not impact any trees during the installation of the new line from HWY 50, which would run through woods the entire length of the run.

Covenant Harbor will be in ongoing communication and coordination with the Director of Lake Geneva Utility Commission to determine the best sequencing and execution of the electrical service to ensure uninterrupted coverage.

Natural Gas: There is currently a 2" diameter steel lateral line that terminates at the current dining hall. It has 5 lbs of pressure and is a 1M capacity, which is more than enough service to meet the needs of the new dining commons.

Water: As the new Dining Commons will require a sprinkler system, the camp is increasing the water main by extending an 8" water line from an existing private hydrant located approximately 201 ft to the west of the proposed building. This run is the most economical, least disruptive to woods and will provide water supply that exceeds the service the needs of the building. While technically not required because an existing hydrant is less than 300 ft. to the building, Covenant Harbor will install an additional fire hydrant adjacent to the new Dining Hall for the safety of guests and convenience to the Lake Geneva Fire Department.

Preliminary calculations were conducted to determine the meter size required for the proposed building. Calculations indicate that peak simultaneous domestic demand (non-fire) is approximately 27 GPM. This would indicate that a 2" service and meter check would be appropriate for the building

Covenant Harbor has been in continuous operation at the site since 1947 with a long and observed history of construction impacts, ongoing maintenance costs for its facilities and operation of public works elements. Specifically, the camp has an observed history of its existing dining hall utilization, which is to be replaced with this proposed dining hall. The camp will budget for ongoing maintenance and public works elements as it does for its existing facilities. The camp has no debt and as of November 2025, it has fundraised more than 92% of the expected project costs already, with the balance expected to be raised before construction begins, hopefully in August 2026. As such, there is high confidence in securing the needed financing. If needed, a loan will cover any funding gap.

Respectfully submitted,

Eric Anderson Covenant Harbor

End of document



**DINING HALL
COVENANT HARBOR BIBLE CAMP**

**City of Lake Geneva
Walworth County
Wisconsin**

Stormwater Management Report

Prepared By:

Erik Oldenburger

**Cardinal Engineering LLC
526 South Wells Street
Lake Geneva, WI 53147
262-757-8776**

Dated: **11-07-2025**

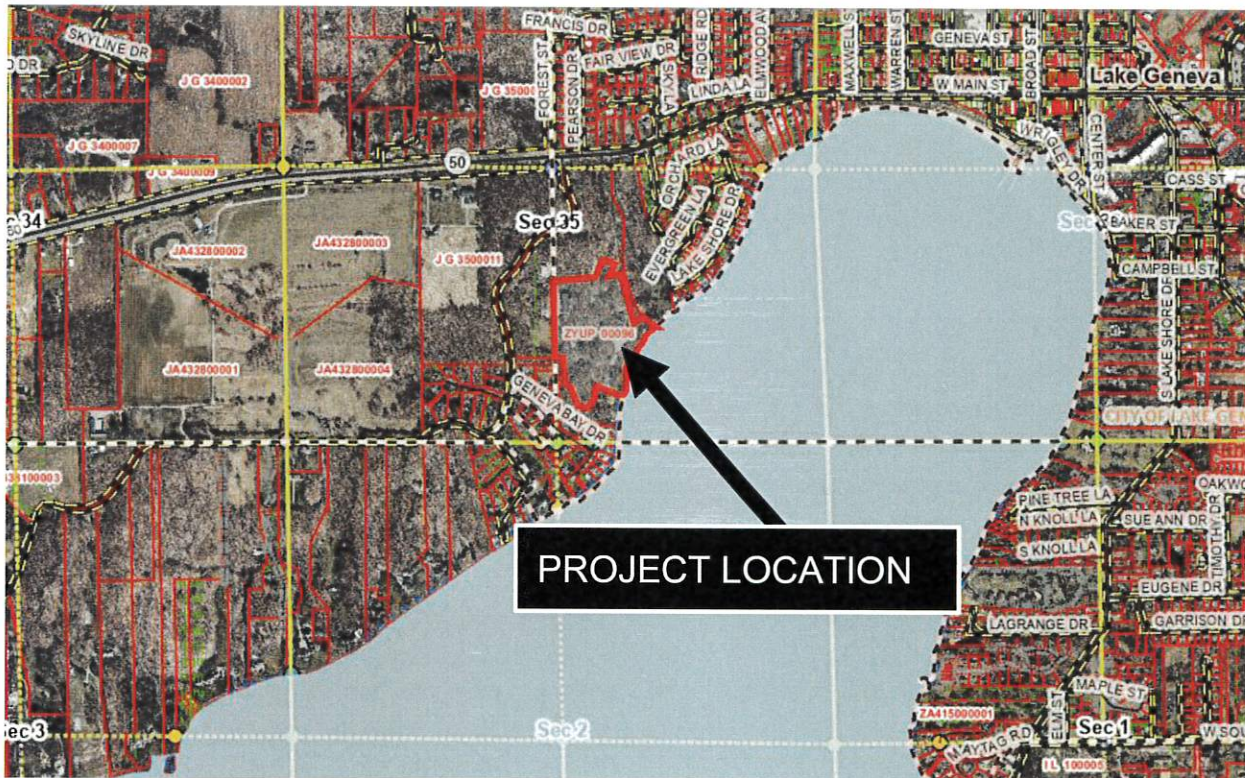
DINING HALL
COVENANT HARBOR BIBLE CAMP
PROJECT NARRATIVE

Location and Executive Summary

The subject property is located as follows: Lot 1 and a portion of Outlot 1 of Certified Survey Map No. 2546, a portion of Outlot 1 of Certified Survey Map No. 958, and unplatted lands located in government lot 2 and government lot 3 of Section 35, Township 2 North, Range 17 East, in the City of Lake Geneva, Walworth County, Wisconsin. The project is located on a private drive and is approximately 1600 feet south of State Trunk Highway 50. The project is proposed on the campgrounds on the lot with the tax key ZYUP 00096. The site generally drains into Lake Geneva.

Site Location Maps

Site Area Overview



PROJECT NARRATIVE

Covenant Harbor is proposing the reconstruction of a Dining Hall facility located on the existing camp property. The project will include the construction of one new building and improvements to the existing driveway to better accommodate access and circulation. The proposed development replaces the existing dining hall, driveway, and deck, all of which will be removed as part of the site redevelopment. The existing site drains generally from northwest to southeast toward Lake Geneva. The proposed site improvements will maintain this general drainage pattern. Stormwater management for the site will be provided through an underground storage best management practice (BMP) system designed to capture and treat runoff from the new impervious areas. The system will provide temporary detention and promote water quality treatment before discharge to Lake Geneva. Due to the topography of the site and the proposed grading, retaining walls will be incorporated into the design to support the new building pad and improve site functionality. The controlled discharge will flow southeast and ultimately enter Lake Geneva. The design ensures no increase in peak runoff or adverse impact to downstream properties, and stormwater quality measures will serve to reduce total suspended solids (TSS) and improve overall water quality entering the lake.

STORM WATER NARRATIVE

Existing Stormwater Runoff Basin Summary

Below is a summary of the drainage of the drainage basin within the analyzed portion of the site:

Existing Drainage Basin:	68,563 sf (1.574 ac)	
Existing Pervious Surfaces:	54,110 sf (1.242 ac)	
Existing Impervious Surfaces:	14,453 sf (0.331 ac)	
Total Proposed Drainage Basin:	68,563 sf (1.574 ac)	
Draining to Proposed BMP:	17408 sf (2.158 ac)	
Pervious Surfaces:	0 sf (1.575 ac)	
Impervious Surfaces:	17408 sf (0.582 ac)	
Uncaptured Runoff Bypassing BMP:	51,155 sf (1.174 ac)	
Pervious Surfaces:	29,315 sf (0.673 ac)	
Impervious Surfaces:	21,840 sf (0.501 ac)	
Total Proposed Pervious:	29,315 sf (0.673 ac)	59.1%
Total Proposed Impervious:	39,248 sf (0.901 ac)	40.9%
Total Site:	68,563 sf (1.574 ac)	100.0%

Any minor errors in totals are due to rounding

TSS Reduction was calculated using a weighted average of 80% and 40% respectively for New Development and Redevelopment. Weighted average was calculated to 70% TSS Reduction.

Surface Type	SF	Percentage (%)	Weight	Weighted Value
Existing Impervious Surface	14453	40	0.40	5781.2
All Proposed Surface	68563			
All Proposed Surface - Existing Impervious Surface	54110	80	0.80	43288
Weighted Average				70.00%

City of Lake Geneva Ordinances (extracted applicable sections):

(4)Requirements. The stormwater management plan required under Subsection (h)(2) shall include the following:

a. Total suspended solids. BMPs shall be designed, installed and maintained to control total suspended solids carried in runoff from the post-construction site as follows:

1. BMPs shall be designed in accordance with Table 1 or to the maximum extent practicable as provided in Subsection (h)(4)a2. The design shall be based on an average annual rainfall, as compared to no runoff management controls.

2. Maximum extent practicable. If the design cannot meet a total suspended solids reduction performance standard of Table 1, the stormwater management plan shall include a written, site-specific explanation of why the total suspended solids reduction performance standard cannot be met and why the total suspended solids load will be reduced only to the maximum extent practicable.

**Table 1
TSS Reduction Standards**

Development Type	Total Suspended Solids Reduction
New development	80%
In-fill development	80%
Redevelopment and roads	40% of load from parking areas

[See TSS Reduction Summary. TSS Reduction of 70% has been achieved](#)

b. Peak discharge. BMPs shall be designed, installed and maintained to control peak discharge from the post-construction site as follows:

1. By design, BMPs shall be employed to maintain or reduce the one-year, twenty-four-hour, the two-year, twenty-four-hour, the ten-year, twenty-four-hour, and the one-hundred-year, twenty-four-hour post-construction peak runoff discharge rates to the one-year, twenty-four-hour, the two-year, twenty-four-hour, the ten-year, twenty-four-hour, and the one-hundred-year, twenty-four-hour predevelopment peak runoff discharge rates respectively, or to the maximum extent practicable.

2. The runoff curve numbers in Table 2 shall be used to represent the actual predevelopment conditions. Peak discharges shall be calculated using TR-55 runoff curve number methodology, Atlas 14 precipitation depths, and the appropriate NRCS Wisconsin MSE3 or MSE4 precipitation distribution. On a case-by-case basis, the City of Lake Geneva may allow the use of TP-40 precipitation depths and a Type II distribution.

3. Contribution runoff entering the project from off site may be excluded from detention calculations if the water is routed around disturbed areas by use of stable watercourse(s).

4. All open channel stormwater conveyance systems shall provide safe conveyance for peak flow from a twenty-five-year frequency, twenty-four-hour rainfall event within the defined channel banks.

5. Conveyance for the peak flow runoff from a one-hundred-year, twenty-four-hour event shall be provided such that no inundation of or damage to built structures shall occur.

6. Where feasible, all permanent storm sewer inlets must be stenciled by the permit holder as part of the water quality strategy for protection of surface waters and drainage to Geneva Lake.

7. Drainage systems may not result in transfer of drainage from one delineated natural drainage area to another if reasonable alternatives exist which would preserve natural drainage patterns. Drainage area delineations must be shown on the stormwater plan.

8. All stormwater basins shall be permanent, aesthetically pleasing, if practical, and safe. Subsurface bottoms of wet basins must provide a safety ledge consistent with required design criteria identified in Subsection (h)(1).

9. This subsection of the section does not apply to any of the following:

[a] A post-construction site where the discharge is directly into a lake over 5,000 acres or a stream or river segment draining more than 500 square miles.

[Proposed SWBMP will drain into Geneva Lake which is 5,401 acres.](#)

Existing Soils

A review of the NRCS Soil Survey indicated the existing soils of this project to be 7243B (St. Charles silt loam, 2 to 6 percent slopes), 7624B (Miami silt loam, 2 to 6 percent slopes), 7627C2 (Miami loam, 6 to 12 percent slopes, eroded), 7627D2 (Miami loam, 12 to 20 percent slopes, eroded). These soils have a hydrologic soil group rating of B.

Post-Construction Stormwater Management Plan

The site is designed so that the post-construction permanent best management practice (BMP) is placed at the lowest area of the site that is sufficient distance to allow for development and still serve a maximum area of the drainage basin. The site does not contain floodplain nor wetlands.

Water Quality

As previously discussed, the Regional Stormwater BMP provides water quality improvement for this site.

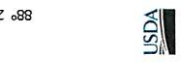
Section 3

Soils

Soil Map—Walworth County, Wisconsin



Soil Map may not be valid at this scale.




























Natural Resources
Conservation Service

Web Soil Survey
National Cooperative Soil Survey

11/7/2025
Page 1 of 3

MAP LEGEND

-  Area of Interest (AOI)
-  Area of Interest (AOI)
- Soils**
-  Soil Map Unit Polygons
-  Soil Map Unit Lines
-  Soil Map Unit Points
- Special Point Features**
-  Blowout
-  Borrow Pit
-  Clay Spot
-  Closed Depression
-  Gravel Pit
-  Gravelly Spot
-  Landfill
-  Lava Flow
-  Marsh or swamp
-  Mine or Quarry
-  Miscellaneous Water
-  Perennial Water
-  Rock Outcrop
-  Saline Spot
-  Sandy Spot
-  Severely Eroded Spot
-  Sinkhole
-  Slide or Slip
-  Sodic Spot
-  Spoil Area
-  Stony Spot
-  Very Stony Spot
-  Wet Spot
-  Other
-  Special Line Features
- Water Features**
-  Streams and Canals
- Transportation**
-  Rails
-  Interstate Highways
-  US Routes
-  Major Roads
-  Local Roads
- Background**
-  Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:15,800.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Walworth County, Wisconsin
 Survey Area Data: Version 22, Sep 10, 2025

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jul 30, 2022—Aug 18, 2022

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
7243B	St. Charles silt loam, 2 to 6 percent slopes	2.0	33.9%
7624B	Miami silt loam, 2 to 6 percent slopes	2.6	45.2%
7627C2	Miami loam, 6 to 12 percent slopes, eroded	1.0	17.1%
7627D2	Miami loam, 12 to 20 percent slopes, eroded	0.1	1.7%
W	Water	0.1	2.2%
Totals for Area of Interest		5.8	100.0%



STH 50

PROJECT LOCATION



GENEVA LAKE

1. PRESSURIZED WATER BEFORE ENTERING A

2. IT.

TESTING RESULTS.

3. APPLICABLE SPECIFICATIONS, EROSION MATS ARE PROVIDED HEREIN AND IN THE

4. EROSION MATTING FROM MAT #1052.

5. EROSION MATTING FROM

6. RETAIN THIS DOCUMENTATION UNTIL THE

7. STANDARD STORM DRAIN

8. STANDARD GRADING PRACTICES

9. A DNR HIGH CAPACITY WELL

10. WITH WDNR TECHNICAL STANDARD

11. 3 FEET OF DEPTH TO STANDARD SEDIMENT BASIN #1064 AND

12. INFILTRATION #1004.

13. PERENNIAL SEED MIXED WITH WINTER WHEAT, AS APPROPRIATE FOR REGION AND SOIL TYPE.

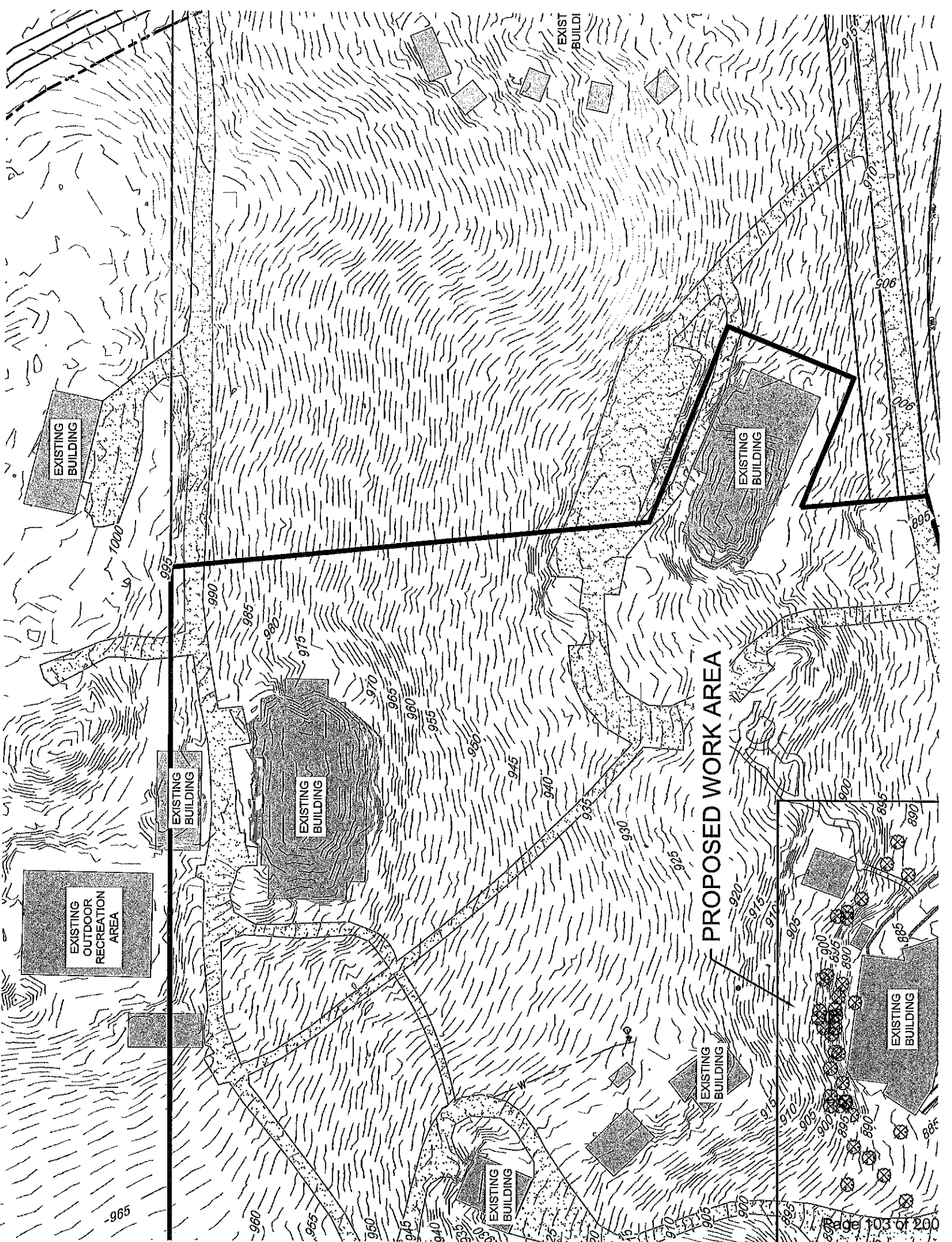
14. SEPARATE

15. ALLOW THESE MATERIALS TO BE CARRIED

16. CONSTRUCTION DEBRIS THAT WILL BE FILTER SOCKS, OR COMPACTED EARTHEN

17. WEATHER OCCUR.

18. SITE-SPECIFIC



EXIST BUILDING

EXISTING BUILDING

EXISTING BUILDING

EXISTING BUILDING

EXISTING BUILDING

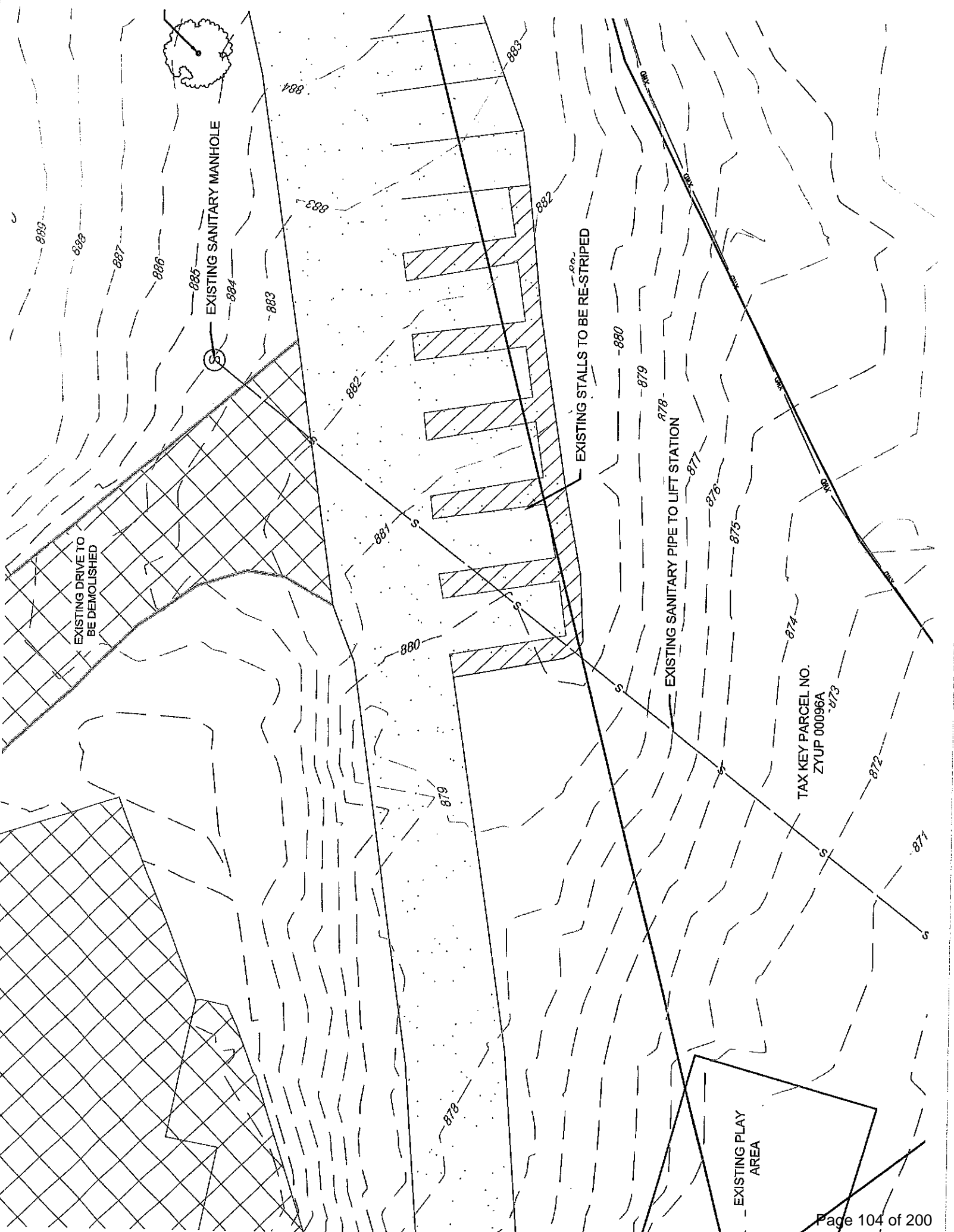
EXISTING OUTDOOR RECREATION AREA

EXISTING BUILDING

EXISTING BUILDING

EXISTING BUILDING

PROPOSED WORK AREA



EXISTING SANITARY MANHOLE

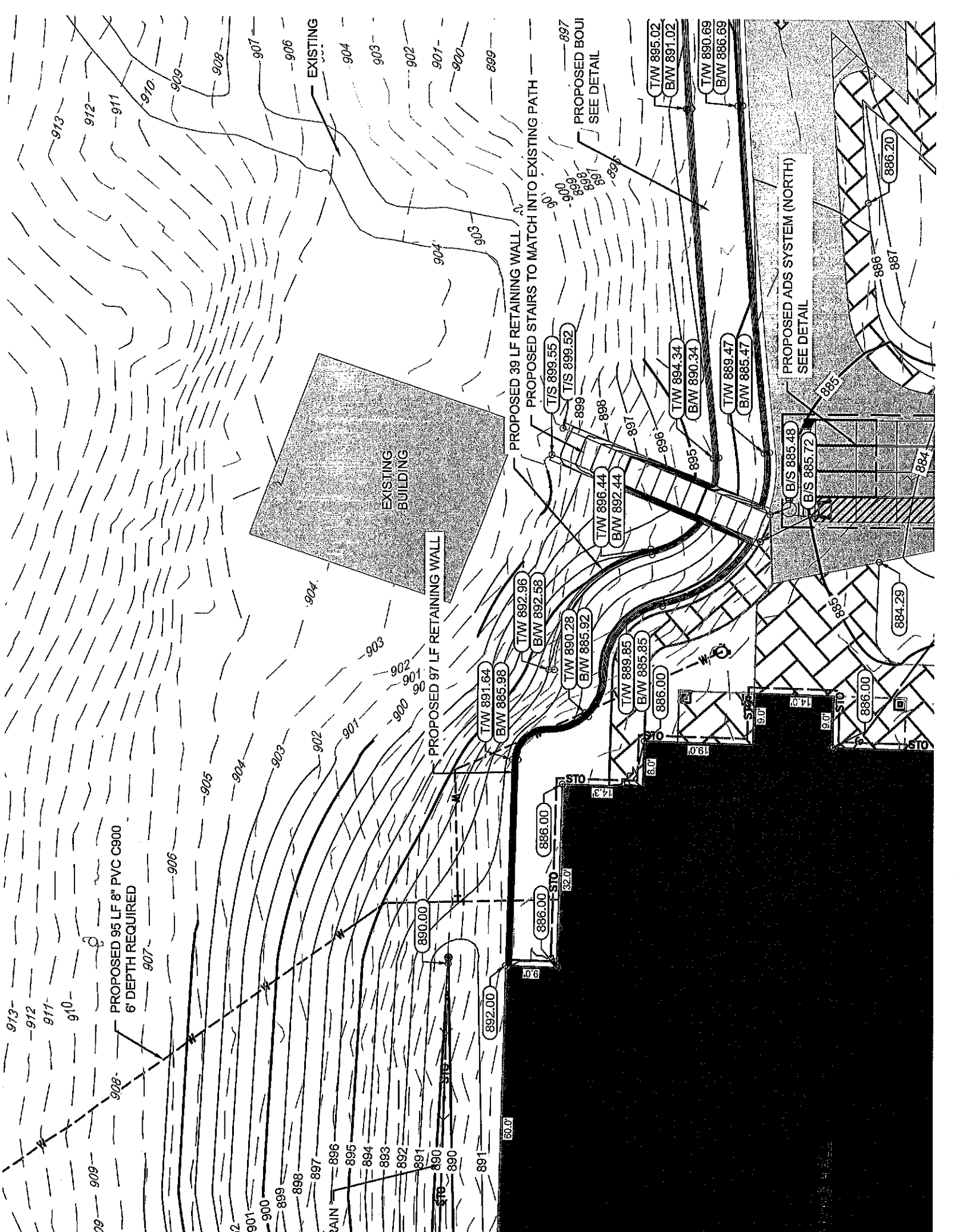
EXISTING DRIVE TO BE DEMOLISHED

EXISTING STALLS TO BE RE-STRIPED

EXISTING SANITARY PIPE TO LIFT STATION

TAX KEY PARCEL NO.
ZYUP 00096A

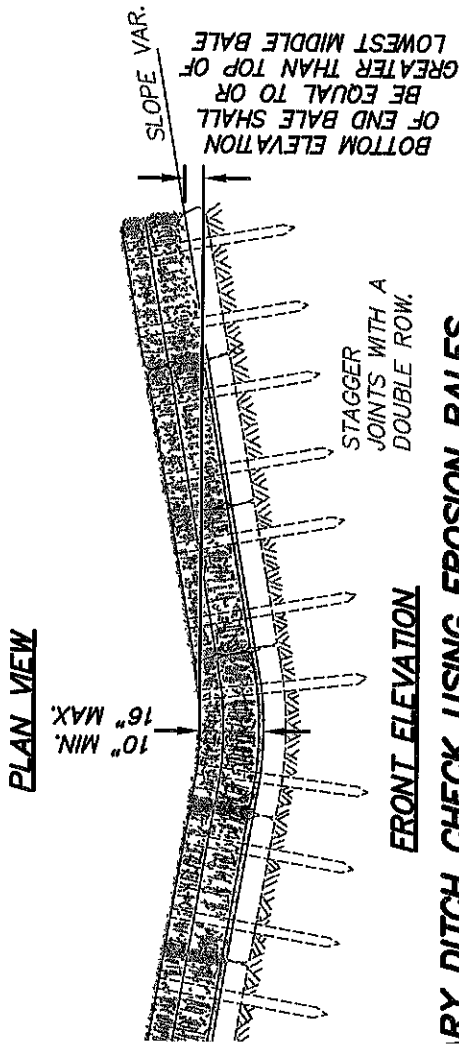
EXISTING PLAY AREA



IF ANCHORING DEVICES SHALL BE REMOVED AND RAFTERS UNPROTECTED WHEN THEY HAVE SERVED THEIR PURPOSE THE UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED.

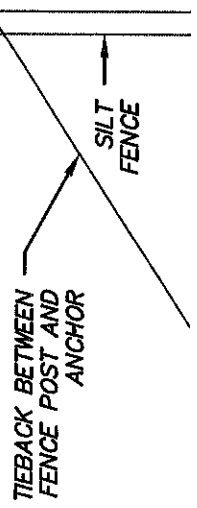
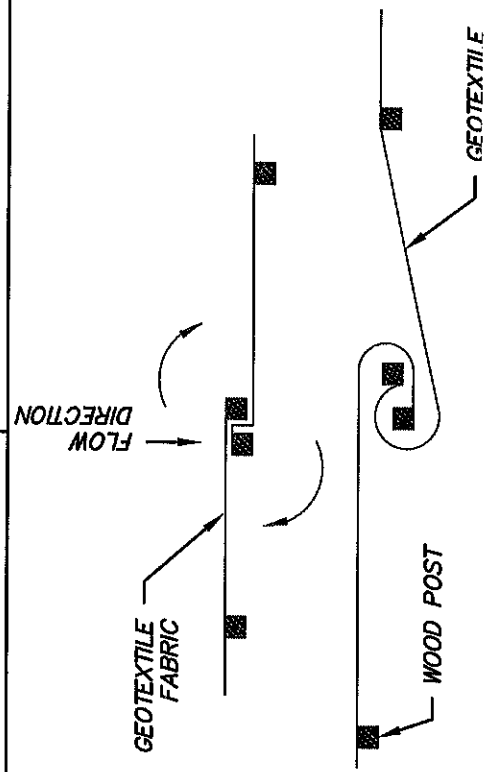
MAINTAIN IN PLACE AFTER THE SEDIMENT BALE BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO PARALLEL AND SEEDED.

LESS THAN 3 MONTHS.



ERY DITCH CHECK USING EROSION BALES

WOOD OR STEEL SUPPORTS AS SPECIFIED BELOW;
 OAK OR HICKORY; FABRIC SHALL BE STAPLED
 UPSLOPE SIDE OF THE FENCE IN AT LEAST 3 PLACES;
 24-INCH FENCE AND 4 FEET LONG FOR 36-INCH
 LENGTH OF 1.33 LBS/FT AND HAVE PROJECTIONS
 AT LEAST THREE PLACES ON THE UPSLOPE SIDE WITH



SIZE	H
4"	0'-8"
6"	1'-2"
8"	1'-3"
10"	1'-3"
12"	1'-4"
14"	1'-6"
16"	2'-0"
18"	2'-6"
20"	2'-9"
24"	3'-0"

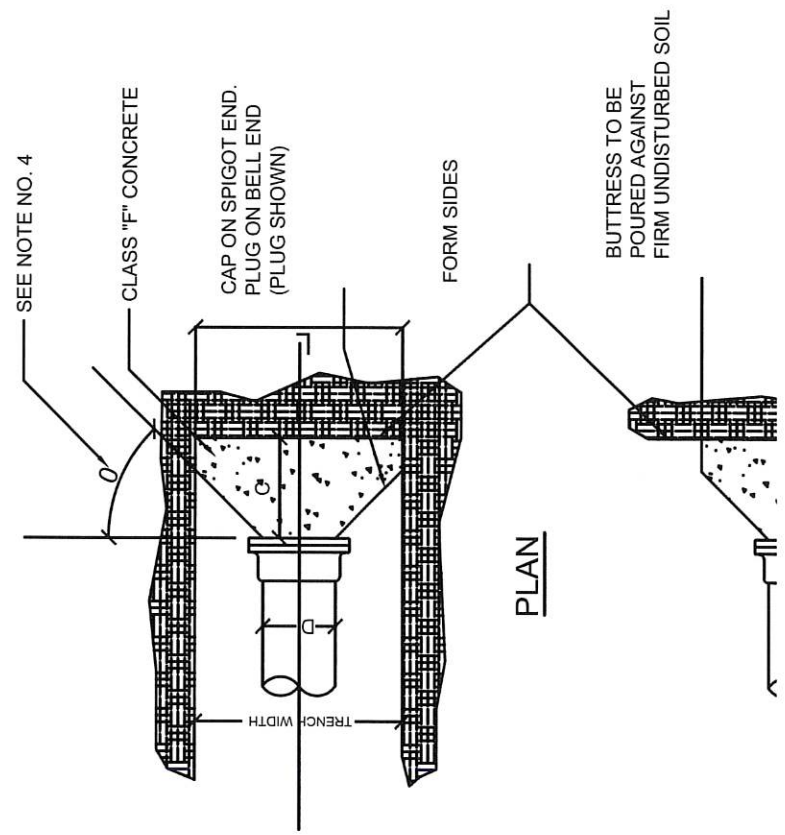
1-INCH 2.125" 1.653" 1.653"
 SIZE STAINLESS STEEL STIFFENERS OF COMPATIBLE SIZE AND CONNECTION TYPE
 WIRE SHALL BE THE SAME AS THAT SPECIFIED AND INSTALLED FOR WATERMAIN.
 CE PIPE SHALL HAVE 6' OF COVER FROM THE MAIN TO THE CURB BOX
 SHALL BE SEAMLESS FROM THE MAIN TO THE CURB STOP
 LL TRACER WIRE DIRECTLY ON THE PIPE, ATTACH TO THE OUTSIDE OF THE CURB BOX AND INSERT 12-INCHES OF SLACK WIRE THROUGH A
 DRILLED WITHIN 8-INCHES OF THE SURFACE.

SPECIFICATIONS

BOX SHALL BE MODEL/MANUFACTURER: TYLER 100F, SIZE 100G
 FERIOR RODS WITH CENTERING RING INSTALLED AT HIGHEST ALLOWABLE POSITION
 RIOR ROD SHALL EXTEND TO WITHIN 12-INCHES OF THE TOP OF THE BOX.
 BOX FLUSH TO FINAL GRADE
 IE BOX IS INSTALLED WITHIN PAVEMENT, SURROUND THE TOP 12-INCHES OF THE BOX WITH FLEXIBLE SHEET POLYSTYRENE AND CLEAN TOP
 AVEMENT MATERIAL.

RVICE FITTING SPECIFICATIONS:

R SERVICE CORPORATION SHALL BE MUELLER H-15008 OR MCDONALD 74701BQ
 R CURB STOP VALVE SHALL BE MUELLER MAR II ORISEAL H-15209 OR MCDONALD 76100Q
 R SERVICE TAPPING SADDLE SHALL HAVE DOUBLE STAINLESS STEEL STRAPS AND AN EPOXY/NYLON COATED CLAMP.

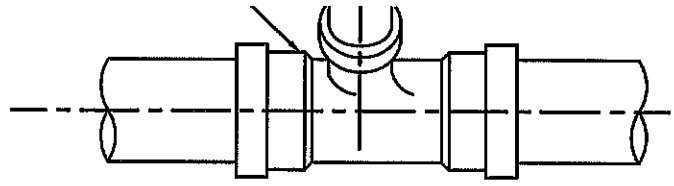


TRACER WIRE FOR SANITARY
SEWER SERVICE LATERAL

SERVICE LATERAL

SANITARY SEWER SPECIFICATIONS

1. SANITARY SEWER MAIN SHALL BE PVC SDR 35 GREEN CONFORMING TO ASTM D-3034.
2. UTILIZE HEAVIER-WALL PIPE WHEN DEPTH OF BURY EXCEEDS 16FEET OR OTHER CIRCUMSTANCES DICTATE.
3. BEDDING AND COVER SHALL BE SAND, CRUSHED STONE, OR CRUSHED STONE SCREENING.
4. UNDER ROADWAYS, BACKFILL WITH IMPORTED GRANULAR MATERIAL OR APPROVED EXCAVATED MATERIAL.
 - A. COMPACT TO 95% STANDARD PROCTOR DENSITY.
 - B. PLACE 12-INCHES OF CRUSHED AGGREGATE BASE COURSE BELOW PAVEMENTS.
5. SEE SANITARY SEWER MANHOLE DETAIL, THIS SHEET, FOR SPECIFICATIONS.
6. SANITARY SEWER LATERALS SHALL BE SDR-35 CONFORMING TO ASTM D-3034.
7. SEE SANITARY SEWER LATERAL DETAIL, THIS SHEET, FOR INSTALLATION SPECIFICATIONS.
8. CONTRACTOR TO REMOVE AND REPLACE TOP CONE OF EXISTING SEWER MANHOLE. FOR RAISING MANHOLES, ADD APPROPRIATE BARREL AND RESET CONE WITH SEALS PER STANDARD MANHOLE DETAIL. FOR LOWERING, REMOVE NECESSARY BARRELS AND REPLACE NEW BARREL/CONE TO FINAL GRADE WITH NEW SEALS PER STANDARD MANHOLE DETAIL.



*INVERT ABOVE BASE OF CHAMBER

DESCRIPTION	INVERT	MAX FLOW
FABRICATED EZ END CAP, PART#: SC800ECEZ / TYP OF ALL 24" BOTTOM AND ISOLATOR PLUS ROWS	2.30"	
REINFORCED CAP, PART#: SC800EPE12TPC / TYP OF ALL 12" TOP CONNECTIONS	14.40"	
24" ACCESS PIPE / PART#: SC80024RAMP		
NIPPLE, ADS N-12	14.40"	
4.00" SUMP MIN)		5.9 CFS IN

Memo to City of Lake Geneva

To: Renee Hanlon, Zoning Administrator **Date:** January 5, 2026

From: Naomi Rauch, P.E.
262-758-6032

CC: Eric Anderson – Covenant Harbor
Ryan Cardinal, P.E. – Cardinal Engineering
Erik Oldenburger - Cardinal Engineering
David De Angelis – City Administrator
Amanda Rotondi – Building and Zoning Administrative Assistant
Tom Earle – Director of Public Works
Josh Gajewski – Utility Director

Subject: Precise Implementation Plan (PIP) REVIEW – Covenant Harbor Dining Hall (PIN ZYUP 00096)
Kapur Project #24.0167 Phase 15

BACKGROUND AND REQUEST:

A PIP application was submitted by Covenant Harbor Bible Camp and Retreat Center for the construction of a new 16,785 SF dining hall at 1724 W. Main Street in the location of the existing lodge. The existing structure will be demolished and replaced with the proposed new building. An extension of the existing 8-inch private watermain and new sanitary pipe will service the new building. Stormwater quantity requirements of the municipal code do not apply to runoff from the improvements tributary to Geneva Lake; however, water quality provisions must be addressed. The plan currently proposes drainage structures and underground stormwater chambers to meet stormwater requirements. Improvements include retaining walls, pervious pavers on walkways and new asphalt parking spaces and drive.

The following plan and calculations were submitted for review:

- **Dining Hall Covenant Harbor Bible Camp Stormwater Management Report**, prepared by Cardinal Engineering LLC, 19 sheets, dated December 15, 2025.
- **Covenant Harbor Precise Implementation Plans**, prepared by Cardinal Engineering LLC, 19 sheets, dated November 6, 2025 last revised December 05, 2025.

Comments:

Kapur has reviewed the PIP application for the proposed new dining hall. Based on the information reviewed above we offer the following comments:

The following must be addressed to obtain engineering approval of the PIP.





1. The WinSLAMM model input on Sheet 13 of the stormwater report indicates each ADS system control practice should have 5 rows for storage volume of 1680 CF. However the plans and sheets 10 and 11 show 4 rows for storage volume of 1380 CF. Please confirm and revise the plans/calculations accordingly.
2. Remove reference to trench drain on 135 LF shallow swale. It appears the trench drain has been removed.
3. The watermain profile indicate that the watermain extension will have as little as 5-ft in some locations while a note on Sheet 7 says "6-ft depth required". Please revise the profile to ensure proper depth. Additionally, the new private watermain crosses an existing sanitary sewer. The existing sewer shall be shown on the profile to verify proper separation.
4. The 12-inch outlet pipe has no cover at approximately 0+80.00. Separation from the 12-inch outlet pipe and existing sanitary sewer shall be documented on the plans.
5. Please update the plans to show appropriately specified erosion control blanket on all graded slopes of 3:1 or greater. Please extend erosion control blanket to the extends of the new grading limits.
6. Retaining wall elevation shows the tallest wall at 5.5-ft height. Structural engineer design of the retaining wall is required in accordance with the International Building Code 1807.2 as adopted in state statute SPS 361.05. A note shall be added to the plans addressing this concern. Information demonstrating the retaining wall meets the above requirements shall be submitted with the building permit application and can be made a condition of PIP approval.
7. Pervious pavers and underground stormwater chambers will promote infiltration of storm water runoff from the building and drive. SPS 382 Table 382.365-4 states a setback of 10-ft is required from buildings to stormwater and clearwater subsurface infiltration plumbing systems. Pervious pavers are directly adjacent to the new building.
8. A stormwater maintenance agreement is required for the proposed water quality treatment measures. Please provide a draft maintenance plan for review. The plan shall address operation and maintenance of the pervious pavers and underground stormwater chambers.
9. As submitted, the proposed improvements should not adversely impact water or sanitary sewer service to the Camp or the surrounding area. Water Utility system modeling predicted available fire flows of approximately 1,300 gpm, which correlates with 2022 fire flow data provided by the Camp. Evaluations of the sanitary sewer loading indicate an increased flow of 7 gpm, with the lift station reaching 80% of its hydraulic capacity post-development.
10. Review of the final public and private fire suppression design should be conducted prior to local project permitting.
11. Prior to local project permitting, the following utility items need resolution:
 - a. Formal dedication of the sanitary sewer main adjacent to the lakeshore, sanitary sewer lift station, and appurtenances near the southeast corner of the property to the Utility;
 - b. Recreating of sanitary sewer easement to adequately cover the above-referenced sanitary infrastructure for ingress, egress, maintenance, and future replacement;
 - c. Establishing an easement for a new and dedicated electric service to be installed at the sanitary sewer lift station, to be dedicated to the Utility, subject to a mutually acceptable final route of construction between the Utility, Covenant Harbor, and Alliant Energy;
 - d. Confirm the existing 8" water main tee and valve assembly located just off of Snake Rd. is within the ROW, or draft an appropriate easement for recording.



The following may be condition of PIP approval:

12. The grading plan shows a disturbance of roughly 55,000 SF and thus a construction site stormwater permit (Notice of Intent (NOI)) from the WDNR is required. Additionally, it appears that a WDNR Chapter 30 permit for the proposed discharge pipe at the Ordinary High Water Mark (OHWM) of Geneva Lake may also be required.
13. A copy of all approvals/permits required from County or State regulatory agencies shall be provided to the City.
14. A performance bond is required totaling 120% of the cost to install the underground chambers as part of the stormwater management facilities. Please provide an estimate of the cost to install the water quality measures for City review. The performance bond must be provided prior to the start of construction.
15. Utility and stormwater management facility as-built information is required to be reviewed and approved by the City prior to acceptance.
16. Kapur performed an inspection of the private main extensions during the construction of the "Twins". It is assumed that the same process will be followed during construction of private mains with this project.

The plans have been reviewed for conformance with generally accepted engineering practices and City of Lake Geneva policies. Although the material has been reviewed, the applicant is ultimately responsible for the thoroughness and accuracy of the plans and supplemental data and for compliance with state, county, and other local ordinances and procedures.

Please contact me if you have any questions or comments pertaining to this project.

RELOCATION ORDER

RE1708 01/2023

Project ID 3170-09-20	Road name Main Street	Highway STH 50	County Walworth
Right of way plat date Original 09/09/2026 Revision 03/05/2026	Plat sheet number(s) 4.01 -4.17	Previously approved Relocation Order date 11/24/2025	

Description of termini of project:

WESTERN LIMITS: THAT PART OF THE SW ¼ OF THE NE ¼, SECTION 35, TOWNSHIP 2 NORTH RANGE 17 EAST, CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN.

EASTERN LIMITS: THAT PART OF THE NE ¼ OF THE NE 1/4, SECTION 31, TOWNSHIP 2 NORTH, RANGE 18 EAST, CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN.

To properly establish, layout, widen, enlarge, extend, construct, reconstruct, improve, or maintain a portion of the highway designated above, it is necessary to relocate or change and acquire certain lands or interests in lands as shown on the right of way plat for the above project.

To effect this change, pursuant to authority granted under Sections 62.22, Wisconsin Statutes, the City of Lake Geneva orders that:

1. The said highway is laid out and established to the lines and widths as shown on the plat.
2. The required lands or interests in lands as shown on the plat shall be acquired by the City of Lake Geneva in the name of the City of Lake Geneva, the pursuant to the provisions of Sections 62.22, Wisconsin Statutes.
3. This order supersedes and amends any previous order issued by the City of Lake Geneva.

Approving Authority

Date

Print Name

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date:
March 16, 2026

Agenda Item: ?

Applicant:
City of Lake Geneva

Request: Recommendation for Approval of Revised Plat of Right-of-Way Required for W. Main Street (WisDOT R/W Project Number 3170-09-20) and Relocation Order #2

Description:

This request is to approve the revised Plat of Right-of-Way Required for W Main ST (City of Lake Geneva) Forest St to Grand Geneva Way Construction, executed September 9th 2025 revised March 5, 2026, and Relocation Order No.2. The revisions are itemized on the attached Record of Revisions to Right-of-Way Plat Relocation Order No. 2 dated March 5, 2026.

The City Owned Parcel Number 23 is the Hillmoor property and the changes are a result of the City's request for a 10-wide multi-use path in lieu of sidewalk in that location.

Upon approval of the revised Plat and relocation order, property appraisals can be obtained to determine compensation to property owners for temporary limited easements, permanent limited easements, and FEE acquisitions as noted on the plat. Upon approval by the City Council the revised relocation order and revised plat will be filed with the County Clerk. This process is governed by Wisconsin State Statute Chapter 32, as described in the pamphlet attached entitled, "The Rights of Landowners Under Wisconsin Eminent Domain Law".

Action by the Plan Commission:

Recommendation to the Common Council on the Plat of Right-of-Way and Relocation Order:

As part of the consideration of the request, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the Right-of-Way and Relocation Order.

Staff Recommendation on the proposed

1. Staff recommends that the Plan Commission recommend *approval* of the revised Plat of Right-of-Way for W. Main Street (WisDOT R/W Project Number 3170-09-20), executed September 9th 2025 and revised March 5, 2026, and Relocation Order No.2 as submitted.

CONVENTIONAL SYMBOLS

SECTION LINE	---	SECTION CORNER SYMBOL		R/W MONUMENT (TO BE SET)	●
QUARTER LINE	---	SECTION CORNER MONUMENT		NON-MONUMENTED R/W POINT	○
SIXTEENTH LINE	---	GEODETIC SURVEY MONUMENT		FOUND IRON PIN (1-INCH UNLESS NOTED)	IP
NEW REFERENCE LINE	---	SIXTEENTH CORNER MONUMENT		SIGN	
NEW R/W LINE	---	OFF-PREMISE SIGN		COMPENSABLE	
EXISTING R/W OR HE LINE	---	PARCEL NUMBER		NON-COMPENSABLE	
PROPERTY LINE	---	UTILITY NUMBER			
LOT, TIE & OTHER MINOR LINES	---	PARALLEL OFFSETS			
SLOPE INTERCEPT	---				
CORPORATE LIMITS	---				
UNDERGROUND FACILITY (COMMUNICATIONS, ELECTRIC, ETC)	---				
NEW R/W (FEE OR HE) (HATCHING VARIES BY OWNER)	---				
TEMPORARY LIMITED EASEMENT AREA	---				
EASEMENT AREA (PERMANENT LIMITED OR RESTRICTED DEVELOPMENT)	---				
TRANSMISSION STRUCTURES	---				
BUILDING TO BE REMOVED	---				
BRIDGE	---				
CULVERT	---				

CONVENTIONAL UTILITY SYMBOLS

WATER	---
GAS	---
TELEPHONE	---
OVERHEAD TRANSMISSION LINES	---
ELECTRIC	---
CABLE TELEVISION	---
FIBER OPTIC	---
SANITARY SEWER	---
STORM SEWER	---
ELECTRIC TOWER	---

CONVENTIONAL ABBREVIATIONS

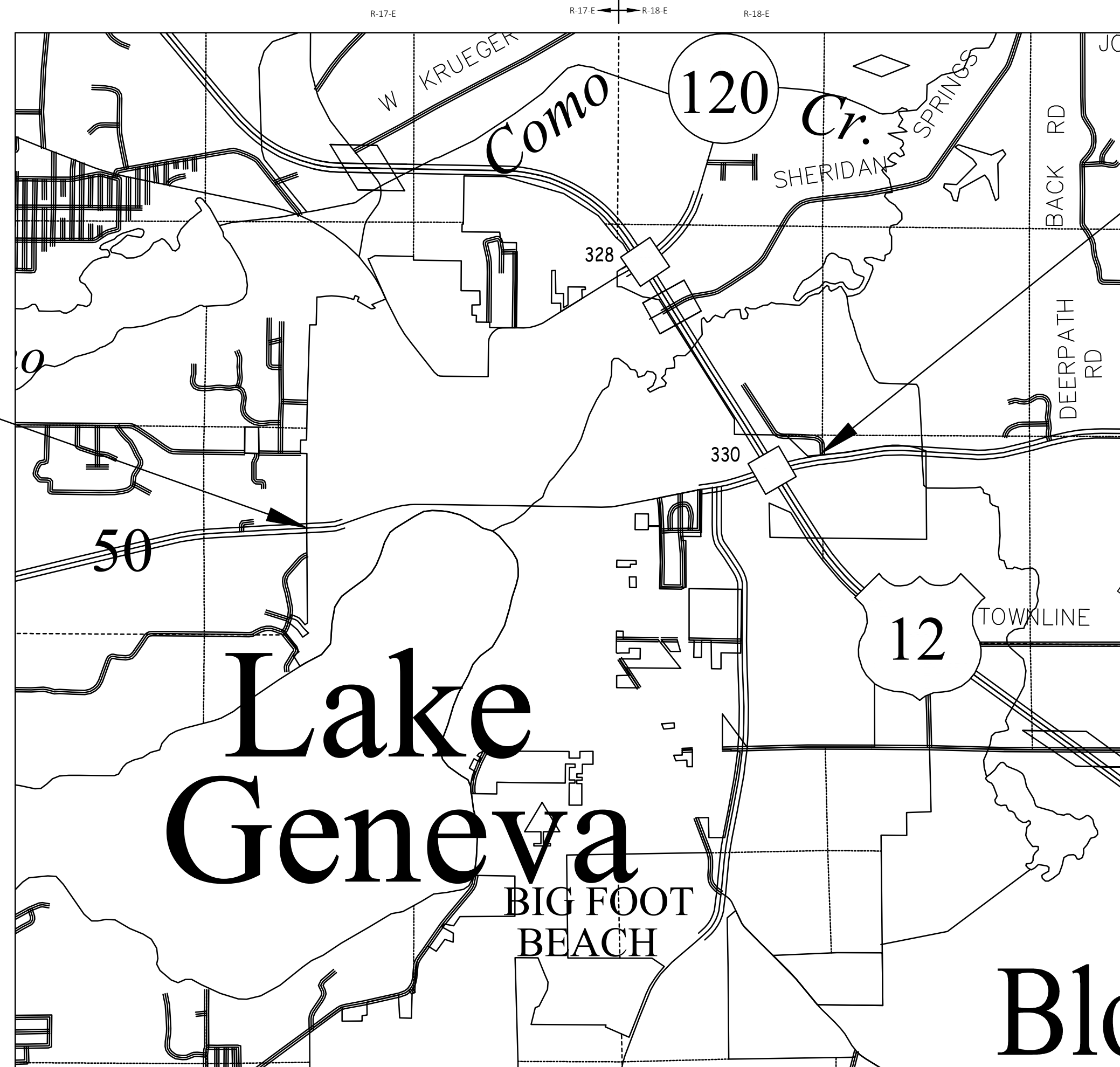
ACCESS RIGHTS	AR	POINT OF COMPOUND CURVE	PCC
ACRES	AC	POINT OF INTERSECTION	PI
AHEAD	AH	PROPERTY LINE	PL
ALUMINUM	ALUM	RECORDED AS (100')	(100')
AND OTHERS	ET AL	REEL / IMAGE	R/I
BACK	BK	REFERENCE LINE	R/L
BLOCK	BLK	REMAINING	REM
CENTERLINE	C/L	RESTRICTIVE DEVELOPMENT EASEMENT	RDE
CERTIFIED SURVEY MAP	CSM		
CONCRETE	CONC	RIGHT	RT
COUNTY	CO	RIGHT OF WAY	R/W
COUNTY TRUNK HIGHWAY	CTH	SECTION	SEC
DISTANCE	DIST	SEPTIC VENT	SEPV
CORNER	COR	SQUARE FEET	SF
DOCUMENT NUMBER	DOC	STATE TRUNK HIGHWAY	STH
EASEMENT	EASE	STATION	STA
EXISTING	EX	TELEPHONE PEDESTAL	TP
GAS VALVE	GV	TEMPORARY LIMITED EASEMENT	TLE
GRID NORTH	GN		
HIGHWAY EASEMENT	HE	TRANSPORTATION PROJECT PLAT	TPP
IDENTIFICATION	ID	UNITED STATES HIGHWAY	USH
LAND CONTRACT	LC	VOLUME	V
LEFT	LT		
MONUMENT	MON		
NATIONAL GEODETIC SURVEY NUMBER	NGS		
OUTLOT	OL		
PAGE	P		
POINT OF TANGENCY	PT		
PERMANENT LIMITED EASEMENT	PLE		
POINT OF BEGINNING	POB		
POINT OF CURVATURE	PC		

CURVE DATA ABBREVIATIONS

LONG CHORD	LCH
LONG CHORD BEARING	LCB
RADIUS	R
DEGREE OF CURVE	D
CENTRAL ANGLE	Δ/DELTA
LENGTH OF CURVE	L
TANGENT	T
DIRECTION AHEAD	DA
DIRECTION BACK	DB

C LAKE GENEVA, W MAIN ST
FOREST ST TO GRAND GENEVA WAY
STH 50
WALWORTH COUNTY

STATE PROJECT NUMBER
3170-09-20



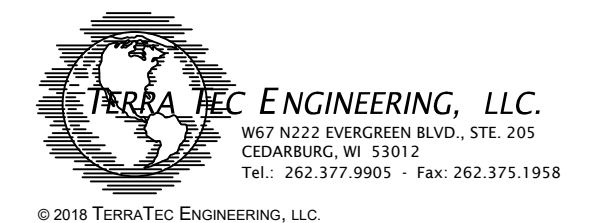
BEGIN PROJECT ID 3170-09-20
STA 620+31.95

Y: 335602.80
X: 787142.27

END PROJECT ID 3170-09-20
STA 750+73.56

NOTES:

- POSITIONS SHOWN ON THIS PLAT ARE WISCONSIN COORDINATE REFERENCE SYSTEM (WISCRS), WALWORTH COUNTY, NAD83 (2011) IN US SURVEY FEET. VALUES SHOWN ARE GRID COORDINATES, GRID BEARINGS, AND GRID DISTANCES. GRID DISTANCES MAY BE USED AS GROUND DISTANCES.
- ALL NEW RIGHT-OF-WAY MONUMENTS WILL BE TYPE 2 (TYPICALLY 3/4" X 24" IRON REBARS), UNLESS OTHERWISE NOTED, AND WILL BE PLACED PRIOR TO THE COMPLETION OF THE PROJECT.
- DIMENSIONING FOR THE NEW RIGHT-OF-WAY IS MEASURED ALONG AND PERPENDICULAR TO THE NEW REFERENCE LINES.
- RIGHT-OF-WAY BOUNDARIES ARE DEFINED WITH COURSES OF THE PERIMETER OF THE HIGHWAY LANDS REFERENCED TO THE U.S. PUBLIC LAND SURVEY SYSTEM OR OTHER "SURVEYS" OF PUBLIC RECORD.
- FOR THE CURRENT ACCESS/DRIVEWAY INFORMATION, CONTACT THE PLANNING UNIT OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION OFFICE IN WAUKESHA, SOUTHEAST REGION.
- PARCEL AND UTILITY IDENTIFICATION NUMBERS MAY NOT POINT TO ALL AREAS OF ACQUISITION, AS NOTED ON THE DETAIL PAGES.
- INFORMATION FOR THE BASIS OF EXISTING HIGHWAY RIGHT-OF-WAY POINTS OF REFERENCE AND ACCESS CONTROL ARE LISTED ON THE DETAIL PAGES.



ORIGINAL PLANS PREPARED BY



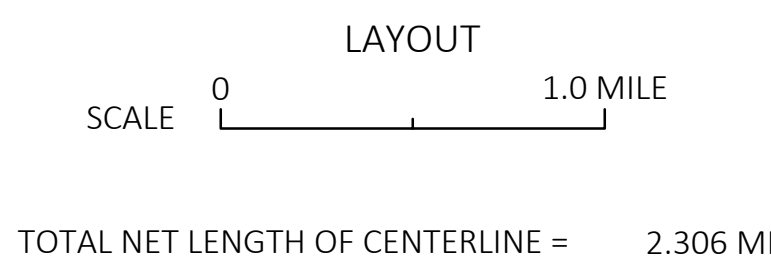
02/25/2025
(DATE)

Steven M. Arnold
STEVEN M. ARNOLD
TERRATEC ENG.
PLS NO 3168

REVISION DATE 03/05/2026

CITY OF LAKE GENEVA
09/09/2025 [Signature]
09/09/2025 [Signature]

THIS PLAT IS A GRAPHIC REPRESENTATION AND IS FOR REFERENCE PURPOSES ONLY. DEEDS MUST BE CHECKED TO DETERMINE PROPERTY BOUNDARIES AND ACCESS RIGHTS.



SCHEDULE OF LANDS & INTERESTS REQUIRED

OWNER'S NAMES ARE SHOWN FOR REFERENCE PURPOSES ONLY AND ARE SUBJECT TO CHANGE PRIOR TO THE TRANSFER OF LAND INTERESTS TO THE DEPARTMENT.

PARCEL NUMBER	SHEET NUMBER	*OWNER	INTEREST REQUIRED	R/W AREA REQUIRED				TLE (AC)	TLE (SF)	PLE (AC)	PLE (SF)	PARCEL NUMBER
				(AC) NEW (SF)	(AC) TOTAL (SF)							
1	4.07	BRUCE/JOY IRUSSI TRUST	TLE					0.0040	175			1
2	4.08	CHARLES/JILL LORENZI	TLE					0.0063	275			2
3	4.08	HELEN/JOHN HACKETT	TLE					0.0069	300			3
4	4.08	WILLIAM Z PETROPOULIS	TLE					0.0003	12			4
5	4.09	DAVID/DEBRA MONEY TRUST	TLE					0.0031	133			5
6	4.09	1031 W MAIN ST LLC	TLE					0.0025	110			6
7	4.09	JANELLE M POWERS	TLE					0.0008	36			7
8	4.09	JAMES MERCURIO	FEE,TLE	0.0011	48	0.0011	48	0.0021	90			8
9	4.10	JEFFREY M AND BEVERLY LEONARD TRUST	FEE	0.0008	34	0.0008	34					9
10	4.10	VENTURE INVESTMENT PARTNERS	TLE					0.0011	48			10
11	4.10	GENEVA CENTER LLC	FEE	0.0013	57	0.0013	57					11
12	4.10	UNITED STATES OF AMERICA	TLE					0.0041	180			12
13	4.11	KOCOUREK PROPERTY HOLDINGS LLC	TLE					0.0026	115			13
15	4.11	CITY OF LAKE GENEVA	TLE					0.0062	268			15
16	4.11	JP'S NEVADA LLC	TLE					0.0181	787			16
17	4.11	CITY OF LAKE GENEVA	TLE					0.0029	125			17
18	4.12	SHANE S PIASECKI	TLE					0.0098	425			18
19	4.12	WALWORTH APARTMENTS LLC	TLE					0.0014	62			19
20	4.12	YOUNGQUIST-NADING LLC	TLE					0.0034	150			20
21	4.12	JUNE JOHNSON TRUST	TLE					0.0063	276			21
22	4.12	JOHN TYSHENKO JR	PLE,TLE					0.1224	5333	0.0087	381	22
23	4.13,4.15	CITY OF LAKE GENEVA	FEE,PLE,TLE	0.1732	7545	0.1732	7545	0.9966	43410	0.0367	1600	23
24	4.13,4.15	W.H.J. PROPERTIES LLC	TLE					0.0025	111			24
25	4.12	CATHOLIC CHURCH	TLE					0.0015	64			25
26	4.14,4.15	FRANKLIN D GUSKE SR TRUST	PLE,TLE					0.0259	1130	0.0110	480	26
27	4.14,4.15	DECORUM LAKE GENEVA LLC	TLE					0.0357	1554			27
28	4.16	EVERGREEN BP LLC	FEE,TLE	0.0031	135	0.0031	135	0.0424	1845			28
29	4.16	CHRISTOPHER A CRUM	TLE					0.0045	197			29
30	4.16,4.17	GNI OF LAKE GENEVA LLC	FEE	0.0010	434	0.0010	434					30
31	4.16,4.17	GNI OF ELEVENTH LLC	FEE,TLE	0.0026	113	0.0026	113	0.0028	121			31
32	4.16,4.17	SUNDANCE INC	FEE	0.0043	187	0.0043	187					32

PARCEL NUMBER	SHEET NUMBER	*OWNER	INTEREST REQUIRED
500	4.11,4.13,4.17	ALLIANT ENERGY - ELECTRIC	RELEASE OF RIGHTS
501	4.11,4.13,4.17	WE ENERGIES - GAS	RELEASE OF RIGHTS
502	4.17	WE ENERGIES - ELECTRIC	RELEASE OF RIGHTS
504	4.13,4.16	AT&T WISCONSIN	RELEASE OF RIGHTS
505	4.16	LAKE GENEVA UTILITY COMMISSION - SANITARY	RELEASE OF RIGHTS
506	4.17	LAKE GENEVA UTILITY COMMISSION - WATER	RELEASE OF RIGHTS
507	4.17	SPECTRUM	RELEASE OF RIGHTS
510	4.13,4.16	WINDSTREAM	RELEASE OF RIGHTS

4

4

REVISION DATE
03/05/2026

DATE 01/20/2025

SCALE, FEET



HWY: STH 50

STATE R/W PROJECT NUMBER 3170-09-20

PLAT SHEET 4.02

GRID FACTOR

COUNTY: WALWORTH

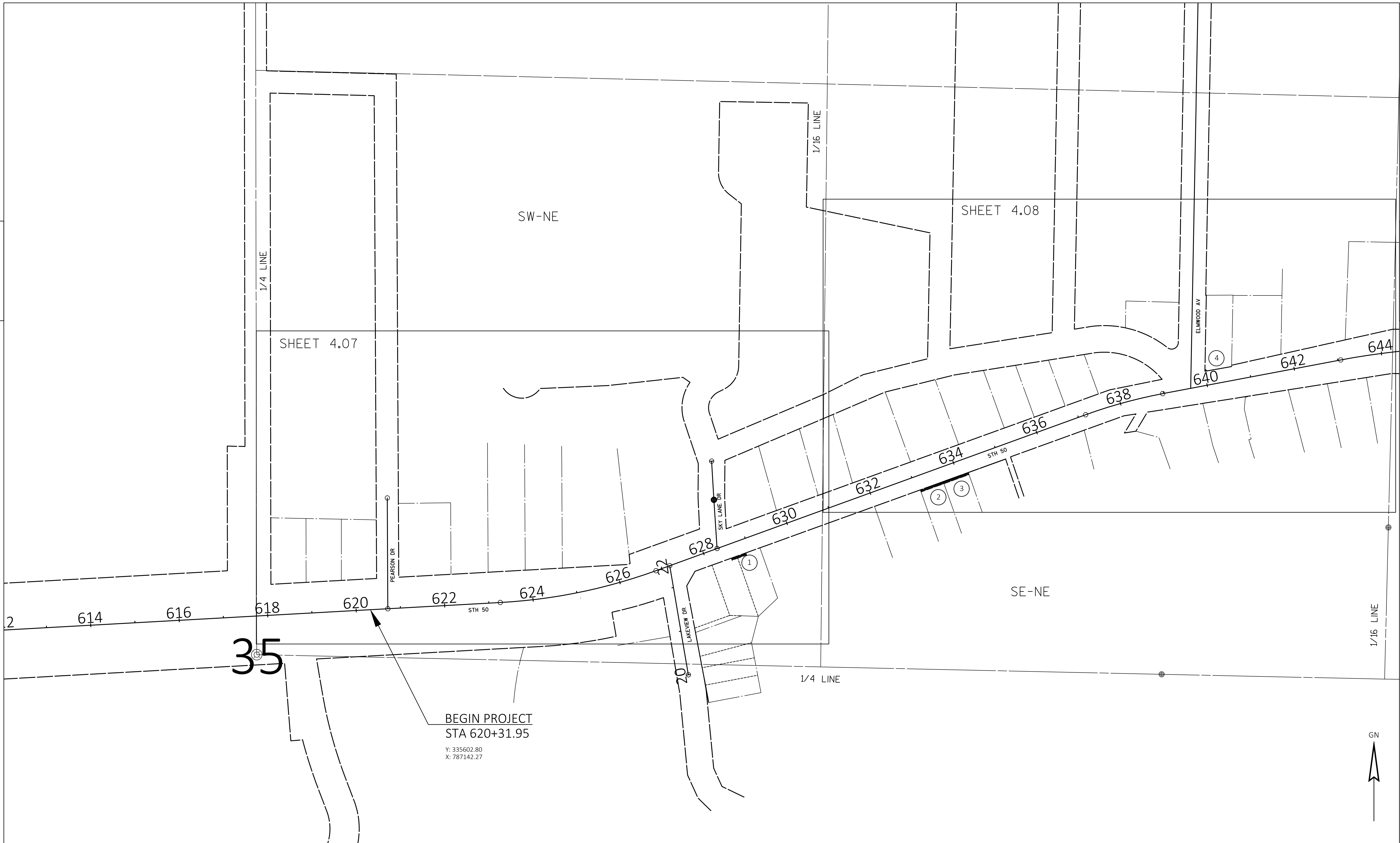
CONSTRUCTION PROJECT NUMBER

PS&E SHEET

E

4

4

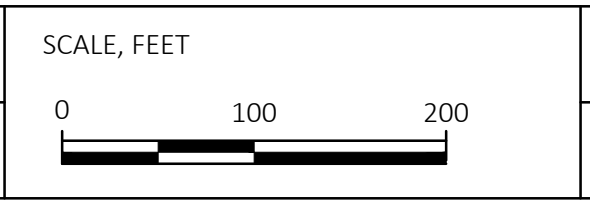


BEGIN PROJECT
 STA 620+31.95
 Y: 335602.80
 X: 787142.27



REVISION DATE	_____	_____	_____
03/05/2026	_____	_____	_____
_____	_____	_____	_____

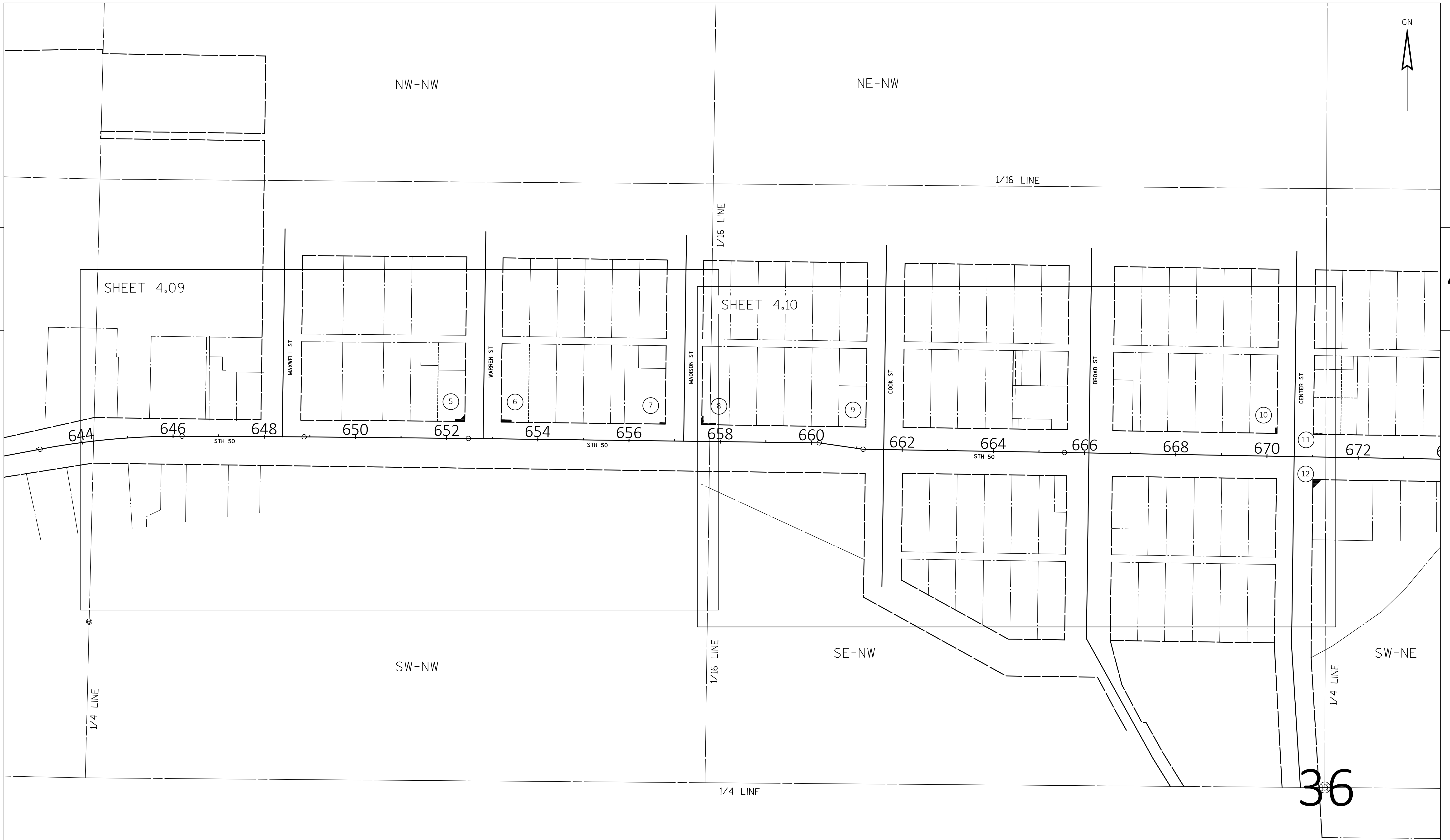
DATE	01/20/2025
GRID FACTOR	_____



HWY:	STH 50
COUNTY:	WALWORTH

STATE R/W PROJECT NUMBER	3170-09-20
CONSTRUCTION PROJECT NUMBER	_____

PLAT SHEET	4.03
PS&E SHEET	E

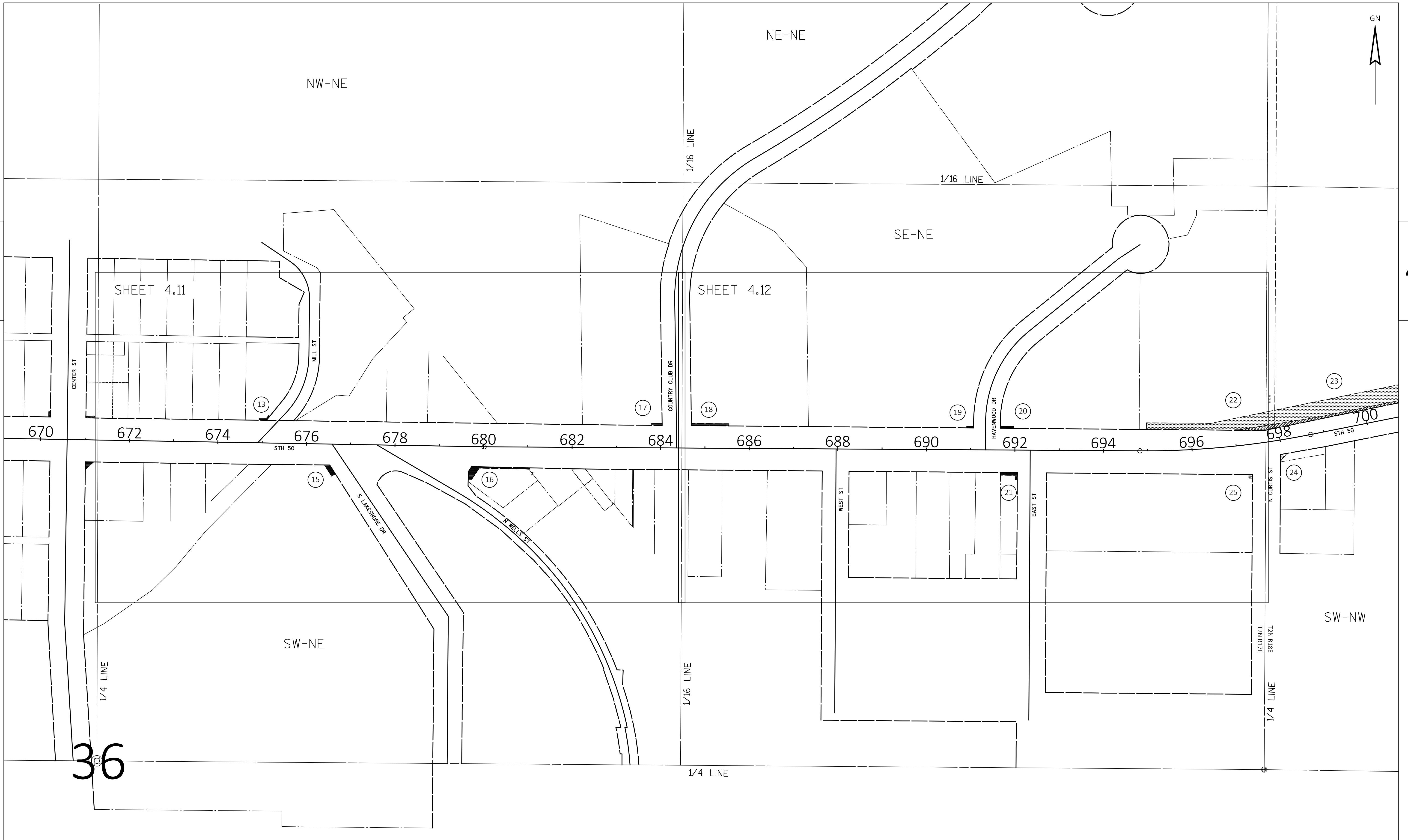


4

4

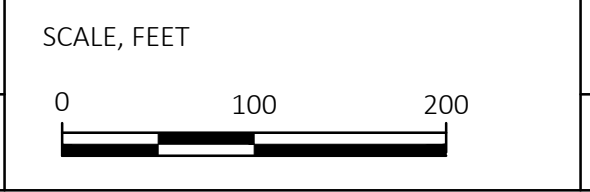
36

REVISION DATE 03/05/2026	DATE 01/20/2025	SCALE, FEET 0 100 200	HWY: STH 50	STATE R/W PROJECT NUMBER 3170-09-20	PLAT SHEET 4.04
	GRID FACTOR		COUNTY: WALWORTH	CONSTRUCTION PROJECT NUMBER	PS&E SHEET
					E



REVISION DATE	_____	_____	_____
03/05/2026	_____	_____	_____

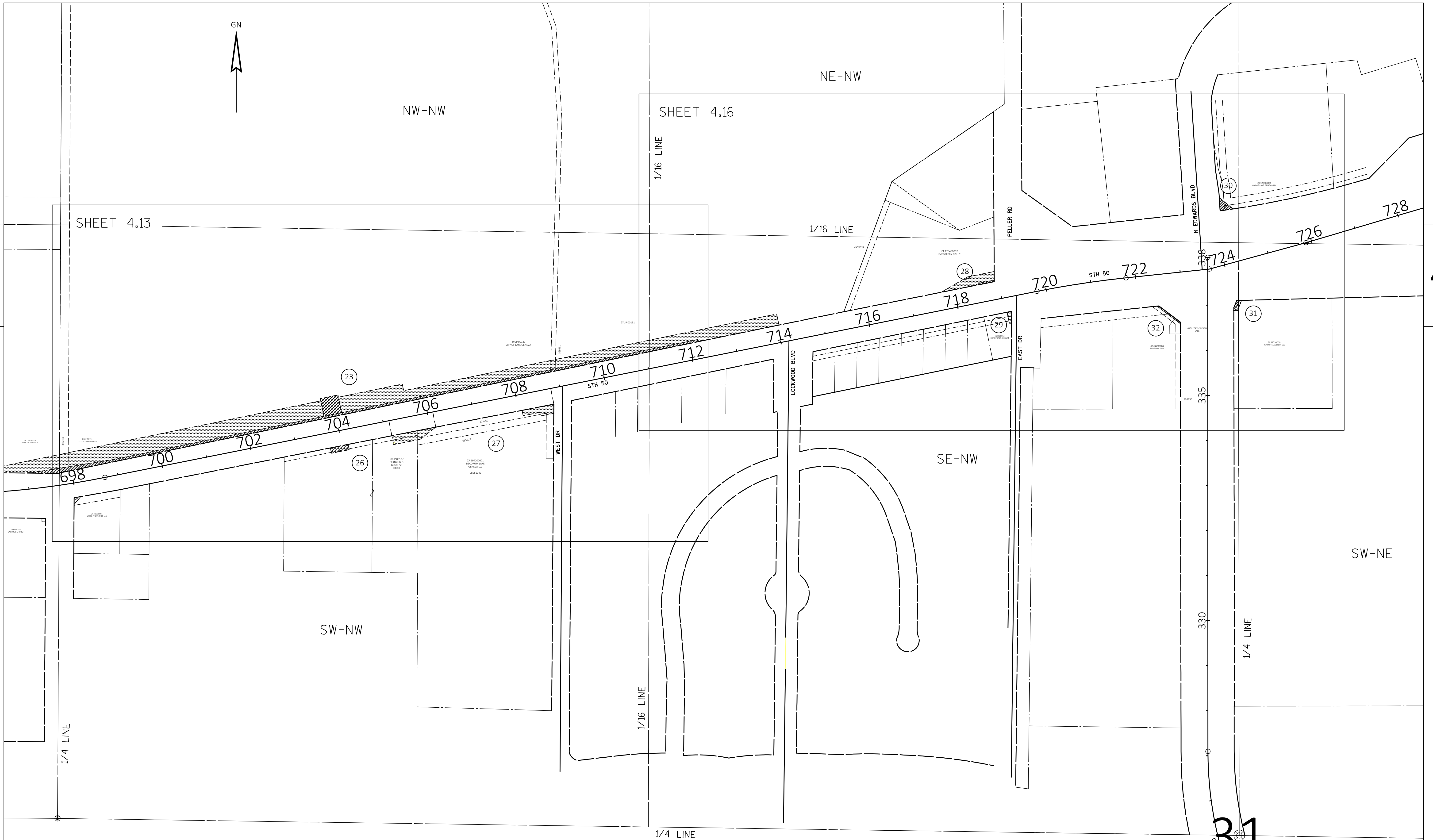
DATE 01/20/2025
 GRID FACTOR _____



HWY: STH 50
 COUNTY: WALWORTH

STATE R/W PROJECT NUMBER 3170-09-20
 CONSTRUCTION PROJECT NUMBER _____

PLAT SHEET 4.05
 PS&E SHEET _____



4

4

31

REVISION DATE 03/05/2026	DATE 01/20/2025	SCALE, FEET 0 100 200	HWY: STH 50	STATE R/W PROJECT NUMBER 3170-09-20	PLAT SHEET 4.06
	GRID FACTOR		COUNTY: WALWORTH	CONSTRUCTION PROJECT NUMBER	PS&E SHEET
			PLOT DATE: 3/6/2026 11:13 AM	PLOT BY: STEVE	PLOT NAME:

FILE NAME : PLAT-STH 50_3170-09-0020.DWG
LAYOUT NAME - 4.06

WISDOT/CADD SHEET 75

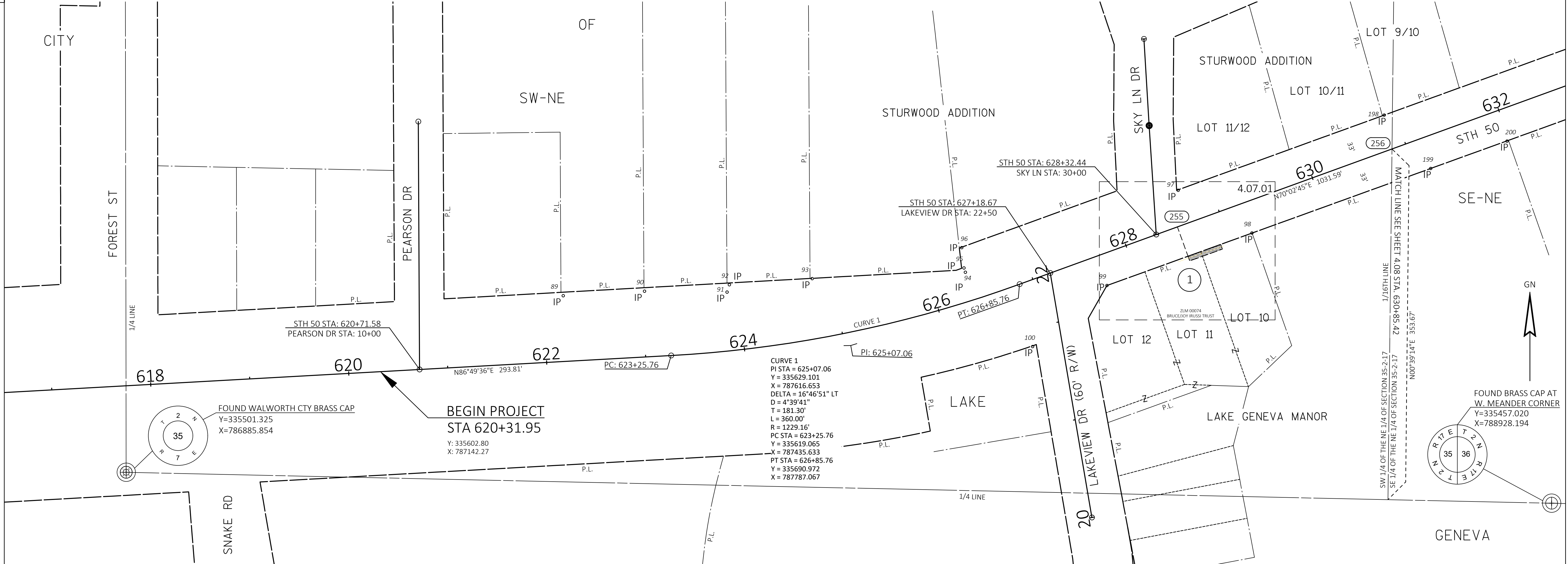
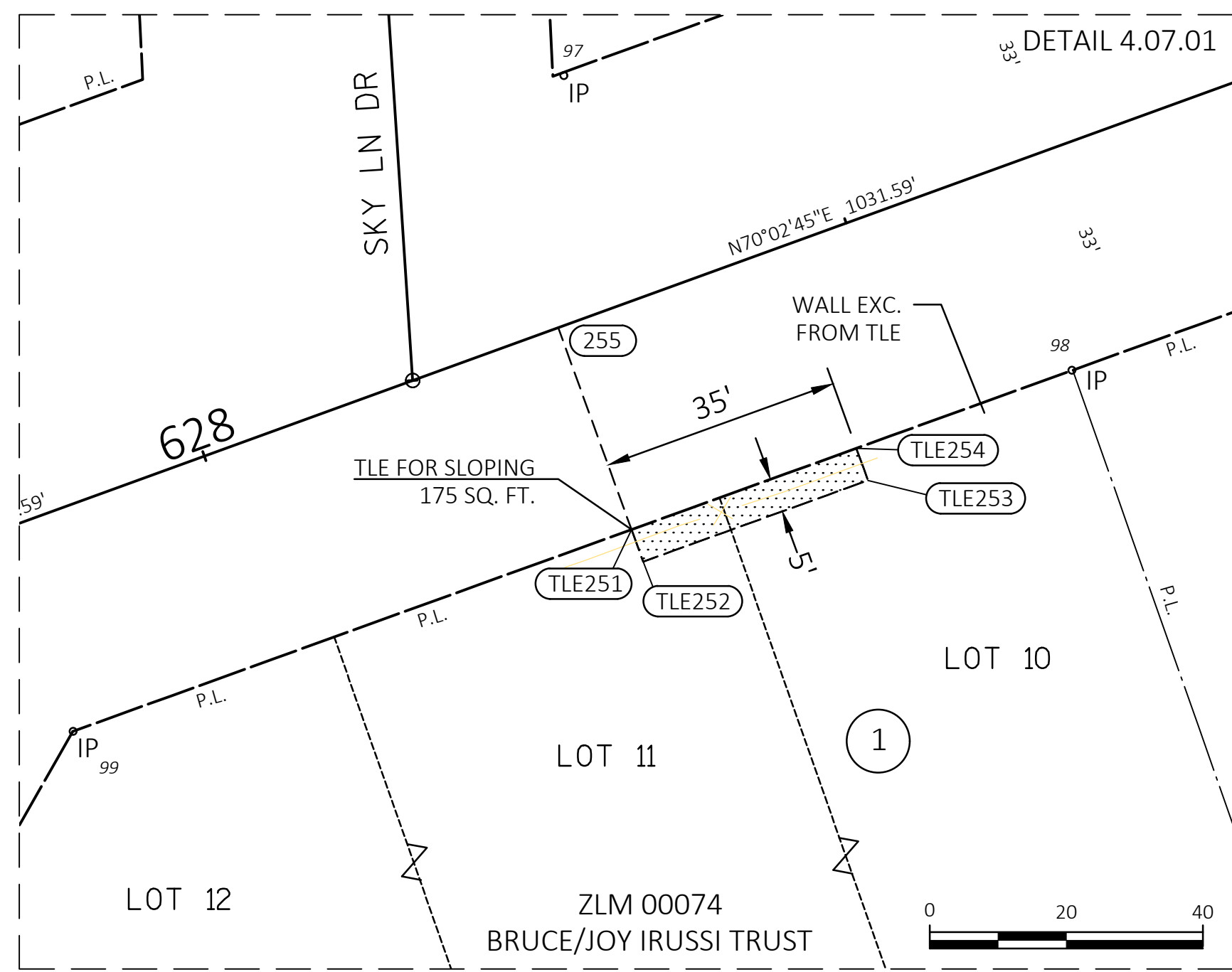
NOTES:
 POSITIONS SHOWN ON THIS PLAT ARE WISCONSIN COORDINATE REFERENCE SYSTEM COORDINATES (WISCRS), WALWORTH COUNTY, NAD 83 (2011) IN US SURVEY FEET, VALUES SHOWN ARE GRID COORDINATES, GRID BEARINGS, AND GRID DISTANCES. GRID DISTANCES MAY BE USED AS GROUND DISTANCES.
 ALL NEW RIGHT-OF-WAY MONUMENTS WILL BE TYPE 2 (TYPICALLY 1/2" X 24" IRON REBARS), UNLESS OTHERWISE NOTED, AND WILL BE PLACED PRIOR TO THE COMPLETION OF THE PROJECT.
 RIGHT-OF-WAY BOUNDARIES ARE DEFINED WITH COURSES OF THE PERIMETER OF THE HIGHWAY LANDS REFERENCED TO THE U.S. PUBLIC LAND SURVEY SYSTEM OR OTHER "SURVEYS" OF THE PUBLIC RECORD.
 DIMENSIONING FOR THE NEW RIGHT-OF-WAY IS MEASURED ALONG AND PERPENDICULAR TO THE NEW REFERENCE LINES.
 PROPERTY LINES SHOWN ON THIS PLAT FOR PROPERTIES BEING IMPACTED ARE DRAWN FROM DATA DERIVED FROM FILED/RECORDED MAPS AND DOCUMENTS OF PUBLIC RECORD. THIS PLAT MAY NOT BE A TRUE REPRESENTATION OF EXISTING PROPERTY LINES, EXCLUDING RIGHT-OF-WAY, AND SHOULD NOT BE USED AS A SUBSTITUTE FOR AN ACCURATE FIELD SURVEY.
 FOR THE CURRENT ACCESS/DRIVEWAY INFORMATION, CONTACT THE PLANNING UNIT OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION OFFICE IN WAUKESHA.
 PARCEL AND UTILITY IDENTIFICATION NUMBERS MAY NOT POINT TO ALL AREAS OF ACQUISITION, AS NOTED ON THE RIGHT-OF-WAY PLAT DETAILS / DETAIL PAGES.
 INFORMATION FOR THE BASIS OF EXISTING HIGHWAY RIGHT-OF-WAY POINTS OF REFERENCE AND ACCESS CONTROL ARE LISTED ON THE RIGHT-OF-WAY PLAT DETAILS / DETAIL PAGES.

FOUND MONUMENT TABLE			
POINT	DESCRIPTION	Y COORDS	X COORDS
89	IP 2"	335679.337	787326.695
90	IP 1"	335683.918	787408.655
91	IP 3/4"	335682.967	787491.928
92	IP 1"	335690.364	787494.319
93	IP 1"	335696.571	787577.867
94	IP 1"	335703.005	787732.372
95	IP 1"	335707.297	787730.984
96	IP 1"	335727.796	787728.693
97	IP 1"	335785.687	787947.069
98	IP 1"	335742.522	788021.488
99	IP 1"	335689.623	787875.188
100	IP 1"	335628.042	787800.201
198	IP 1"	335861.476	788154.907
199	IP 1"	335807.688	788201.840
200	IP 1"	335835.240	788278.811

COORDINATE TABLE		
POINT	Y COORDS	X COORDS
TLE251	335719.197	787956.999
TLE252	335714.496	787958.703
TLE253	335726.394	787991.619
TLE254	335731.095	787989.915
255	335748.770	787946.263
256	335827.364	788162.734

COURSE TABLE (4.05.00)		
COURSE	BEARING	DISTANCE
256-255	S70° 02' 45" W	230.30'
255-251	S19° 57' 15" E	31.46'
251-252	S19° 55' 14" E	5.00'
252-253	N70° 07' 33" E	35.00'
253-254	N19° 55' 14" W	5.00'
254-251	S70° 07' 33" W	35.00'

HWY	BASIS OF EXISTING R/W	WIDTH	DATE
STH 50	PLAT OF LAKE GENEVA MANOR SUB	66'	1926
LAKEVIEW	PLAT OF LAKE GENEVA MANOR SUB	60'	1926

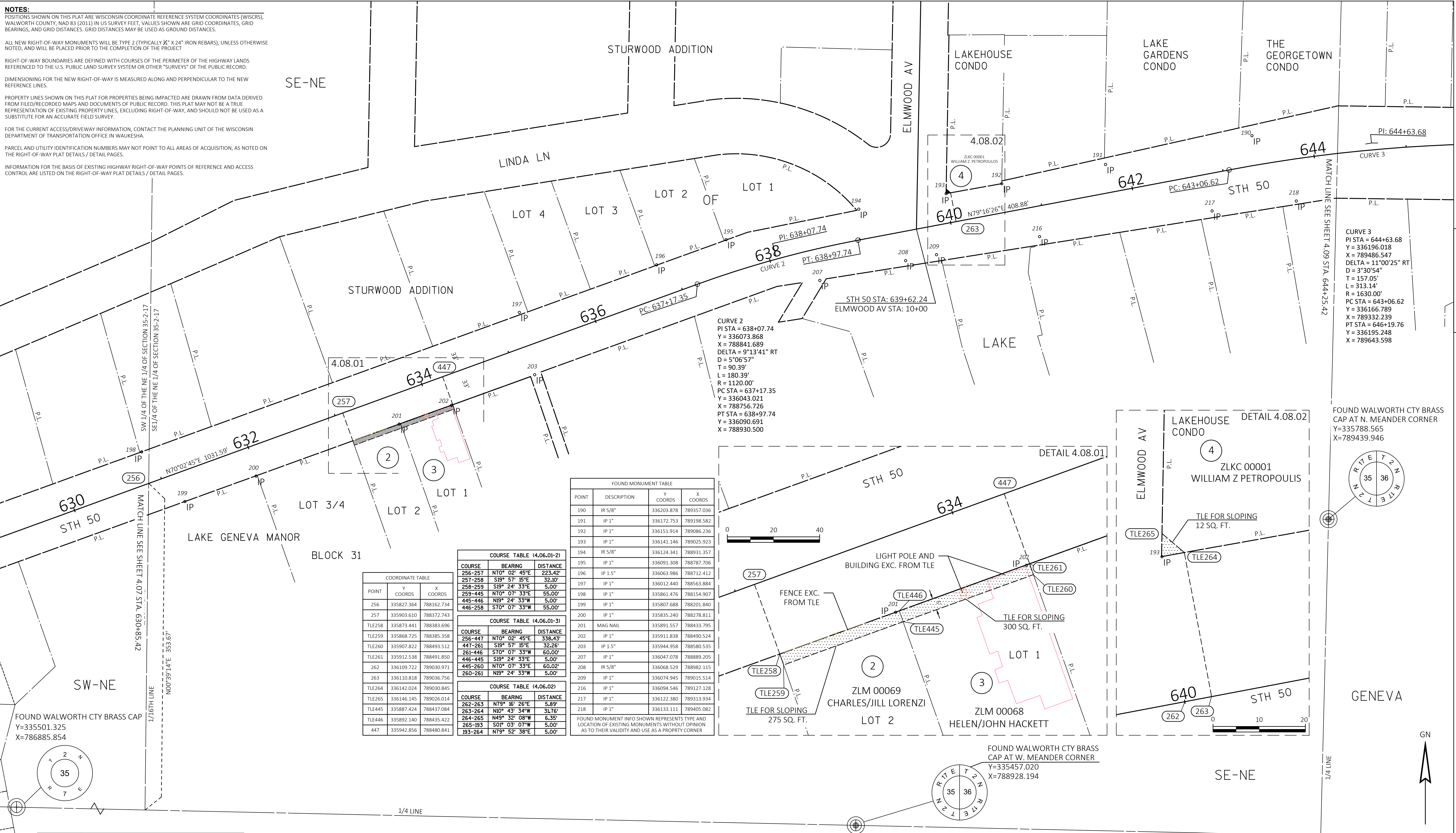


REVISION DATE 03/05/2026	DATE 01/20/2025	SCALE, FEET 0 50 100	HWY: STH 50	STATE R/W PROJECT NUMBER 3170-09-20	PLAT SHEET 4.07
	GRID FACTOR		COUNTY: WALWORTH	CONSTRUCTION PROJECT NUMBER	PS&E SHEET

NOTES:
 POSITIONS SHOWN ON THIS PLAT ARE WISCONSIN COORDINATE REFERENCE SYSTEM COORDINATES (WISCRS), WALWORTH COUNTY, NAD 83 (2011) IN US SURVEY FEET, VALUES SHOWN ARE GRID COORDINATES, GRID BEARINGS, AND GRID DISTANCES. GRID DISTANCES MAY BE USED AS GROUND DISTANCES.
 ALL NEW RIGHT-OF-WAY MONUMENTS WILL BE TYPE 2 (TYPICALLY 1/2" X 24" IRON REBARS), UNLESS OTHERWISE NOTED, AND WILL BE PLACED PRIOR TO THE COMPLETION OF THE PROJECT.
 RIGHT-OF-WAY BOUNDARIES ARE DEFINED WITH COURSES OF THE PERIMETER OF THE HIGHWAY LANDS REFERENCED TO THE U.S. PUBLIC LAND SURVEY SYSTEM OR OTHER "SURVEYS" OF THE PUBLIC RECORD.
 DIMENSIONING FOR THE NEW RIGHT-OF-WAY IS MEASURED ALONG AND PERPENDICULAR TO THE NEW REFERENCE LINES.
 PROPERTY LINES SHOWN ON THIS PLAT FOR PROPERTIES BEING IMPACTED ARE DRAWN FROM DATA DERIVED FROM FILED/RECORDED MAPS AND DOCUMENTS OF PUBLIC RECORD. THIS PLAT MAY NOT BE A TRUE REPRESENTATION OF EXISTING PROPERTY LINES, EXCLUDING RIGHT-OF-WAY, AND SHOULD NOT BE USED AS A SUBSTITUTE FOR AN ACCURATE FIELD SURVEY.
 FOR THE CURRENT ACCESS/DRIVEWAY INFORMATION, CONTACT THE PLANNING UNIT OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION OFFICE IN WAUKESHA.
 PARCEL AND UTILITY IDENTIFICATION NUMBERS MAY NOT POINT TO ALL AREAS OF ACQUISITION, AS NOTED ON THE RIGHT-OF-WAY PLAT DETAILS / DETAIL PAGES.
 INFORMATION FOR THE BASIS OF EXISTING HIGHWAY RIGHT-OF-WAY POINTS OF REFERENCE AND ACCESS CONTROL ARE LISTED ON THE RIGHT-OF-WAY PLAT DETAILS / DETAIL PAGES.

4

4



POINT	DESCRIPTION	Y COORDS	X COORDS
190	IR 5/8"	336203.878	789357.036
191	IP 1"	336172.753	789198.582
192	IP 1"	336151.914	789086.236
193	IP 1"	336141.146	789025.923
194	IR 5/8"	336124.341	788931.357
195	IP 1"	336091.308	788787.706
196	IP 1.5"	336063.986	788712.412
197	IP 1"	336012.440	788563.884
198	IP 1"	335861.476	788154.907
199	IP 1"	335807.688	788201.840
200	IP 1"	335835.240	788278.811
201	MAG NAIL	335891.557	788433.795
202	IP 1"	335911.838	788490.524
203	IP 1.5"	335944.958	788580.535
207	IP 1"	336047.078	788889.205
208	IR 5/8"	336068.529	788982.115
209	IP 1"	336074.945	789015.514
216	IP 1"	336094.546	789127.128
217	IP 1"	336122.380	789133.934
218	IP 1"	336133.111	789405.082

POINT	Y	X
256	335827.364	788162.734
257	335903.610	788372.743
TLE258	335873.441	788383.696
TLE259	335868.725	788385.358
TLE260	335907.822	788493.512
TLE261	335912.538	788491.850
262	336109.722	789030.971
263	336110.818	789036.756
TLE264	336142.024	789030.845
TLE265	336146.145	789026.014
TLE445	335887.424	788437.084
TLE446	335892.140	788435.422
447	335942.856	788480.841

COURSE	BEARING	DISTANCE
256-257	N70° 02' 45" E	223.42'
257-258	S19° 57' 15" E	32.10'
258-259	S19° 24' 33" E	5.00'
259-445	N70° 07' 33" E	55.00'
445-446	N19° 24' 33" W	5.00'
446-256	S70° 07' 33" W	55.00'
256-447	N70° 02' 45" E	338.43'
447-261	S19° 57' 15" E	32.26'
261-446	S70° 07' 33" W	60.00'
446-445	S19° 24' 33" E	5.00'
445-260	N70° 07' 33" E	60.02'
260-261	N19° 24' 33" W	5.00'
262-263	N79° 15' 26" E	5.89'
263-264	N10° 43' 34" W	31.76'
264-265	N49° 32' 08" W	6.35'
265-193	S01° 03' 07" W	5.00'
193-264	N79° 52' 38" E	5.00'

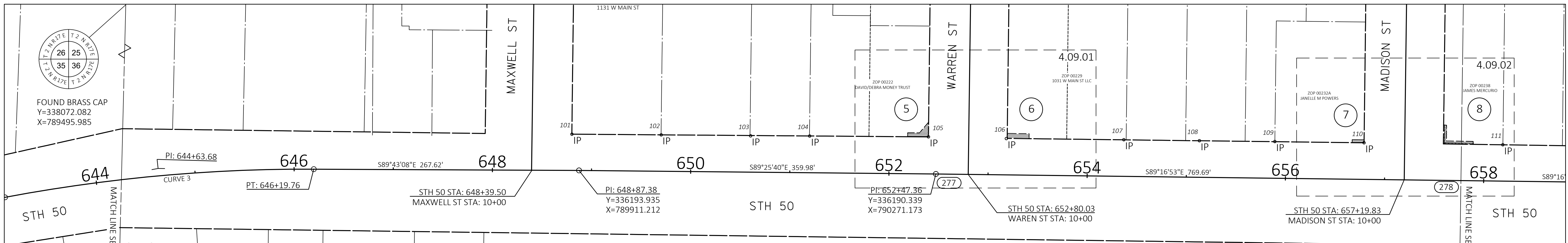
FOUND WALWORTH CTY BRASS CAP
 Y=335501.325
 X=786885.854

FOUND WALWORTH CTY BRASS CAP AT W. MEANDER CORNER
 Y=335457.020
 X=788928.194

FOUND WALWORTH CTY BRASS CAP AT N. MEANDER CORNER
 Y=335788.565
 X=789439.946

HWY	BASIS OF EXISTING R/W	WIDTH	DATE
STH 50	PLAT OF LAKE GENEVA MANOR SUB	VARIES	1926
ELMWOOD	LAKEHOUSE CONDOMINIUM PLAT	60'	2007

REVISION DATE 03/05/2026	DATE 01/20/2025	SCALE, FEET 0 50 100	HWY: STH 50	STATE R/W PROJECT NUMBER 3170-09-20	PLAT SHEET 4.08
	GRID FACTOR		COUNTY: WALWORTH	CONSTRUCTION PROJECT NUMBER	PS&E SHEET



CURVE 3
 PI STA = 644+63.68
 Y = 336196.018
 X = 789486.547
 DELTA = 11°00'25" RT
 D = 3°30'54"
 T = 157.05'
 L = 313.14'
 R = 1630.00'
 PC STA = 643+06.62
 Y = 336166.789
 X = 789332.239
 PT STA = 646+19.76
 Y = 336195.248
 X = 789643.598

FOUND WALWORTH CTY BRASS
 CAP AT N. MEANDER CORNER
 Y=335788.565
 X=789439.946

POINT	Y COORDS	X COORDS
266	336190.626	790242.473
TLE267	336228.049	790242.715
TLE268	336232.049	790242.745
TLE269	336231.959	790254.744
TLE270	336242.890	790263.879
TLE271	336227.892	790263.695
272	336189.442	790342.697
TLE273	336226.346	790343.160
TLE274	336231.345	790343.222
TLE275	336231.075	790365.220
TLE276	336226.075	790365.159
277	336190.339	790271.173
278	336183.697	790800.814
279	336184.928	790702.673

POINT	Y COORDS	X COORDS
TLE280	336224.917	790703.173
TLE281	336225.065	790691.174
TLE282	336222.065	790691.137
283	336183.548	790812.712
PRW284	336220.327	790813.173
PRW285	336221.327	790813.188
TLE286	336223.327	790813.212
TLE287	336223.730	790786.215
TLE288	336239.729	790786.411
PRW289	336239.758	790784.411
PRW290	336239.771	790783.411
PRW291	336221.760	790784.191
292	336220.775	790783.179

POINT	DESCRIPTION	Y COORDS	X COORDS
101	IP IR	336230.604	789903.993
102	IP 1"	336229.938	789994.117
103	IP 1"	336228.909	790084.221
104	IP 1"	336228.720	790143.865
105	IR 5/8"	336227.939	790263.696
106	IR 5/8"	336226.208	790342.279
107	IP IR	336225.022	790460.781
108	IP IR	336224.004	790537.003
109	IP 5/8"	336223.214	790613.138
110	IP 1"	336221.918	790703.137
111	IR 5/8"	336219.911	790843.163

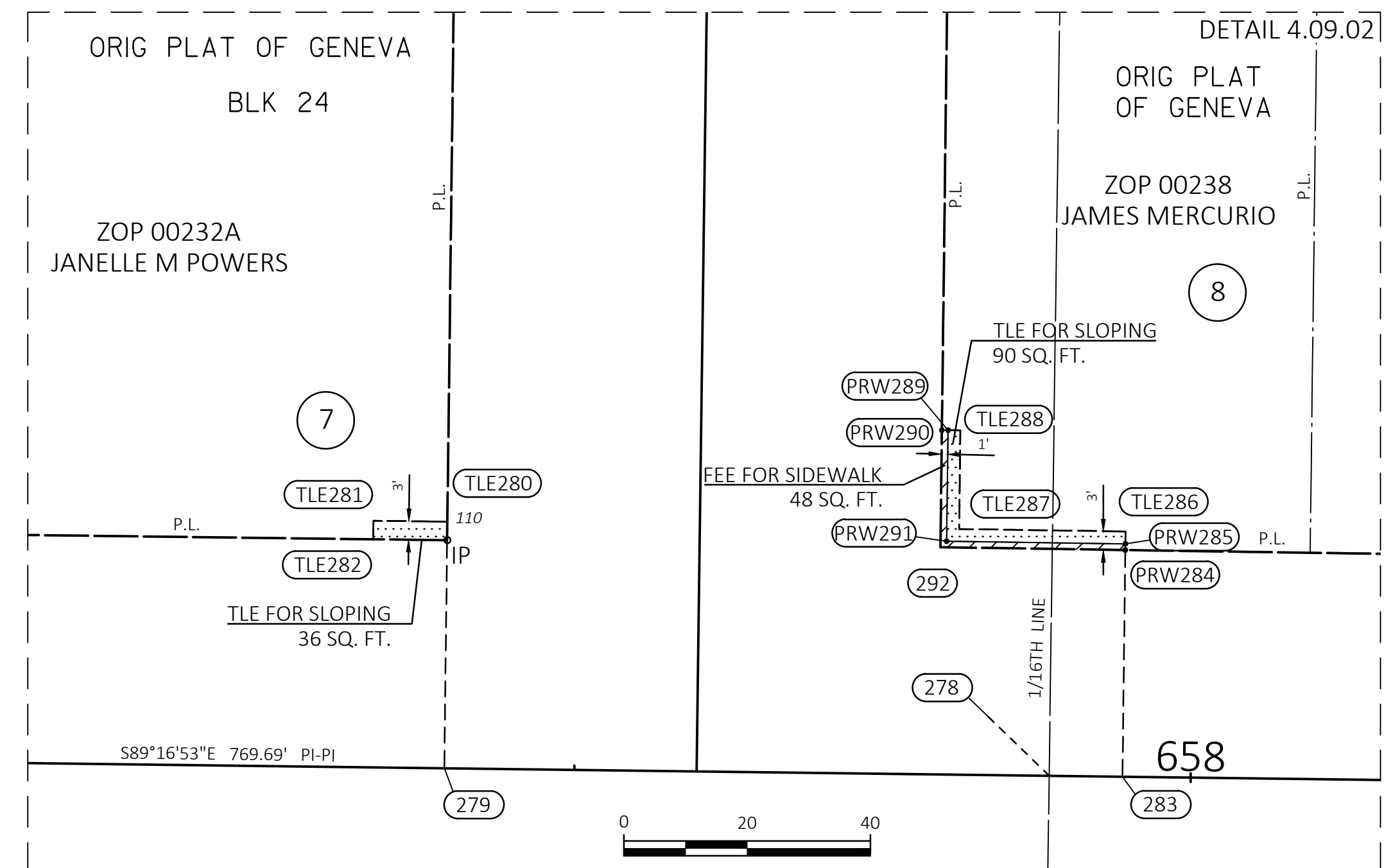
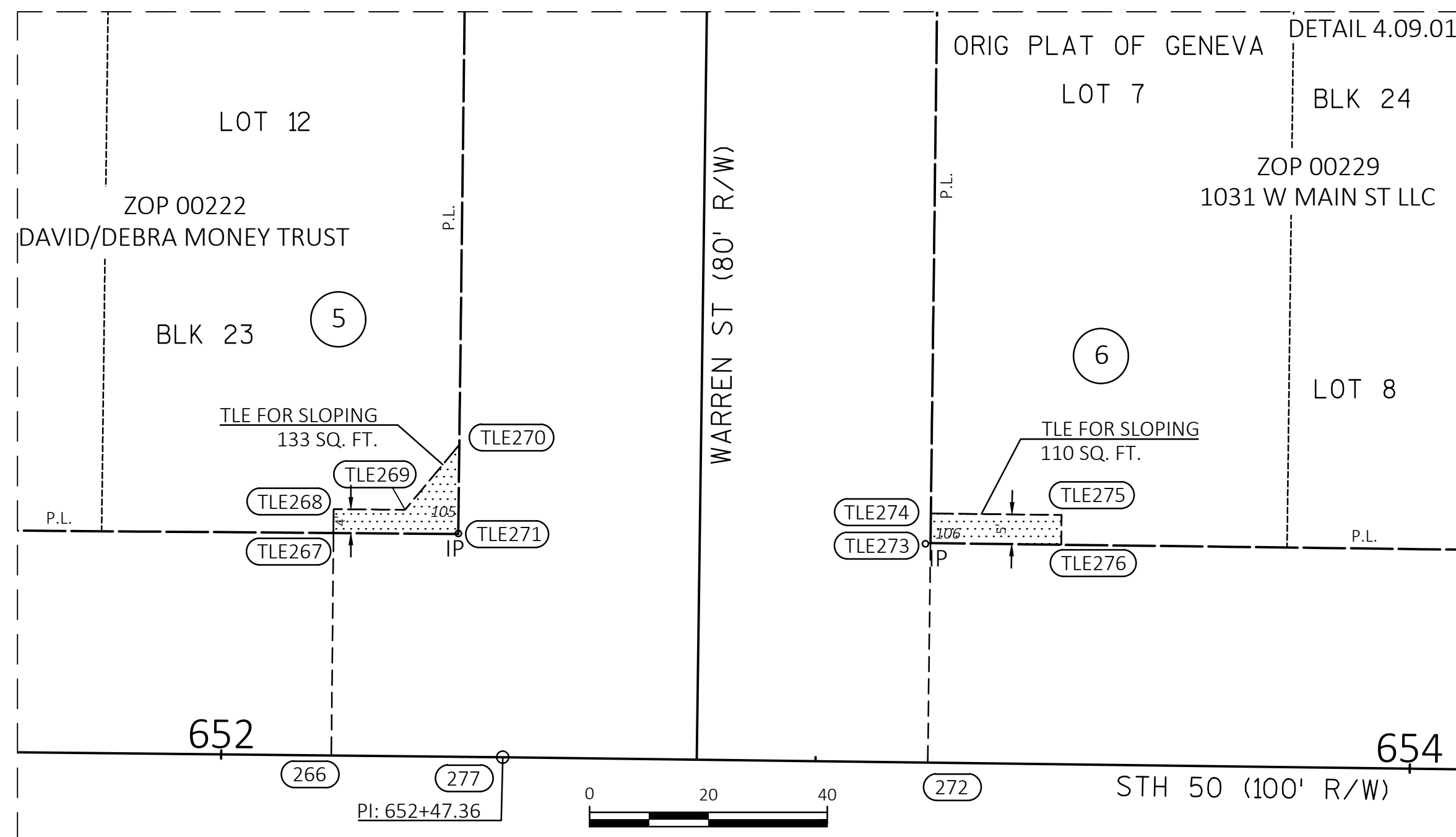
COURSE TABLE (4.07.01-5)		
COURSE	BEARING	DISTANCE
277-266	N89° 25' 40"W	28.83'
266-267	N00° 34' 20"E	37.42'
267-268	N00° 25' 50"E	4.00'
268-269	S89° 34' 10"E	12.00'
269-270	N39° 52' 58"E	14.25'
270-271	S00° 42' 06"W	15.00'
271-267	N89° 34' 10"W	20.98'

COURSE TABLE (4.07.01-6)		
COURSE	BEARING	DISTANCE
277-272	S89° 16' 53"E	71.53'
272-273	N00° 43' 07"E	36.91'
273-274	N00° 42' 17"E	5.00'
274-275	S89° 17' 43"E	22.00'
275-276	S00° 42' 17"W	5.00'
276-273	N89° 17' 43"W	22.00'

COURSE TABLE (4.07.02-8)		
COURSE	BEARING	DISTANCE
278-283	S89° 16' 53"E	11.90'
283-284	N00° 43' 07"E	36.78'
284-285	N00° 51' 18"E	1.00'
285-291	N89° 08' 42"W	29.00'
291-289	N00° 42' 06"E	17.99'
289-290	N89° 17' 54"W	1.00'
290-292	S00° 42' 06"W	19.00'
292-284	S89° 08' 42"E	30.00'

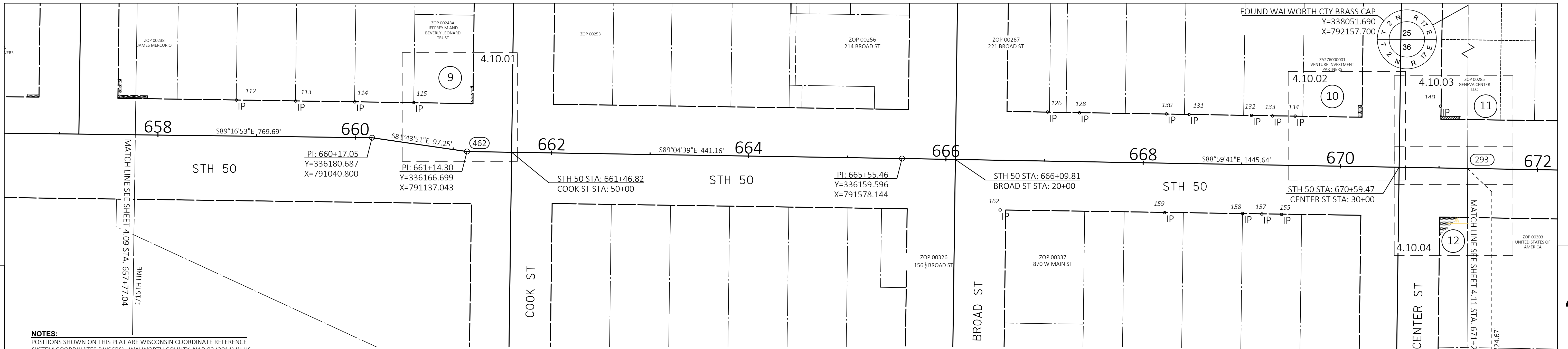
COURSE TABLE (4.07.02-7)		
COURSE	BEARING	DISTANCE
278-279	N89° 16' 53"W	98.15'
279-110	N00° 43' 07"E	36.99'
110-280	N00° 42' 17"E	3.00'
280-281	N89° 17' 43"W	12.00'
281-282	S00° 42' 17"W	3.00'
282-110	S89° 17' 43"E	12.00'

HWY	BASIS OF EXISTING R/W	WIDTH	DATE
STH 50	ORIGINAL PLAT OF GENEVA	VARIABLES	1840
WARREN	ORIGINAL PLAT OF GENEVA	80'	1840
MADISON	ORIGINAL PLAT OF GENEVA	80'	1840



NOTES:
 POSITIONS SHOWN ON THIS PLAT ARE WISCONSIN COORDINATE REFERENCE SYSTEM COORDINATES (WISCRS), WALWORTH COUNTY, NAD 83 (2011) IN US SURVEY FEET, VALUES SHOWN ARE GRID COORDINATES, GRID BEARINGS, AND GRID DISTANCES. GRID DISTANCES MAY BE USED AS GROUND DISTANCES.
 ALL NEW RIGHT-OF-WAY MONUMENTS WILL BE TYPE 2 (TYPICALLY 3/4" X 24" IRON REBARS), UNLESS OTHERWISE NOTED, AND WILL BE PLACED PRIOR TO THE COMPLETION OF THE PROJECT
 RIGHT-OF-WAY BOUNDARIES ARE DEFINED WITH COURSES OF THE PERIMETER OF THE HIGHWAY LANDS REFERENCED TO THE U.S. PUBLIC LAND SURVEY SYSTEM OR OTHER "SURVEYS" OF THE PUBLIC RECORD.
 DIMENSIONING FOR THE NEW RIGHT-OF-WAY IS MEASURED ALONG AND PERPENDICULAR TO THE NEW REFERENCE LINES.
 PROPERTY LINES SHOWN ON THIS PLAT FOR PROPERTIES BEING IMPACTED ARE DRAWN FROM DATA DERIVED FROM FILED/RECORDED MAPS AND DOCUMENTS OF PUBLIC RECORD. THIS PLAT MAY NOT BE A TRUE REPRESENTATION OF EXISTING PROPERTY LINES, EXCLUDING RIGHT-OF-WAY, AND SHOULD NOT BE USED AS A SUBSTITUTE FOR AN ACCURATE FIELD SURVEY.
 FOR THE CURRENT ACCESS/DRIVEWAY INFORMATION, CONTACT THE PLANNING UNIT OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION OFFICE IN WAUKESHA.
 PARCEL AND UTILITY IDENTIFICATION NUMBERS MAY NOT POINT TO ALL AREAS OF ACQUISITION, AS NOTED ON THE RIGHT-OF-WAY PLAT DETAILS / DETAIL PAGES.
 INFORMATION FOR THE BASIS OF EXISTING HIGHWAY RIGHT-OF-WAY POINTS OF REFERENCE AND ACCESS CONTROL ARE LISTED ON THE RIGHT-OF-WAY PLAT DETAILS / DETAIL PAGES.

REVISION DATE 03/05/2026	DATE 01/20/2025	SCALE, FEET 0 50 100	HWY: STH 50	STATE R/W PROJECT NUMBER 3170-09-20	PLAT SHEET 4.09
	GRID FACTOR		COUNTY: WALWORTH	CONSTRUCTION PROJECT NUMBER	PS&E SHEET



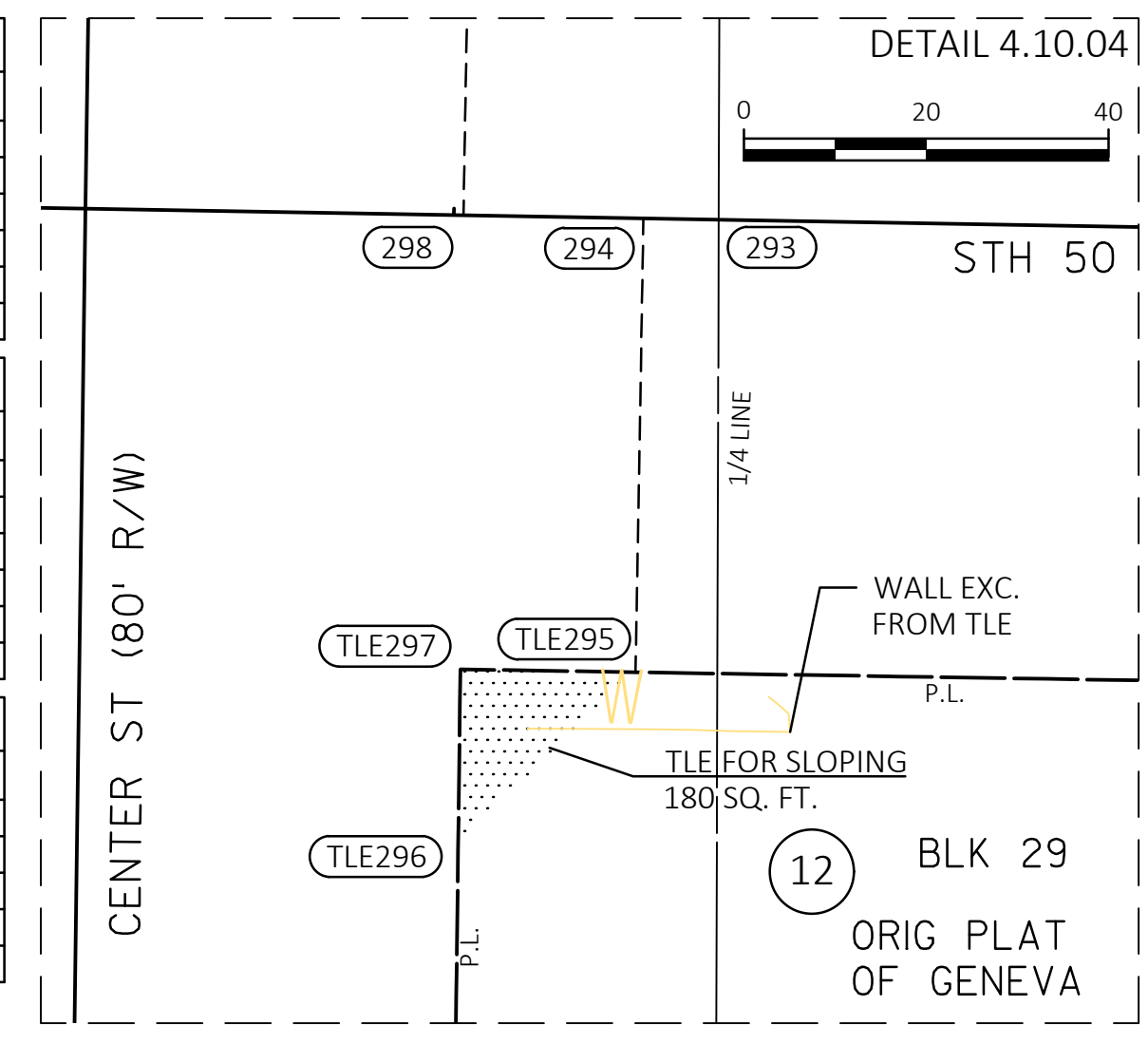
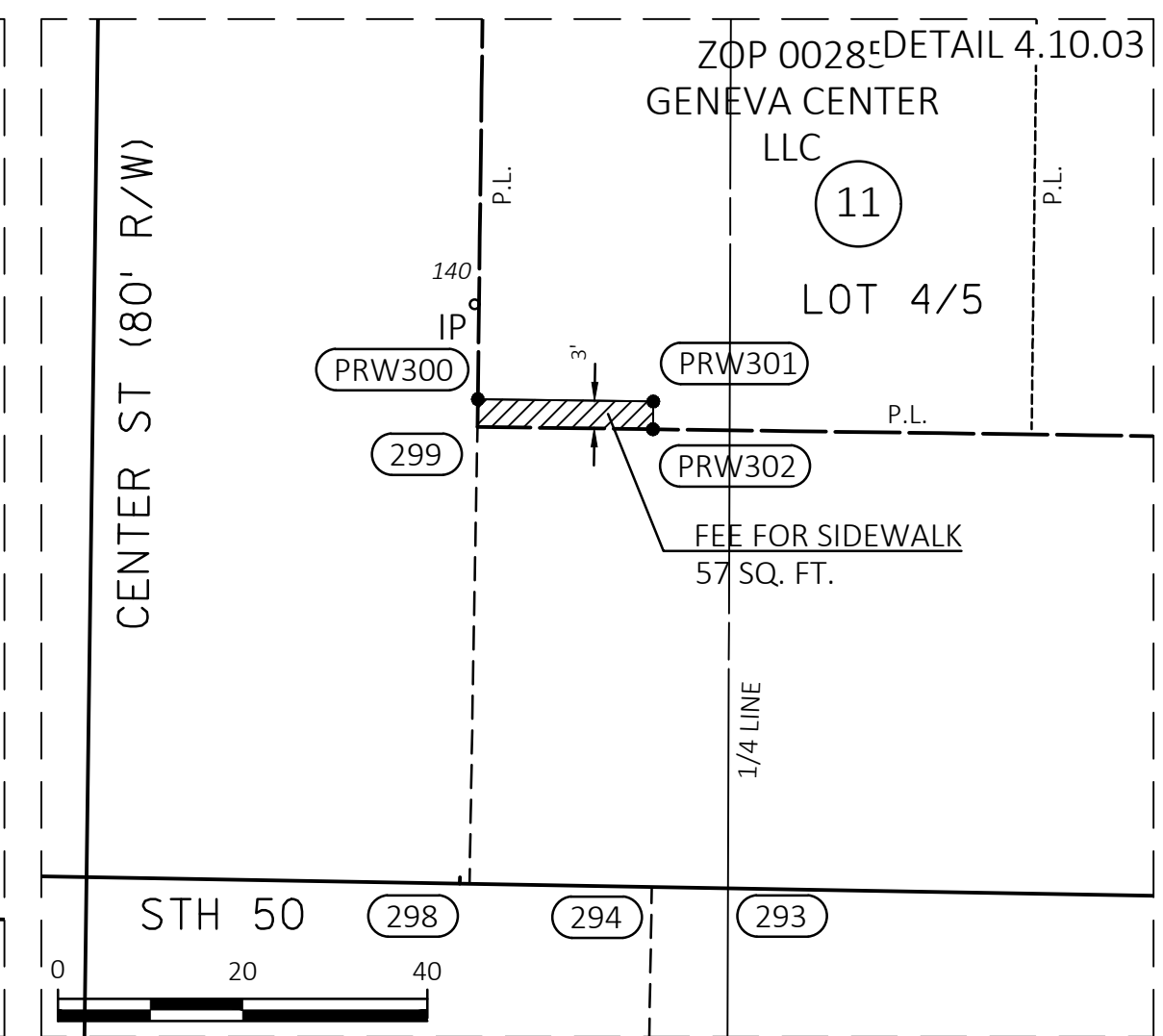
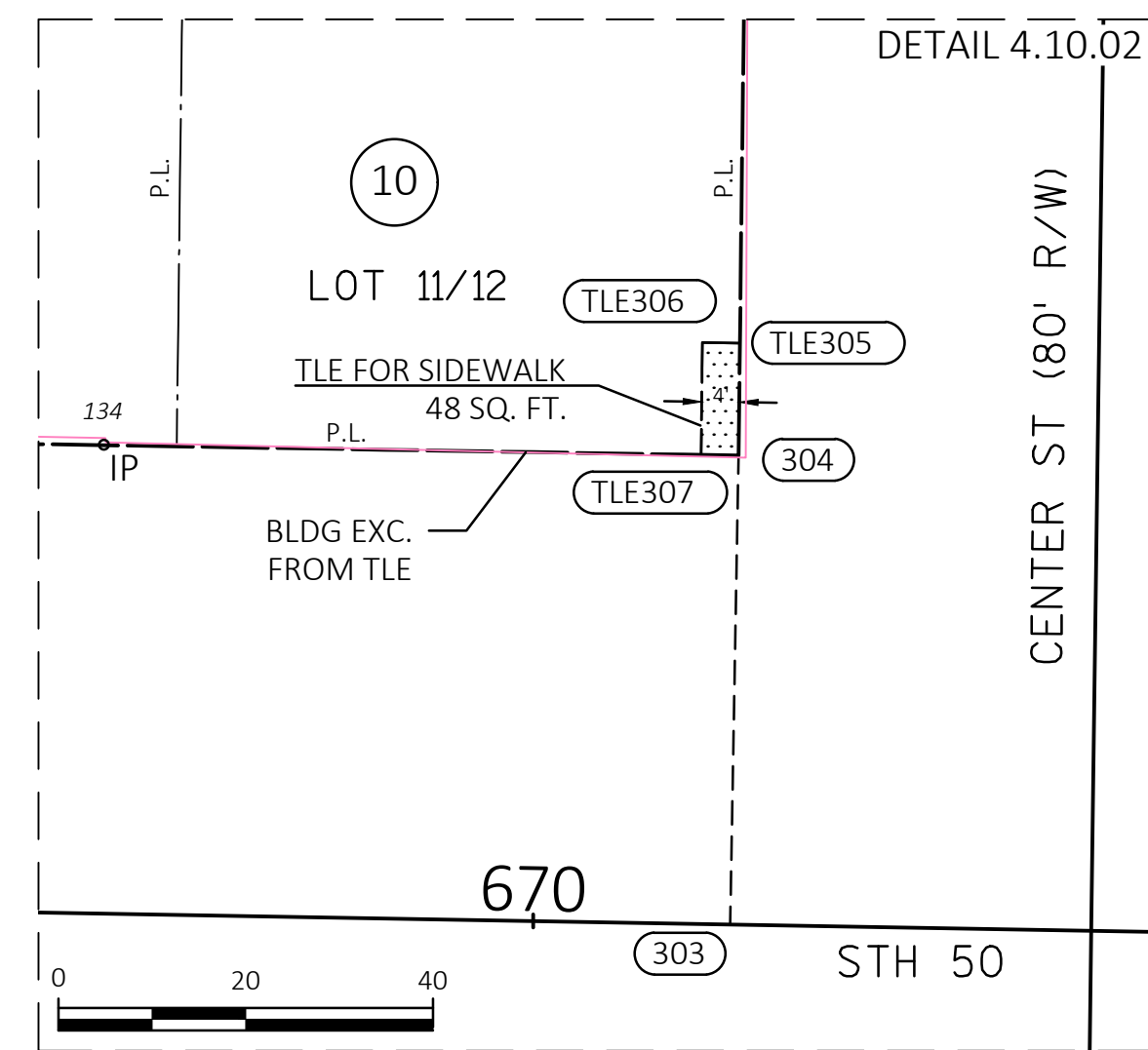
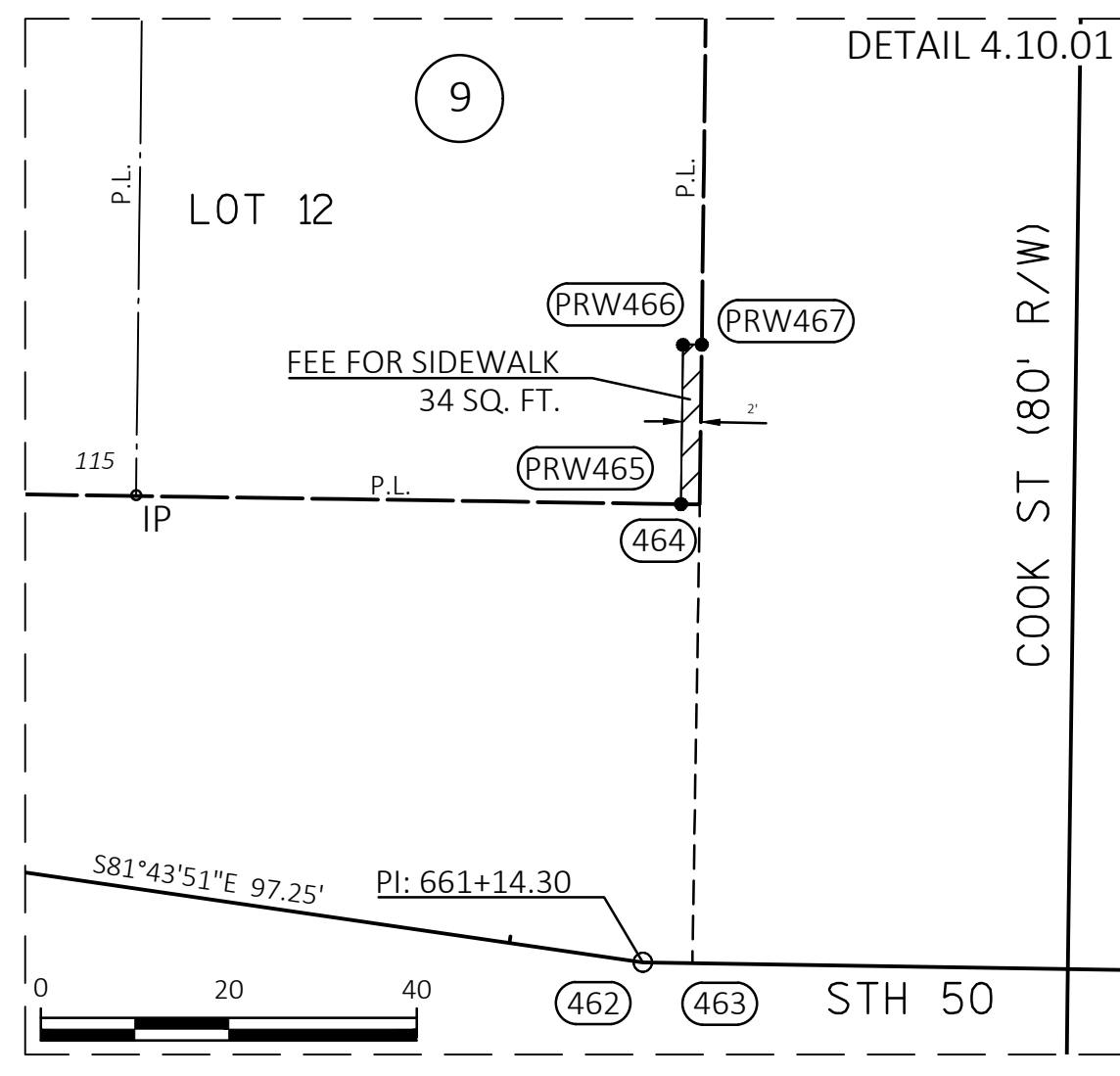
NOTES:
 POSITIONS SHOWN ON THIS PLAN ARE WISCONSIN COORDINATE REFERENCE SYSTEM COORDINATES (WISCRS), WALWORTH COUNTY, NAD 83 (2011) IN US SURVEY FEET, VALUES SHOWN ARE GRID COORDINATES, GRID BEARINGS, AND GRID DISTANCES. GRID DISTANCES MAY BE USED AS GROUND DISTANCES.
 ALL NEW RIGHT-OF-WAY MONUMENTS WILL BE TYPE 2 (TYPICALLY 1/2" X 24" IRON REBARS), UNLESS OTHERWISE NOTED, AND WILL BE PLACED PRIOR TO THE COMPLETION OF THE PROJECT.
 RIGHT-OF-WAY BOUNDARIES ARE DEFINED WITH COURSES OF THE PERIMETER OF THE HIGHWAY LANDS REFERENCED TO THE U.S. PUBLIC LAND SURVEY SYSTEM OR OTHER "SURVEYS" OF THE PUBLIC RECORD.
 DIMENSIONING FOR THE NEW RIGHT-OF-WAY IS MEASURED ALONG AND PERPENDICULAR TO THE NEW REFERENCE LINES.
 PROPERTY LINES SHOWN ON THIS PLAN FOR PROPERTIES BEING IMPACTED ARE DRAWN FROM DATA DERIVED FROM FILED/RECORDED MAPS AND DOCUMENTS OF PUBLIC RECORD. THIS PLAN MAY NOT BE A TRUE REPRESENTATION OF EXISTING PROPERTY LINES, EXCLUDING RIGHT-OF-WAY, AND SHOULD NOT BE USED AS A SUBSTITUTE FOR AN ACCURATE FIELD SURVEY.
 FOR THE CURRENT ACCESS/DRIVEWAY INFORMATION, CONTACT THE PLANNING UNIT OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION OFFICE IN WAUKESHA.
 PARCEL AND UTILITY IDENTIFICATION NUMBERS MAY NOT POINT TO ALL AREAS OF ACQUISITION, AS NOTED ON THE RIGHT-OF-WAY PLAT DETAILS / DETAIL PAGES.
 INFORMATION FOR THE BASIS OF EXISTING HIGHWAY RIGHT-OF-WAY POINTS OF REFERENCE AND ACCESS CONTROL ARE LISTED ON THE RIGHT-OF-WAY PLAT DETAILS / DETAIL PAGES.

HWY	BASIS OF EXISTING R/W	WIDTH	DATE
STH 50	ORIGINAL PLAT OF GENEVA	100'	1840
CENTER	ORIGINAL PLAT OF GENEVA	80'	1840
COOK	ORIGINAL PLAT OF GENEVA	80'	1840

FOUND MONUMENT TABLE			
POINT	DESCRIPTION	Y COORDS	X COORDS
112	IR 5/8"	336219.016	790903.171
113	IP 1"	336218.022	790963.276
114	IR 5/8"	336217.100	791023.274
115	IR 5/8"	336216.391	791083.146
126	CROSS NOTCH	336206.812	791725.769
128	CROSS NOTCH	336206.017	791758.08
130	CROSS NOTCH	336204.923	791846.23
131	CROSS NOTCH	336204.331	791869.134
132	CROSS NOTCH	336203.445	791932.444
133	CROSS NOTCH	336202.881	791953.770
134	CROSS NOTCH	336202.654	791976.740
140	IR 5/8"	336212.757	792124.165
155	CROSS NOTCH	336102.960	791962.973
157	CROSS NOTCH	336103.363	791943.005
158	CROSS NOTCH	336103.826	791923.462
159	CROSS NOTCH	336104.669	791844.448
162	MAG NAIL	336107.387	791677.598

COORDINATE TABLE		
POINT	Y COORDS	X COORDS
293	336149.533	792151.654
294	336149.678	792143.396
TLE295	336099.921	792142.523
TLE296	336081.489	792123.076
TLE297	336100.234	792123.305
298	336150.024	792123.649
299	336199.494	792124.521
PRW300	336202.494	792124.558
PRW301	336202.236	792143.556
PRW302	336199.236	792143.520
303	336151.428	792043.661
304	336201.530	792044.540
TLE305	336213.529	792044.687
TLE306	336213.594	792040.688
TLE307	336201.595	792040.541
462	336166.699	791137.043
463	336166.614	791142.352
464	336215.402	791143.137
PRW465	336215.432	791141.138
PRW466	336232.431	791141.346
PRW467	336232.401	791143.346

COURSE TABLE (4.08.01 FEE)		
COURSE	BEARING	DISTANCE
462-463	S89° 04' 39"E	5.31'
463-464	N00° 55' 21"E	48.79'
464-465	N89° 08' 42"W	2.00'
465-466	N00° 42' 06"E	17.00'
466-467	S89° 08' 42"E	2.00'
467-464	S00° 42' 06"W	17.00'

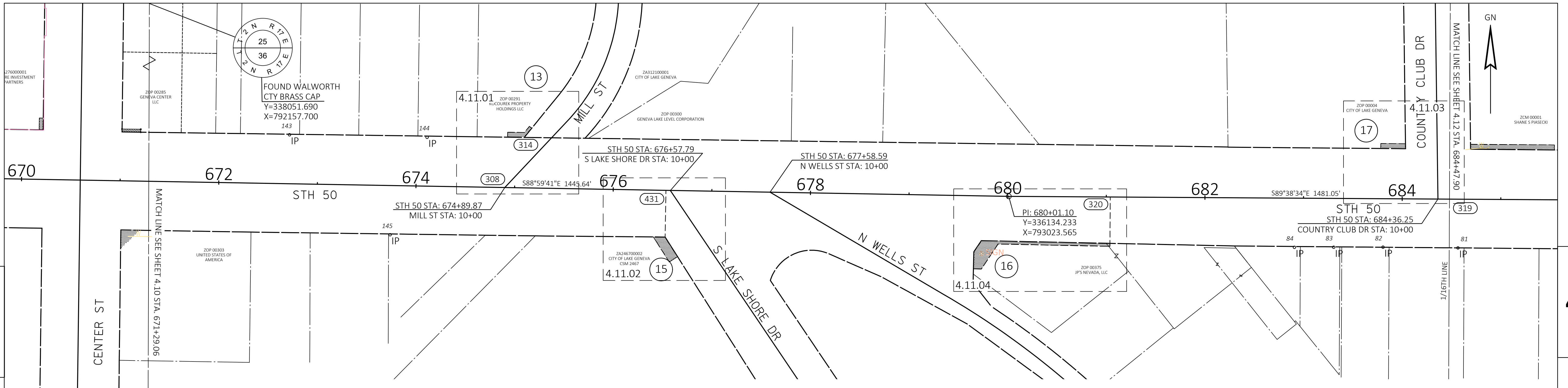


COURSE TABLE (4.08.02 FEE)		
COURSE	BEARING	DISTANCE
293-303	N88° 59' 41"W	108.01'
303-304	N01° 00' 19"E	50.11'
304-305	N00° 42' 06"E	12.00'
305-306	N89° 04' 01"W	4.00'
306-307	S00° 42' 06"W	12.00'
307-304	S89° 04' 01"E	4.00'

COURSE TABLE (4.08.03 FEE)		
COURSE	BEARING	DISTANCE
293-298	N88° 59' 41"W	28.01'
298-299	N01° 00' 19"E	49.48'
299-300	N00° 42' 06"E	3.00'
300-301	S89° 13' 25"E	19.00'
301-302	S00° 42' 06"W	3.00'
302-299	N89° 13' 25"W	19.00'

COURSE TABLE (4.08.04)		
COURSE	BEARING	DISTANCE
293-294	N88° 59' 41"W	8.26'
294-295	S01° 00' 19"W	49.76'
295-296	S46° 32' 03"W	26.79'
296-297	N00° 42' 06"E	18.75'
297-295	S89° 04' 01"E	19.22'

REVISION DATE 03/05/2026	DATE 01/20/2025	SCALE, FEET 0 50 100	HWY: STH 50	STATE R/W PROJECT NUMBER 3170-09-20	PLAT SHEET 4.10
	GRID FACTOR		COUNTY: WALWORTH	CONSTRUCTION PROJECT NUMBER	PS&E SHEET



NOTES:

POSITIONS SHOWN ON THIS PLAT ARE WISCONSIN COORDINATE REFERENCE SYSTEM COORDINATES (WISCRS), WALWORTH COUNTY, NAD 83 (2011) IN US SURVEY FEET, VALUES SHOWN ARE GRID COORDINATES, GRID BEARINGS, AND GRID DISTANCES. GRID DISTANCES MAY BE USED AS GROUND DISTANCES.

ALL NEW RIGHT-OF-WAY MONUMENTS WILL BE TYPE 2 (TYPICALLY 3/4" X 24" IRON REBARS), UNLESS OTHERWISE NOTED, AND WILL BE PLACED PRIOR TO THE COMPLETION OF THE PROJECT.

RIGHT-OF-WAY BOUNDARIES ARE DEFINED WITH COURSES OF THE PERIMETER OF THE HIGHWAY LANDS REFERENCED TO THE U.S. PUBLIC LAND SURVEY SYSTEM OR OTHER "SURVEYS" OF THE PUBLIC RECORD.

DIMENSIONING FOR THE NEW RIGHT-OF-WAY IS MEASURED ALONG AND PERPENDICULAR TO THE NEW REFERENCE LINES.

PROPERTY LINES SHOWN ON THIS PLAT FOR PROPERTIES BEING IMPACTED ARE DRAWN FROM DATA DERIVED FROM FILED/RECORDED MAPS AND DOCUMENTS OF PUBLIC RECORD. THIS PLAT MAY NOT BE A TRUE REPRESENTATION OF EXISTING PROPERTY LINES, EXCLUDING RIGHT-OF-WAY, AND SHOULD NOT BE USED AS A SUBSTITUTE FOR AN ACCURATE FIELD SURVEY.

FOR THE CURRENT ACCESS/DRIVEWAY INFORMATION, CONTACT THE PLANNING UNIT OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION OFFICE IN WAUKESHA.

PARCEL AND UTILITY IDENTIFICATION NUMBERS MAY NOT POINT TO ALL AREAS OF ACQUISITION, AS NOTED ON THE RIGHT-OF-WAY PLAT DETAILS / DETAIL PAGES.

INFORMATION FOR THE BASIS OF EXISTING HIGHWAY RIGHT-OF-WAY POINTS OF REFERENCE AND ACCESS CONTROL ARE LISTED ON THE RIGHT-OF-WAY PLAT DETAILS / DETAIL PAGES.

COURSE TABLE (4.09.01)		
COURSE	BEARING	DISTANCE
308-309	N01° 00' 19"E	51.04'
309-310	N00° 46' 35"E	5.00'
310-311	S89° 13' 25"E	17.00'
311-312	N39° 11' 24"E	8.00'
312-313	S50° 48' 36"E	3.00'
313-314	S39° 11' 24"W	12.00'
314-309	N89° 13' 25"W	16.86'

COURSE TABLE (4.09.02)		
COURSE	BEARING	DISTANCE
431-432	S01° 00' 19"W	47.28'
432-433	S32° 25' 37"E	23.52'
433-434	S57° 34' 23"W	10.00'
434-436	N32° 25' 37"W	30.00'
436-432	S89° 29' 21"E	11.92'

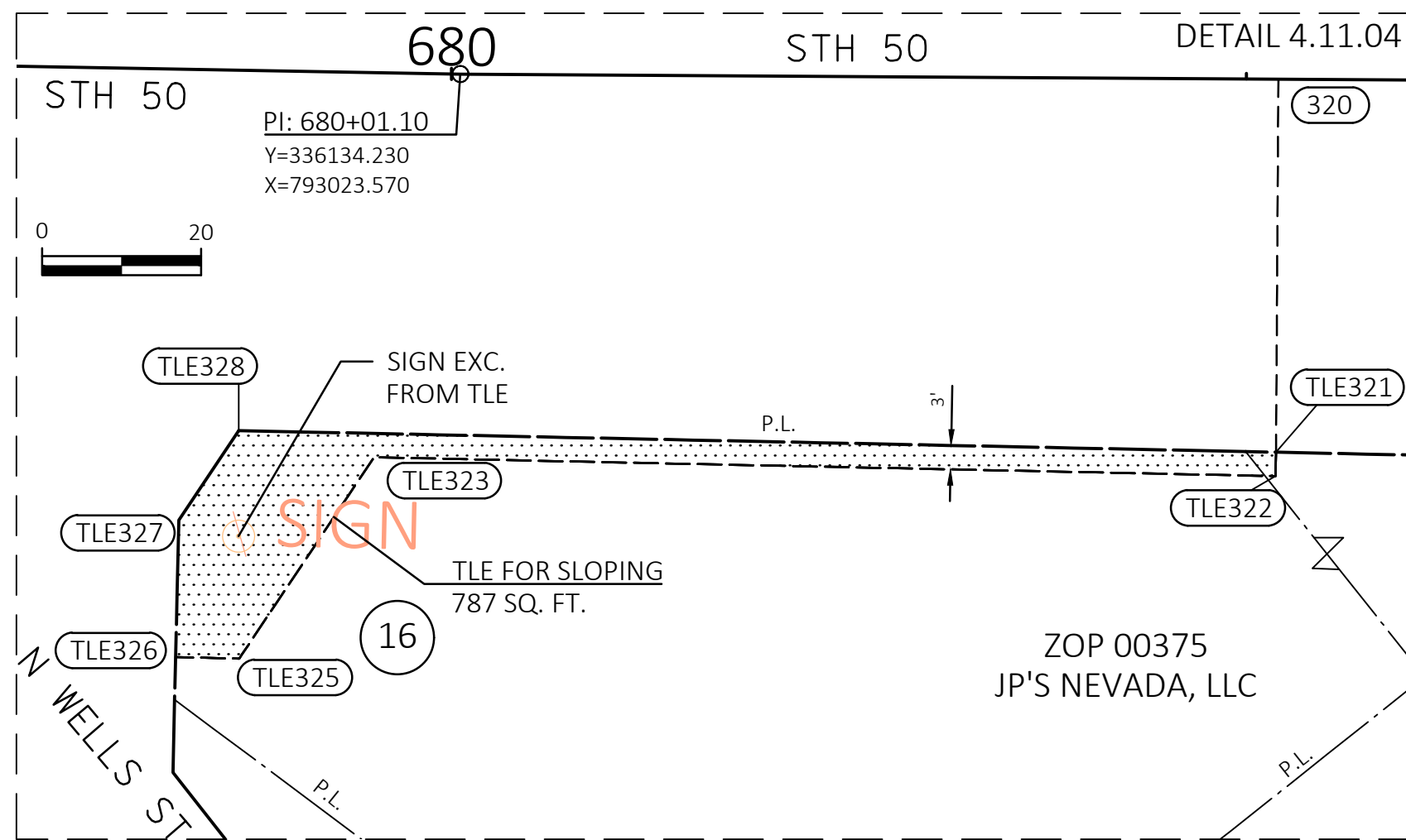
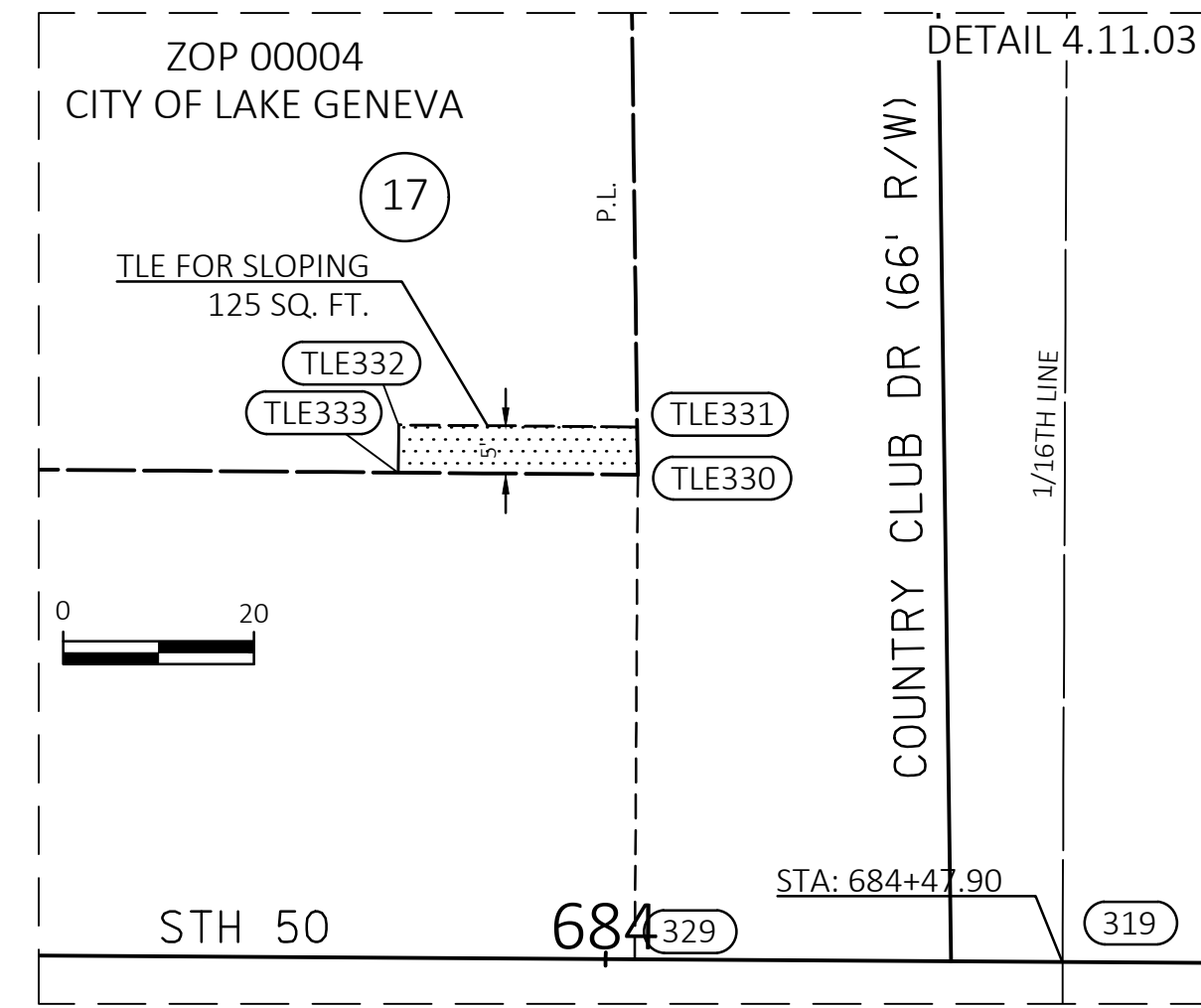
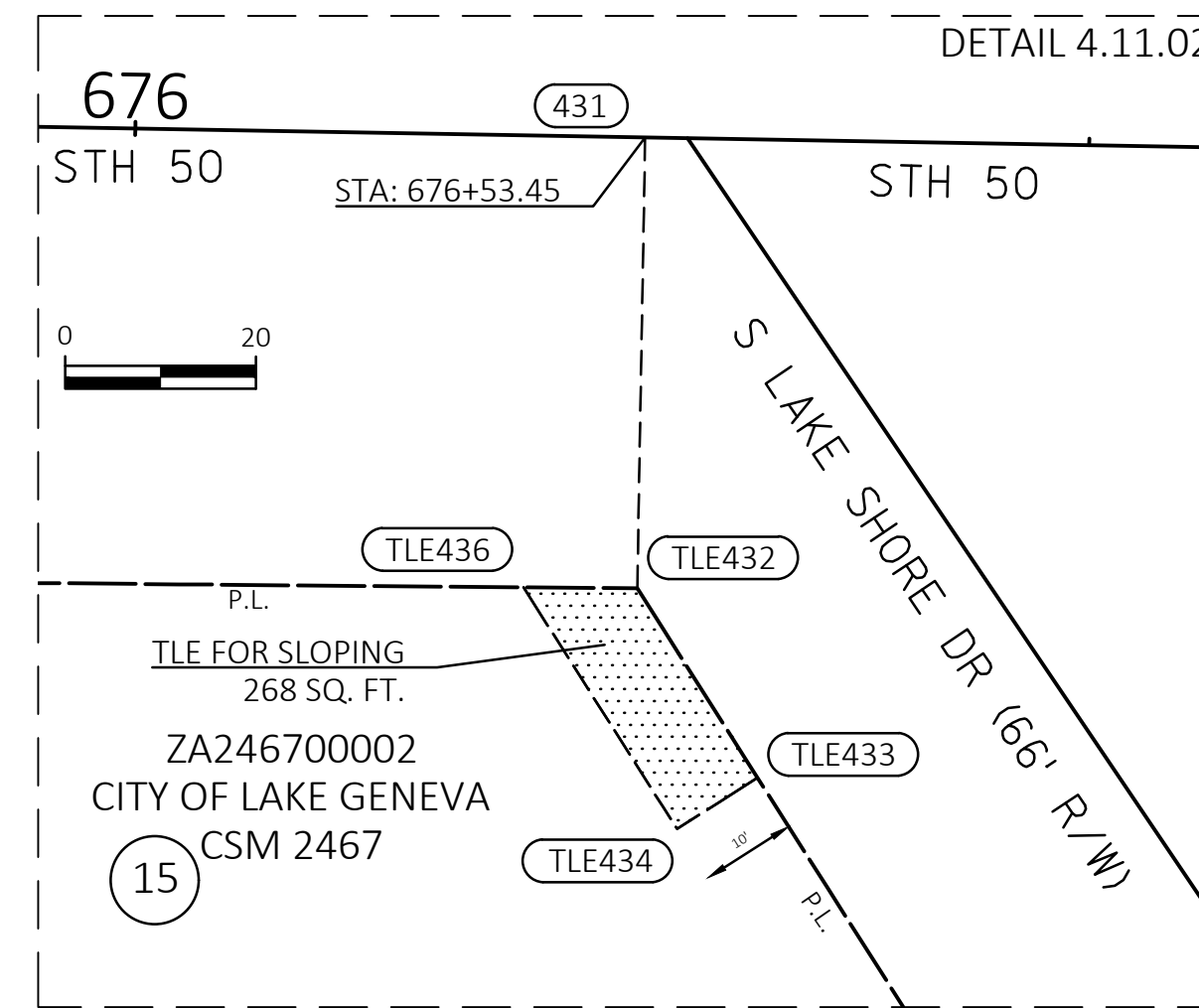
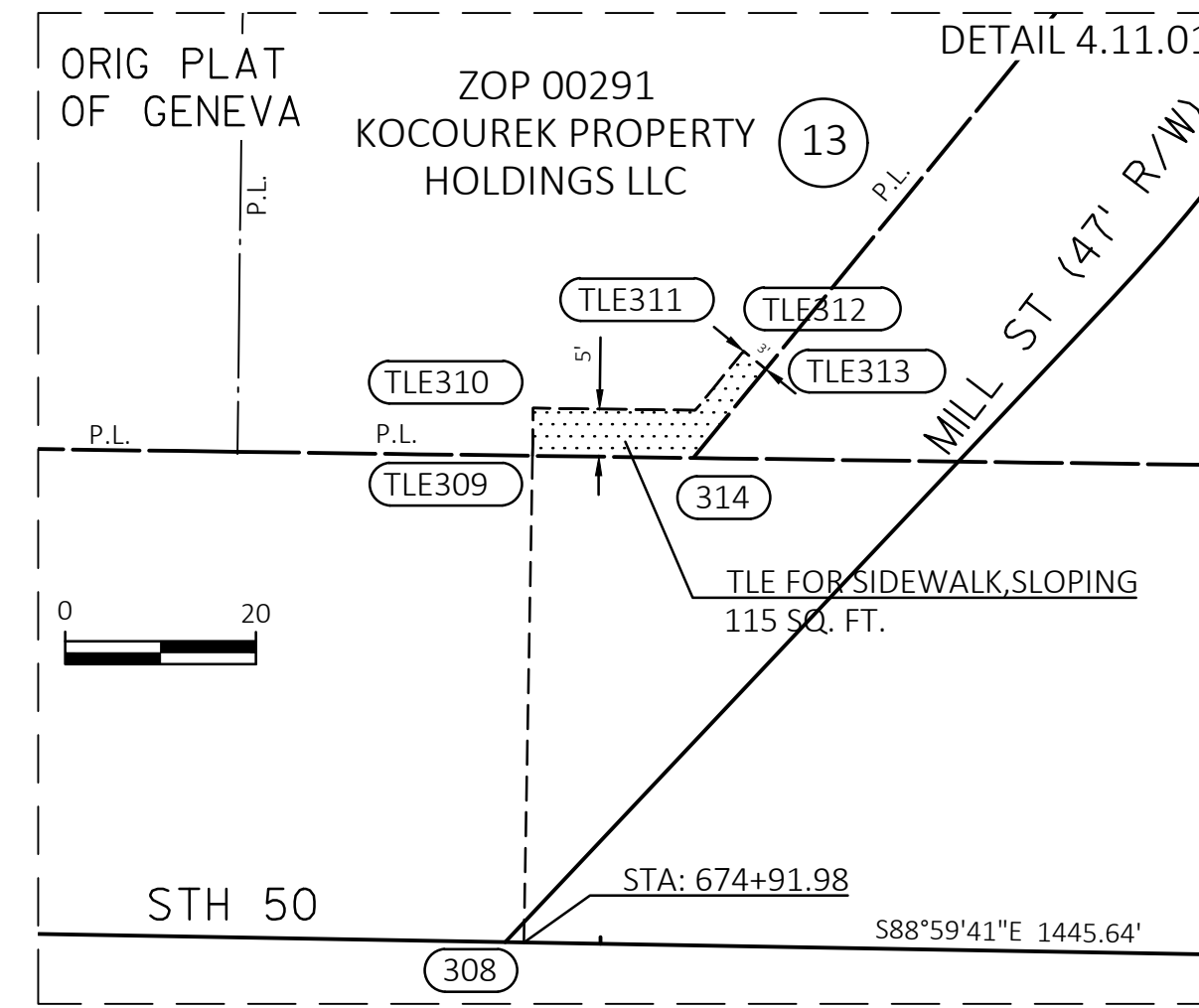
COURSE TABLE (4.09.03)		
COURSE	BEARING	DISTANCE
319-329	N89° 38' 34"W	44.85'
329-330	N00° 21' 26"E	50.83'
330-331	N00° 44' 01"W	5.00'
331-332	N89° 31' 01"W	25.00'
332-333	S00° 44' 01"W	5.00'
333-330	S89° 31' 01"E	25.00'

COURSE TABLE (4.09.04)		
COURSE	BEARING	DISTANCE
319-320	N89° 38' 34"W	343.90'
320-321	S00° 21' 26"W	46.94'
321-322	S01° 11' 56"W	3.00'
322-323	N88° 48' 04"W	113.42'
323-325	S33° 47' 53"W	30.48'
325-326	N88° 39' 25"W	8.00'
326-327	N01° 20' 35"E	17.24'
327-328	N33° 47' 53"E	13.56'
328-321	S88° 48' 04"E	130.50'

FOUND MONUMENT TABLE				
POINT	DESCRIPTION	Y COORDS	X COORDS	
82	IP 1"	336082.796	793402.995	
83	IP 1"	336082.770	793352.964	
84	IP 1"	336082.663	793313.131	
143	IP 1"	336196.619	792294.204	
144	IP 1"	336194.097	792433.734	
145	MAG NAIL	336095.38	792396.229	

HWY	BASIS OF EXISTING R/W	WIDTH	DATE
STH 50	ORIGINAL PLAT OF GENEVA	100'	1840
MILL	ORIGINAL PLAT OF GENEVA	47'	1840
S LAKE SHORE	CSM 2467	66'	1994
N WELLS	ORIGINAL PLAT OF GENEVA	VARIES	
COUNTRY CLUB	ORIGINAL PLAT OF GENEVA	66'	1840

COORDINATE TABLE			
POINT	Y COORDS	X COORDS	
308	336143.166	792514.525	
TLE309	336194.197	792515.420	
TLE310	336199.196	792515.488	
TLE311	336198.966	792532.487	
TLE312	336205.166	792537.542	
TLE313	336203.270	792539.867	
314	336193.968	792532.283	
319	336131.448	793470.358	
320	336133.592	793126.469	
TLE321	336086.653	793126.176	
TLE322	336083.653	793126.114	
TLE323	336086.026	793012.715	
TLE325	336060.698	792995.761	
TLE326	336060.885	792987.763	
TLE327	336078.117	792988.167	
TLE328	336089.383	792995.708	
329	336131.727	793425.509	
TLE330	336182.554	793425.826	
TLE331	336187.555	793425.755	
TLE332	336187.766	793400.756	
TLE333	336182.766	793400.714	
431	336140.333	792675.967	
TLE432	336093.060	792675.138	
TLE433	336073.206	792687.751	
TLE434	336067.844	792679.310	
TLE436	336093.166	792663.223	



REVISION DATE 03/05/2026

DATE 01/20/2025

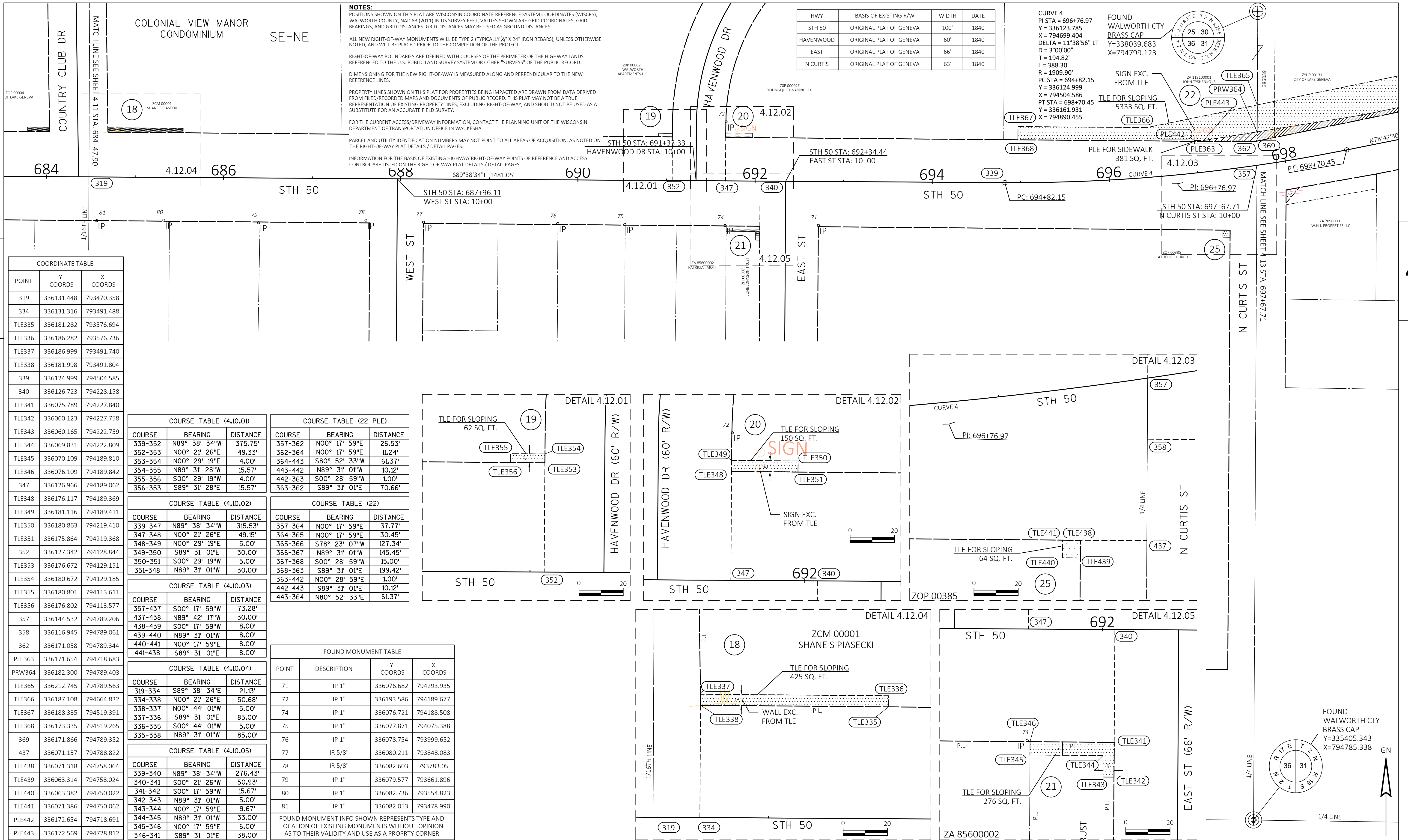
SCALE, FEET

HWY: STH 50
COUNTY: WALWORTH

STATE R/W PROJECT NUMBER 3170-09-20
CONSTRUCTION PROJECT NUMBER

PLAT SHEET 4.11
PS&E SHEET

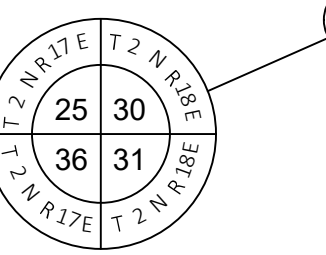
E



NOTES:
 POSITIONS SHOWN ON THIS PLAT ARE WISCONSIN COORDINATE REFERENCE SYSTEM COORDINATES (WISCRS), WALWORTH COUNTY, MAD 83 (2011) IN US SURVEY FEET. VALUES SHOWN ARE GRID COORDINATES, GRID BEARINGS, AND GRID DISTANCES. GRID DISTANCES MAY BE USED AS GROUND DISTANCES.
 ALL NEW RIGHT-OF-WAY MONUMENTS WILL BE TYPE 2 (TYPICALLY 1/2" X 24" IRON REBARS), UNLESS OTHERWISE NOTED, AND WILL BE PLACED PRIOR TO THE COMPLETION OF THE PROJECT.
 RIGHT-OF-WAY BOUNDARIES ARE DEFINED WITH COURSES OF THE PERIMETER OF THE HIGHWAY LANDS REFERENCED TO THE U.S. PUBLIC LAND SURVEY SYSTEM OR OTHER "SURVEYS" OF THE PUBLIC RECORD.
 DIMENSIONING FOR THE NEW RIGHT-OF-WAY IS MEASURED ALONG AND PERPENDICULAR TO THE NEW REFERENCE LINES.
 PROPERTY LINES SHOWN ON THIS PLAT FOR PROPERTIES BEING IMPACTED ARE DRAWN FROM DATA DERIVED FROM FILED/RECORDED MAPS AND DOCUMENTS OF PUBLIC RECORD. THIS PLAT MAY NOT BE A TRUE REPRESENTATION OF EXISTING PROPERTY LINES, EXCLUDING RIGHT-OF-WAY, AND SHOULD NOT BE USED AS A SUBSTITUTE FOR AN ACCURATE FIELD SURVEY.
 FOR THE CURRENT ACCESS/DRIVEWAY INFORMATION, CONTACT THE PLANNING UNIT OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION OFFICE IN WAUKESHA.
 PARCEL AND UTILITY IDENTIFICATION NUMBERS MAY NOT POINT TO ALL AREAS OF ACQUISITION, AS NOTED ON THE RIGHT-OF-WAY PLAT DETAILS / DETAIL PAGES.
 INFORMATION FOR THE BASIS OF EXISTING HIGHWAY RIGHT-OF-WAY POINTS OF REFERENCE AND ACCESS CONTROL ARE LISTED ON THE RIGHT-OF-WAY PLAT DETAILS / DETAIL PAGES.

HWY	BASIS OF EXISTING R/W	WIDTH	DATE
STH 50	ORIGINAL PLAT OF GENEVA	100'	1840
HAVENWOOD	ORIGINAL PLAT OF GENEVA	60'	1840
EAST	ORIGINAL PLAT OF GENEVA	66'	1840
N CURTIS	ORIGINAL PLAT OF GENEVA	63'	1840

CURVE 4
 PI STA = 696+76.97
 Y = 336123.785
 X = 794699.404
 DELTA = 11°38'56" LT
 D = 3°00'00"
 L = 194.82'
 R = 1909.90'
 PC STA = 694+82.15
 Y = 336124.999
 X = 794504.586
 PT STA = 698+70.45
 Y = 336161.931
 X = 794890.455



COORDINATE TABLE

POINT	Y COORDS	X COORDS
319	336131.448	793470.358
334	336131.316	793491.488
TLE335	336181.282	793576.694
TLE336	336186.282	793576.736
TLE337	336186.999	793491.740
TLE338	336181.998	793491.804
339	336124.999	794504.585
340	336126.723	794228.158
TLE341	336075.789	794227.840
TLE342	336060.123	794227.758
TLE343	336060.165	794222.759
TLE344	336069.831	794222.809
TLE345	336070.109	794189.810
TLE346	336076.109	794189.842
347	336126.966	794189.062
TLE348	336176.117	794189.369
TLE349	336181.116	794189.411
TLE350	336180.863	794219.410
TLE351	336175.864	794219.368
352	336127.342	794128.844
TLE353	336176.672	794129.151
TLE354	336180.672	794129.185
TLE355	336180.801	794113.611
TLE356	336176.802	794113.577
357	336144.532	794789.206
358	336116.945	794789.061
362	336171.058	794789.344
PLE363	336171.654	794718.683
PRW364	336182.300	794789.403
TLE365	336212.745	794789.563
TLE366	336187.108	794664.832
TLE367	336188.335	794519.391
TLE368	336173.335	794519.265
369	336171.866	794789.352
437	336071.157	794788.822
TLE438	336071.318	794758.064
TLE439	336063.314	794758.024
TLE440	336063.382	794750.022
TLE441	336071.386	794750.062
PLE442	336172.654	794718.691
PLE443	336172.569	794728.812

COURSE TABLE (4.10.01)

COURSE	BEARING	DISTANCE
339-352	N89° 38' 34"W	375.75'
352-353	N00° 21' 26"E	49.33'
353-354	N00° 29' 19"E	4.00'
354-355	N89° 31' 28"W	15.57'
355-356	S00° 29' 19"W	4.00'
356-353	S89° 31' 28"E	15.57'

COURSE TABLE (22 PLE)

COURSE	BEARING	DISTANCE
357-362	N00° 17' 59"E	26.53'
362-364	N00° 17' 59"E	11.24'
364-443	S80° 52' 33"W	61.37'
443-442	N89° 31' 01"W	10.12'
442-363	S00° 28' 59"W	1.00'
363-362	S89° 31' 01"E	70.66'

COURSE TABLE (4.10.02)

COURSE	BEARING	DISTANCE
339-347	N89° 38' 34"W	315.53'
347-348	N00° 21' 26"E	49.15'
348-349	N00° 29' 19"E	5.00'
349-350	S89° 31' 01"W	30.00'
350-351	S00° 29' 19"W	5.00'
351-348	N89° 31' 01"W	30.00'

COURSE TABLE (22)

COURSE	BEARING	DISTANCE
357-364	N00° 17' 59"E	37.77'
364-365	N00° 17' 59"E	30.45'
365-366	S78° 23' 07"W	127.34'
366-367	N89° 31' 01"W	145.45'
367-368	S00° 28' 59"W	15.00'
368-363	S89° 31' 01"E	199.42'
363-442	N00° 28' 59"E	1.00'
442-443	S89° 31' 01"E	10.12'
443-364	N80° 52' 33"E	61.37'

COURSE TABLE (4.10.03)

COURSE	BEARING	DISTANCE
357-437	S00° 17' 59"W	73.28'
437-438	N89° 42' 17"W	30.00'
438-439	S00° 17' 59"W	8.00'
439-440	N89° 31' 01"W	8.00'
440-441	N00° 17' 59"E	8.00'
441-438	S89° 31' 01"E	8.00'

COURSE TABLE (4.10.04)

COURSE	BEARING	DISTANCE
319-334	S89° 38' 34"E	21.13'
334-338	N00° 21' 26"E	50.68'
338-337	N00° 44' 01"W	5.00'
337-336	S89° 31' 01"E	85.00'
336-335	S00° 44' 01"W	5.00'
335-338	N89° 31' 01"W	85.00'

COURSE TABLE (4.10.05)

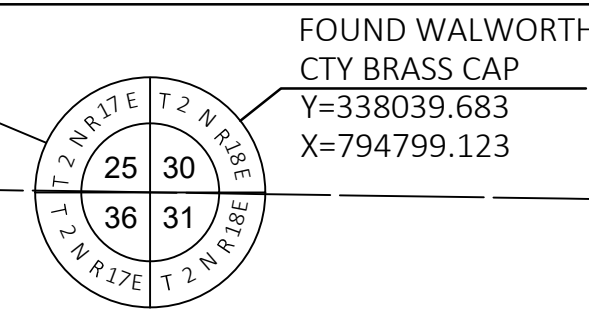
COURSE	BEARING	DISTANCE
339-340	N89° 38' 34"W	276.43'
340-341	S00° 21' 26"W	50.93'
341-342	S00° 17' 59"W	15.67'
342-343	N89° 31' 01"W	5.00'
343-344	N00° 17' 59"E	9.67'
344-345	N89° 31' 01"W	33.00'
345-346	N00° 17' 59"E	6.00'
346-341	S89° 31' 01"E	38.00'

FOUND MONUMENT TABLE

POINT	DESCRIPTION	Y COORDS	X COORDS
71	IP 1"	336076.682	794293.935
72	IP 1"	336193.586	794189.677
74	IP 1"	336076.721	794188.508
75	IP 1"	336077.871	794075.388
76	IP 1"	336078.754	793999.652
77	IR 5/8"	336080.211	793848.083
78	IR 5/8"	336082.603	793783.05
79	IP 1"	336079.577	793661.896
80	IP 1"	336082.736	793554.823
81	IP 1"	336082.053	793478.990

FOUND MONUMENT INFO SHOWN REPRESENTS TYPE AND LOCATION OF EXISTING MONUMENTS WITHOUT OPINION AS TO THEIR VALIDITY AND USE AS A PROPERTY CORNER

REVISION DATE 03/05/2026	DATE 01/20/2025	SCALE, FEET 0 50 100	HWY: STH 50	STATE R/W PROJECT NUMBER 3170-09-20	PLAT SHEET 4.12
	GRID FACTOR		COUNTY: WALWORTH	CONSTRUCTION PROJECT NUMBER	PS&E SHEET



NOTES:
 POSITIONS SHOWN ON THIS PLAT ARE WISCONSIN COORDINATE REFERENCE SYSTEM COORDINATES (NAD 83 (2011) IN US SURVEY FEET, VALUES SHOWN ARE GRID COORDINATES, GRID BEARINGS, AND GRID DISTANCES. GRID DISTANCES MAY BE USED AS GROUND DISTANCES.
 ALL NEW RIGHT-OF-WAY MONUMENTS WILL BE TYPE 2 (TYPICALLY 1/2" X 24" IRON REBARS), UNLESS OTHERWISE NOTED, AND WILL BE PLACED PRIOR TO THE COMPLETION OF THE PROJECT
 RIGHT-OF-WAY BOUNDARIES ARE DEFINED WITH COURSES OF THE PERIMETER OF THE HIGHWAY LANDS REFERENCED TO THE U.S. PUBLIC LAND SURVEY SYSTEM OR OTHER "SURVEYS" OF THE PUBLIC RECORD.
 DIMENSIONING FOR THE NEW RIGHT-OF-WAY IS MEASURED ALONG AND PERPENDICULAR TO THE NEW REFERENCE LINES.
 PROPERTY LINES SHOWN ON THIS PLAT FOR PROPERTIES BEING IMPACTED ARE DRAWN FROM DATA DERIVED FROM FILED/RECORDED MAPS AND DOCUMENTS OF PUBLIC RECORD. THIS PLAT MAY NOT BE A TRUE REPRESENTATION OF EXISTING PROPERTY LINES, EXCLUDING RIGHT-OF-WAY, AND SHOULD NOT BE USED AS A SUBSTITUTE FOR AN ACCURATE FIELD SURVEY.
 FOR THE CURRENT ACCESS/DRIVEWAY INFORMATION, CONTACT THE PLANNING UNIT OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION OFFICE IN WAUKESHA.
 PARCEL AND UTILITY IDENTIFICATION NUMBERS MAY NOT POINT TO ALL AREAS OF ACQUISITION, AS NOTED ON THE RIGHT-OF-WAY PLAT DETAILS / DETAIL PAGES.
 INFORMATION FOR THE BASIS OF EXISTING HIGHWAY RIGHT-OF-WAY POINTS OF REFERENCE AND ACCESS CONTROL ARE LISTED ON THE RIGHT-OF-WAY PLAT DETAILS / DETAIL PAGES.

FOUND MONUMENT TABLE			
POINT	DESCRIPTION	Y COORDS	X COORDS
57	IP 1"	336165.043	795923.310
60	IR 5/8"	336266.495	795582.990
62	IR 5/8"	336207.439	795287.895
64	IP 1"	336147.792	794989.127
65	IP 1"	336134.446	794922.261
66	IR 5/8"	336116.516	794821.637

HWY	BASIS OF EXISTING R/W	WIDTH	DATE
STH 50	ORIGINAL PLAT OF GENEVA	100'	1840
N CURTIS	ORIGINAL PLAT OF GENEVA	63'	1840
WEST DR	LAKE GENEVA GOLF HILLS	40'	1947

COURSE TABLE (23 PLE)		
COURSE	BEARING	DISTANCE
365-470	N78° 23' 07"E	591.86'
470-448	N11° 36' 53"W	5.00'
448-449	N78° 23' 07"E	40.00'
449-450	S11° 36' 53"E	40.00'
450-451	S78° 23' 07"W	40.00'
451-448	N11° 36' 53"W	40.00'

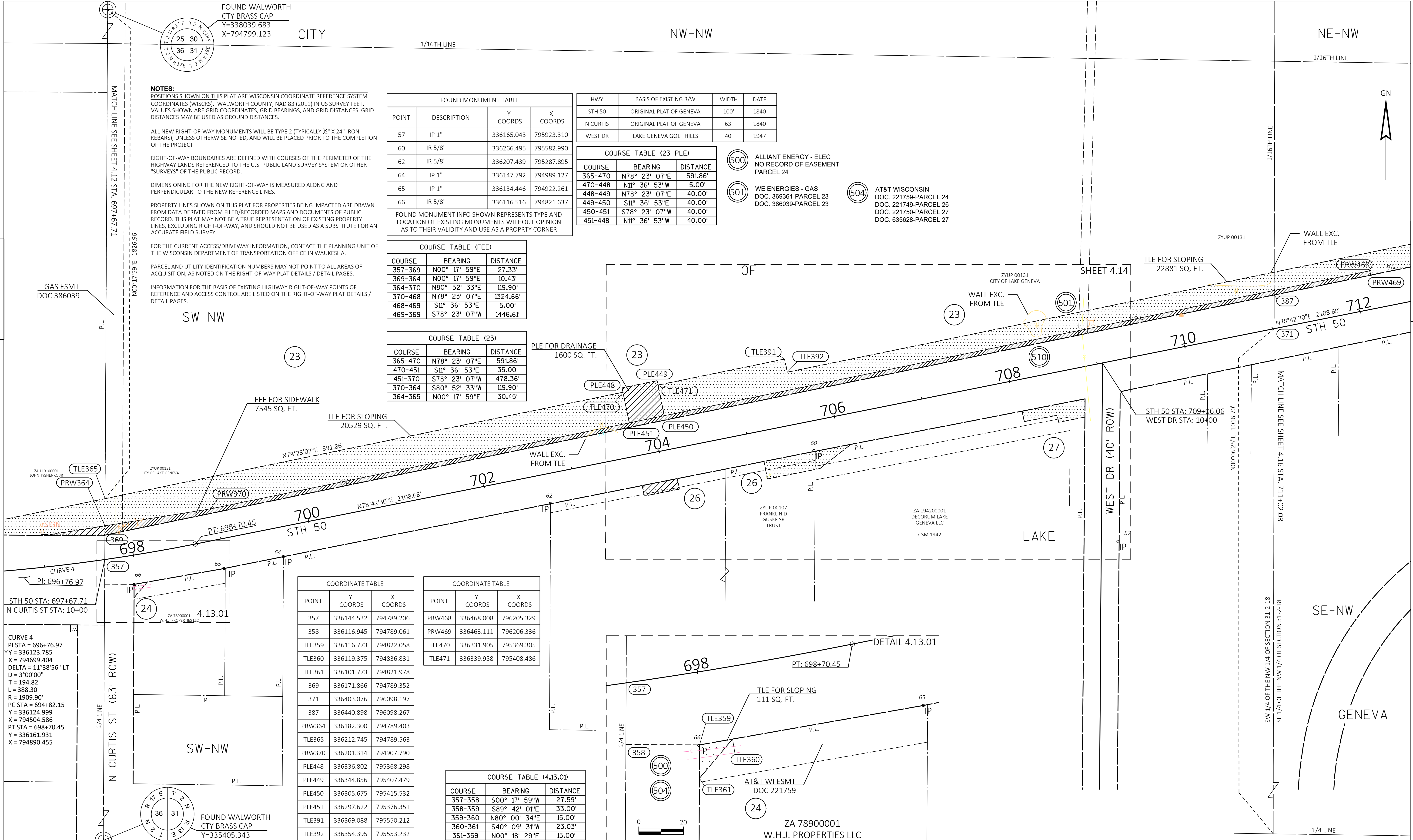
COURSE TABLE (FEE)		
COURSE	BEARING	DISTANCE
357-369	N00° 17' 59"E	27.33'
369-364	N00° 17' 59"E	10.43'
364-370	N80° 52' 33"E	119.90'
370-468	N78° 23' 07"E	1324.66'
468-469	S11° 36' 53"E	5.00'
469-369	S78° 23' 07"W	1446.61'

COURSE TABLE (23)		
COURSE	BEARING	DISTANCE
365-470	N78° 23' 07"E	591.86'
470-451	S11° 36' 53"E	35.00'
451-370	S78° 23' 07"W	478.36'
370-364	S80° 52' 33"W	119.90'
364-365	N00° 17' 59"E	30.45'

COORDINATE TABLE		
POINT	Y COORDS	X COORDS
357	336144.532	794789.206
358	336116.945	794789.061
TLE359	336116.773	794822.058
TLE360	336119.375	794836.831
TLE361	336101.773	794821.978
369	336171.866	794789.352
371	336403.076	796098.197
387	336440.898	796098.267
PRW364	336182.300	794789.403
TLE365	336212.745	794789.563
PRW370	336201.314	794907.790
PLE448	336336.802	795368.298
PLE449	336344.856	795407.479
PLE450	336305.675	795415.532
PLE451	336297.622	795376.351
TLE391	336369.088	795550.212
TLE392	336354.395	795553.232

COURSE TABLE (4.13.01)		
COURSE	BEARING	DISTANCE
357-358	S00° 17' 59"W	27.59'
358-359	S89° 42' 01"E	33.00'
359-360	N80° 00' 34"E	15.00'
360-361	S40° 09' 31"W	23.03'
361-359	N00° 18' 29"E	15.00'

(500) ALLIANT ENERGY - ELEC NO RECORD OF EASEMENT PARCEL 24
 (501) WE ENERGIES - GAS DOC. 369361-PARCEL 23 DOC. 386039-PARCEL 23
 (504) AT&T WISCONSIN DOC. 221759-PARCEL 24 DOC. 221749-PARCEL 26 DOC. 221750-PARCEL 27 DOC. 635628-PARCEL 27



REVISION DATE 03/05/2026	DATE 01/20/2025	SCALE, FEET 0 50 100	HWY: STH 50	STATE R/W PROJECT NUMBER 3170-09-20	PLAT SHEET 4.13
	GRID FACTOR		COUNTY: WALWORTH	CONSTRUCTION PROJECT NUMBER	PS&E SHEET

FOUND WALWORTH CTY BRASS CAP
Y=338039.683
X=794799.123

FOUND MONUMENT TABLE			
POINT	DESCRIPTION	Y COORDS	X COORDS
57	IP 1"	336165.043	795923.310
60	IR 5/8"	336266.495	795582.990

FOUND MONUMENT INFO SHOWN REPRESENTS TYPE AND LOCATION OF EXISTING MONUMENTS WITHOUT OPINION AS TO THEIR VALIDITY AND USE AS A PROPERTY CORNER

NOTES:

POSITIONS SHOWN ON THIS PLAT ARE WISCONSIN COORDINATE REFERENCE SYSTEM COORDINATES (WISCRS), WALWORTH COUNTY, NAD 83 (2011) IN US SURVEY FEET, VALUES SHOWN ARE GRID COORDINATES, GRID BEARINGS, AND GRID DISTANCES. GRID DISTANCES MAY BE USED AS GROUND DISTANCES.

ALL NEW RIGHT-OF-WAY MONUMENTS WILL BE TYPE 2 (TYPICALLY 3/4" X 24" IRON REBARS), UNLESS OTHERWISE NOTED, AND WILL BE PLACED PRIOR TO THE COMPLETION OF THE PROJECT

RIGHT-OF-WAY BOUNDARIES ARE DEFINED WITH COURSES OF THE PERIMETER OF THE HIGHWAY LANDS REFERENCED TO THE U.S. PUBLIC LAND SURVEY SYSTEM OR OTHER "SURVEYS" OF THE PUBLIC RECORD.

DIMENSIONING FOR THE NEW RIGHT-OF-WAY IS MEASURED ALONG AND PERPENDICULAR TO THE NEW REFERENCE LINES.

PROPERTY LINES SHOWN ON THIS PLAT FOR PROPERTIES BEING IMPACTED ARE DRAWN FROM DATA DERIVED FROM FILED/RECORDED MAPS AND DOCUMENTS OF PUBLIC RECORD. THIS PLAT MAY NOT BE A TRUE REPRESENTATION OF EXISTING PROPERTY LINES, EXCLUDING RIGHT-OF-WAY, AND SHOULD NOT BE USED AS A SUBSTITUTE FOR AN ACCURATE FIELD SURVEY.

FOR THE CURRENT ACCESS/DRIVEWAY INFORMATION, CONTACT THE PLANNING UNIT OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION OFFICE IN WAUKESHA.

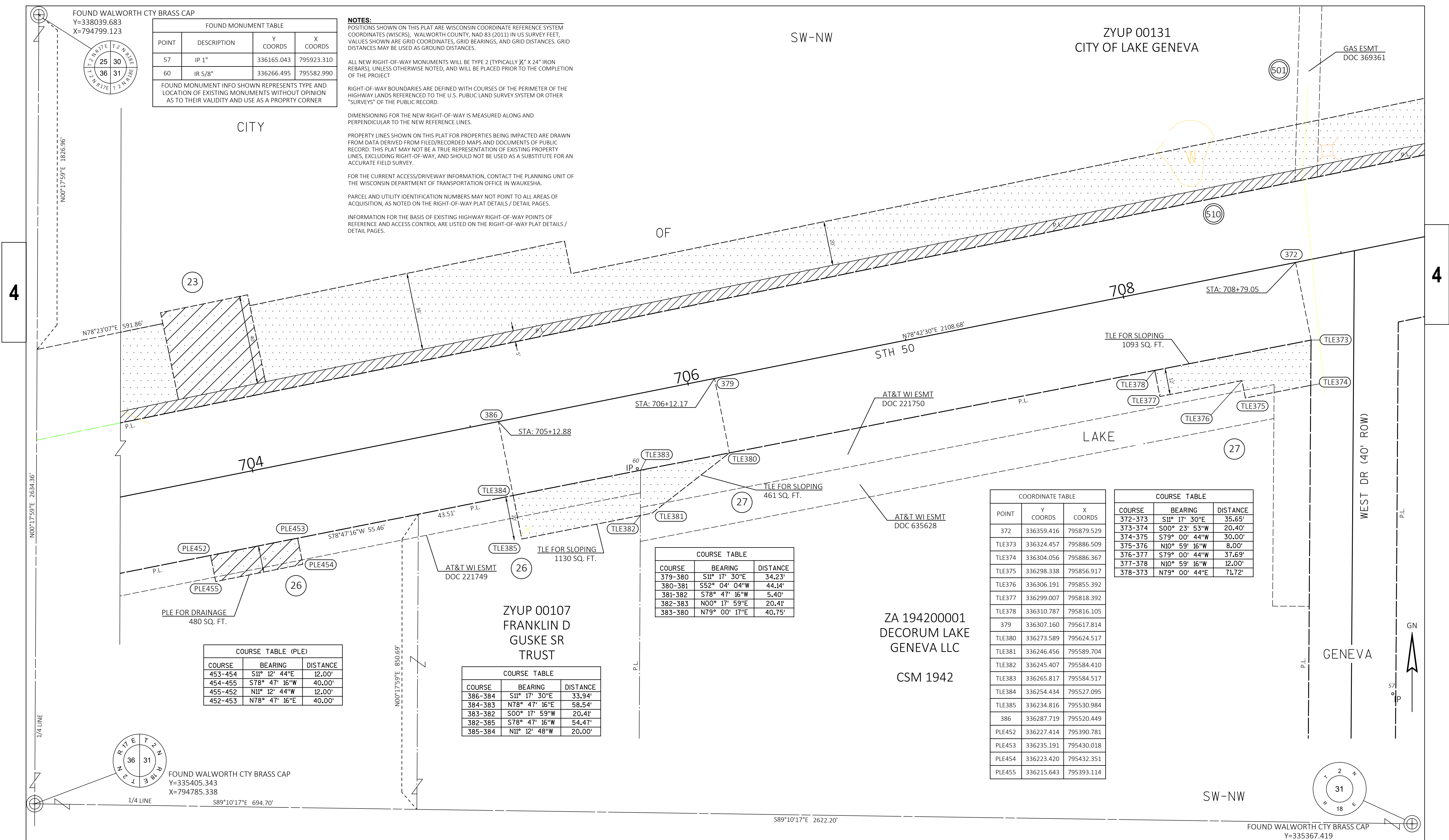
PARCEL AND UTILITY IDENTIFICATION NUMBERS MAY NOT POINT TO ALL AREAS OF ACQUISITION, AS NOTED ON THE RIGHT-OF-WAY PLAT DETAILS / DETAIL PAGES.

INFORMATION FOR THE BASIS OF EXISTING HIGHWAY RIGHT-OF-WAY POINTS OF REFERENCE AND ACCESS CONTROL ARE LISTED ON THE RIGHT-OF-WAY PLAT DETAILS / DETAIL PAGES.

SW-NW

ZYUP 00131
CITY OF LAKE GENEVA

GAS ESMT
DOC 369361



COURSE TABLE (PLE)		
COURSE	BEARING	DISTANCE
453-454	S11° 12' 44"E	12.00'
454-455	S78° 47' 16"W	40.00'
455-452	N11° 12' 44"W	12.00'
452-453	N78° 47' 16"E	40.00'

COURSE TABLE		
COURSE	BEARING	DISTANCE
379-380	S11° 17' 30"E	34.23'
380-381	S52° 04' 04"W	44.14'
381-382	S78° 47' 16"W	5.40'
382-383	N00° 17' 59"E	20.41'
383-380	N79° 00' 17"E	40.75'

COURSE TABLE		
COURSE	BEARING	DISTANCE
386-384	S11° 17' 30"E	33.94'
384-383	N78° 47' 16"E	58.54'
383-382	S00° 17' 59"W	20.41'
382-385	S78° 47' 16"W	54.47'
385-384	N11° 12' 48"W	20.00'

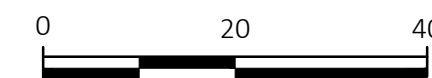
COORDINATE TABLE		
POINT	Y COORDS	X COORDS
372	336359.416	795879.529
TLE373	336324.457	795886.509
TLE374	336304.056	795886.367
TLE375	336298.338	795856.917
TLE376	336306.191	795855.392
TLE377	336299.007	795818.392
TLE378	336310.787	795816.105
379	336307.160	795617.814
TLE380	336273.589	795624.517
TLE381	336246.456	795589.704
TLE382	336245.407	795584.410
TLE383	336265.817	795584.517
TLE384	336254.434	795527.095
TLE385	336234.816	795530.984
386	336287.719	795520.449
PLE452	336227.414	795390.781
PLE453	336235.191	795430.018
PLE454	336223.420	795432.351
PLE455	336215.643	795393.114

COURSE TABLE		
COURSE	BEARING	DISTANCE
372-373	S11° 17' 30"E	35.65'
373-374	S00° 23' 53"W	20.40'
374-375	S79° 00' 44"W	30.00'
375-376	N10° 59' 16"W	8.00'
376-377	S79° 00' 44"W	37.69'
377-378	N10° 59' 16"W	12.00'
378-373	N79° 00' 44"E	71.72'

REVISION DATE 03/05/2026

DATE 01/20/2025

SCALE, FEET



HWY: STH 50

STATE R/W PROJECT NUMBER 3170-09-70

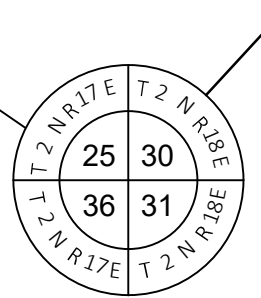
PLAT SHEET 4.14

COUNTY: WALWORTH

CONSTRUCTION PROJECT NUMBER

PS&E SHEET

E



FOUND WALWORTH CTY BRASS CAP
 Y=338039.683
 X=794799.123

CITY

NW-NW

NE-NW

1/16TH LINE

1/16TH LINE

NOTES:

POSITIONS SHOWN ON THIS PLAT ARE WISCONSIN COORDINATE REFERENCE SYSTEM COORDINATES (WISCRS). WALWORTH COUNTY, NAD 83 (2011) IN US SURVEY FEET. VALUES SHOWN ARE GRID COORDINATES, GRID BEARINGS, AND GRID DISTANCES. GRID DISTANCES MAY BE USED AS GROUND DISTANCES.

ALL NEW RIGHT-OF-WAY MONUMENTS WILL BE TYPE 2 (TYPICALLY 3/4" X 24" IRON REBARS), UNLESS OTHERWISE NOTED, AND WILL BE PLACED PRIOR TO THE COMPLETION OF THE PROJECT.

RIGHT-OF-WAY BOUNDARIES ARE DEFINED WITH COURSES OF THE PERIMETER OF THE HIGHWAY LANDS REFERENCED TO THE U.S. PUBLIC LAND SURVEY SYSTEM OR OTHER "SURVEYS" OF THE PUBLIC RECORD.

DIMENSIONING FOR THE NEW RIGHT-OF-WAY IS MEASURED ALONG AND PERPENDICULAR TO THE NEW REFERENCE LINES.

PROPERTY LINES SHOWN ON THIS PLAT FOR PROPERTIES BEING IMPACTED ARE DRAWN FROM DATA DERIVED FROM FILED/RECORDED MAPS AND DOCUMENTS OF PUBLIC RECORD. THIS PLAT MAY NOT BE A TRUE REPRESENTATION OF EXISTING PROPERTY LINES, EXCLUDING RIGHT-OF-WAY, AND SHOULD NOT BE USED AS A SUBSTITUTE FOR AN ACCURATE FIELD SURVEY.

FOR THE CURRENT ACCESS/DRIVEWAY INFORMATION, CONTACT THE PLANNING UNIT OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION OFFICE IN WAUKESHA.

PARCEL AND UTILITY IDENTIFICATION NUMBERS MAY NOT POINT TO ALL AREAS OF ACQUISITION, AS NOTED ON THE RIGHT-OF-WAY PLAT DETAILS / DETAIL PAGES.

INFORMATION FOR THE BASIS OF EXISTING HIGHWAY RIGHT-OF-WAY POINTS OF REFERENCE AND ACCESS CONTROL ARE LISTED ON THE RIGHT-OF-WAY PLAT DETAILS / DETAIL PAGES.

FOUND MONUMENT TABLE			
POINT	DESCRIPTION	Y COORDS	X COORDS
53	IR 5/8"	336423.557	796375.633
57	IP 1"	336165.043	795923.310
60	IR 5/8"	336266.495	795582.990
62	IR 5/8"	336207.439	795287.895
64	IP 1"	336147.792	794989.127
65	IP 1"	336134.446	794922.261
66	IR 5/8"	336116.516	794821.637

COORDINATE TABLE		
POINT	Y COORDS	X COORDS
TLE365	336212.745	794789.563
PLE449	336344.856	795407.479
PLE450	336305.675	795415.532
TLE391	336369.088	795550.212
TLE392	336354.395	795553.232
TLE397	336524.519	796380.929
TLE398	336500.030	796385.962

COORDINATE TABLE		
POINT	Y COORDS	X COORDS
PRW468	336468.008	796205.329
PRW469	336463.111	796206.336
TLE470	336331.905	795369.305
TLE471	336339.958	795408.486

COURSE TABLE (23)		
COURSE	BEARING	DISTANCE
365-471	N78° 23' 07"E	631.86'
471-391	N78° 23' 07"E	144.69
391-392	S11° 36' 53"E	15.00'
392-397	N78° 23' 07"E	845.00'
397-398	S11° 36' 53"E	25.00'
398-469	S78° 23' 07"W	183.38'
469-468	N11° 36' 53"W	5.00'
468-450	S78° 23' 07"W	806.31'
450-471	N11° 36' 53"W	35.00'

HWY	BASIS OF EXISTING R/W	WIDTH	DATE
STH 50	ORIGINAL PLAT OF GENEVA	100'	1840
N CURTIS	ORIGINAL PLAT OF GENEVA	63'	1840
WEST DR	LAKE GENEVA GOLF HILLS	40'	1947

CURVE 4
 PI STA = 696+76.97
 Y = 336123.785
 X = 794699.404
 DELTA = 11°38'56" LT
 D = 3°00'00"
 T = 194.82'
 L = 388.30'
 R = 1909.90'
 PC STA = 694+82.15
 Y = 336124.999
 X = 794504.586
 PT STA = 698+70.45
 Y = 336161.931
 X = 794890.455

GAS ESMT
 DOC 386039

SW-NW

OF

(23)

TLE FOR SLOPING
 22881 SQ. FT.

PRW468

PRW469

TLE397

TLE398

714

712

N78°42'30"E 2108.68'

STH 50

710

708

706

704

702

700

698

PT: 698+70.45

PI: 696+76.97

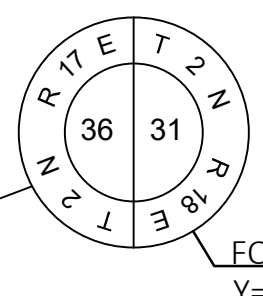
CURVE 4

6

24

SW-NW

SW-NW



FOUND WALWORTH CTY BRASS CAP
 Y=335405.343
 X=794785.338

REVISION DATE	DATE	SCALE, FEET	HWY:	STATE R/W PROJECT NUMBER	PLAT SHEET
03/05/2026	01/20/2025	0 60 120	STH 50	3170-09-20	4.15
	GRID FACTOR		COUNTY: WALWORTH	CONSTRUCTION PROJECT NUMBER	PS&E SHEET
					E

NOTES:
 POSITIONS SHOWN ON THIS PLAT ARE WISCONSIN COORDINATE REFERENCE SYSTEM COORDINATES (WISCRS), WALWORTH COUNTY, NAD 83 (2011) IN US SURVEY FEET. VALUES SHOWN ARE GRID COORDINATES, GRID BEARINGS, AND GRID DISTANCES. GRID DISTANCES MAY BE USED AS GROUND DISTANCES.

ALL NEW RIGHT-OF-WAY MONUMENTS WILL BE TYPE 2 (TYPICALLY 3/4" X 24" IRON REBARS), UNLESS OTHERWISE NOTED, AND WILL BE PLACED PRIOR TO THE COMPLETION OF THE PROJECT.

RIGHT-OF-WAY BOUNDARIES ARE DEFINED WITH COURSES OF THE PERIMETER OF THE HIGHWAY LANDS REFERENCED TO THE U.S. PUBLIC LAND SURVEY SYSTEM OR OTHER "SURVEYS" OF THE PUBLIC RECORD.

DIMENSIONING FOR THE NEW RIGHT-OF-WAY IS MEASURED ALONG AND PERPENDICULAR TO THE NEW REFERENCE LINES.

PROPERTY LINES SHOWN ON THIS PLAT FOR PROPERTIES BEING IMPACTED ARE DRAWN FROM DATA DERIVED FROM FILED/RECORDED MAPS AND DOCUMENTS OF PUBLIC RECORD. THIS PLAT MAY NOT BE A TRUE REPRESENTATION OF EXISTING PROPERTY LINES, EXCLUDING RIGHT-OF-WAY, AND SHOULD NOT BE USED AS A SUBSTITUTE FOR AN ACCURATE FIELD SURVEY.

FOR THE CURRENT ACCESS/DRIVEWAY INFORMATION, CONTACT THE PLANNING UNIT OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION OFFICE IN WAUKESHA.

PARCEL AND UTILITY IDENTIFICATION NUMBERS MAY NOT POINT TO ALL AREAS OF ACQUISITION, AS NOTED ON THE RIGHT-OF-WAY PLAT DETAILS / DETAIL PAGES.

INFORMATION FOR THE BASIS OF EXISTING HIGHWAY RIGHT-OF-WAY POINTS OF REFERENCE AND ACCESS CONTROL ARE LISTED ON THE RIGHT-OF-WAY PLAT DETAILS / DETAIL PAGES.

COURSE TABLE (4.16.01)

COURSE	BEARING	DISTANCE
399-400	S78° 42' 30"W	208.63'
400-401	N11° 17' 30"W	39.62'
401-402	N59° 47' 31"E	67.95'
402-403	N78° 40' 59"E	60.00'
403-404	S00° 17' 01"E	18.85'
404-407	S78° 40' 59"W	32.50'
407-406	S63° 15' 18"W	13.16'
406-401	S78° 40' 59"W	75.50'

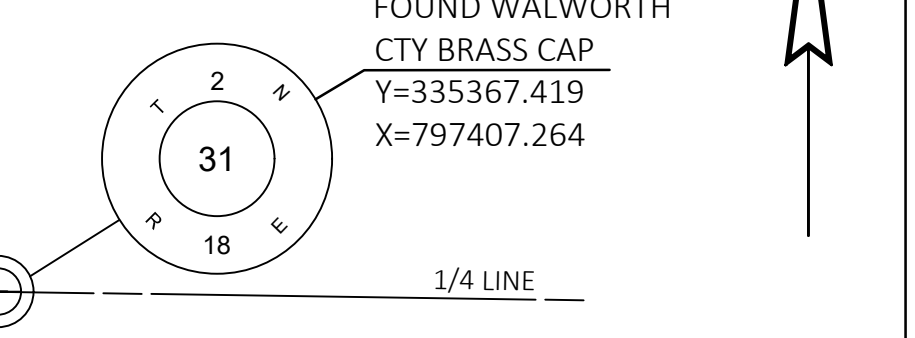
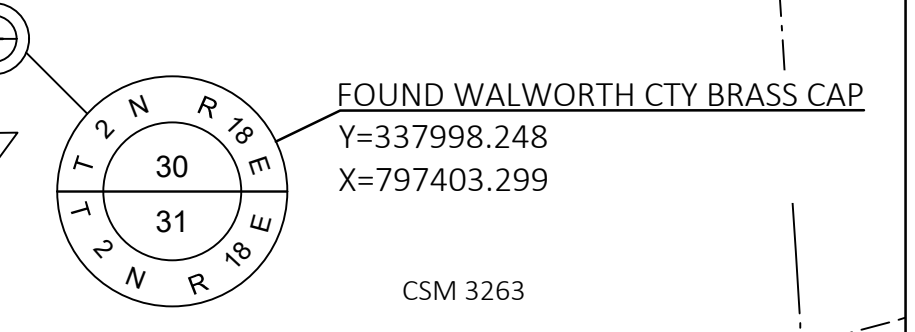
COURSE TABLE (4.16.01 FEE)

COURSE	BEARING	DISTANCE
399-408	S78° 42' 30"W	133.13'
408-406	N11° 17' 30"W	39.65'
406-407	N63° 15' 18"E	13.16'
407-404	N78° 40' 59"E	32.50'
404-405	S00° 17' 01"E	3.57'
405-406	S78° 40' 59"W	44.50'

COURSE TABLE (4.16.02)

COURSE	BEARING	DISTANCE
399-456	S78° 42' 30"W	63.47'
456-457	S11° 17' 30"E	32.34'
457-458	S00° 40' 11"W	26.62'
458-459	N89° 20' 32"W	5.00'
459-460	N11° 20' 50"W	24.97'
460-457	N78° 30' 13"E	10.43'

CURVE 5
 PI STA = 720+79.20
 Y = 336594.407
 X = 797056.450
 DELTA = 5°17'34" RT
 D = 2°38'47"
 T = 100.07'
 L = 200.00'
 R = 2165.06'
 PC STA = 719+79.13
 Y = 336574.813
 X = 796958.316
 PT STA = 721+79.13
 Y = 336604.866
 X = 797155.973



HWY	BASIS OF EXISTING R/W	WIDTH	DATE
STH 50	CSM 1294, 2184, 2973, 3263	VARIES	VARIES
PELLER	CSM 1294	66'	1978
N EDWARDS	CSM 3263	VARIES	1999
EAST DR	LAKE GENEVA GOLF HILLS	20'	1947

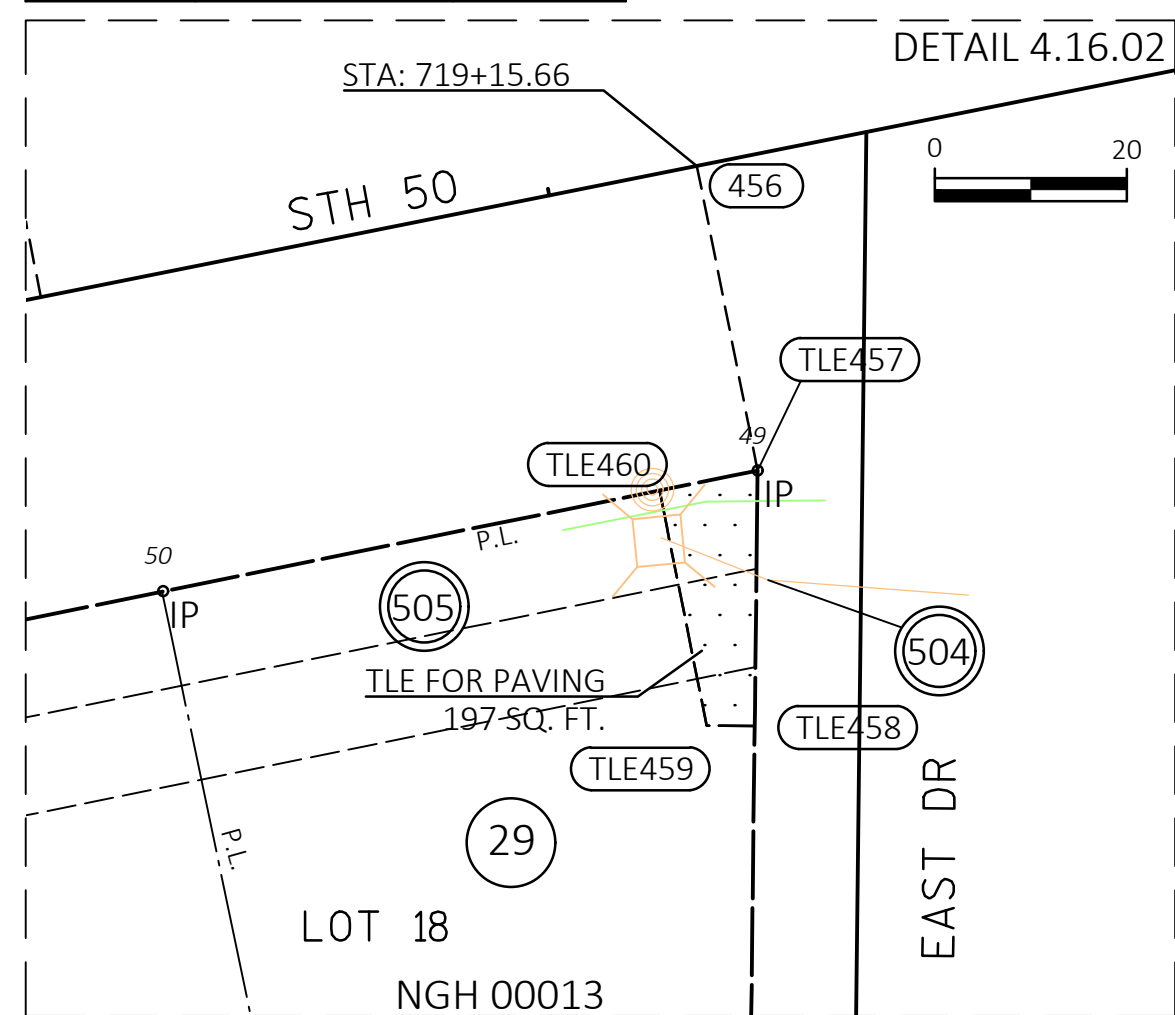
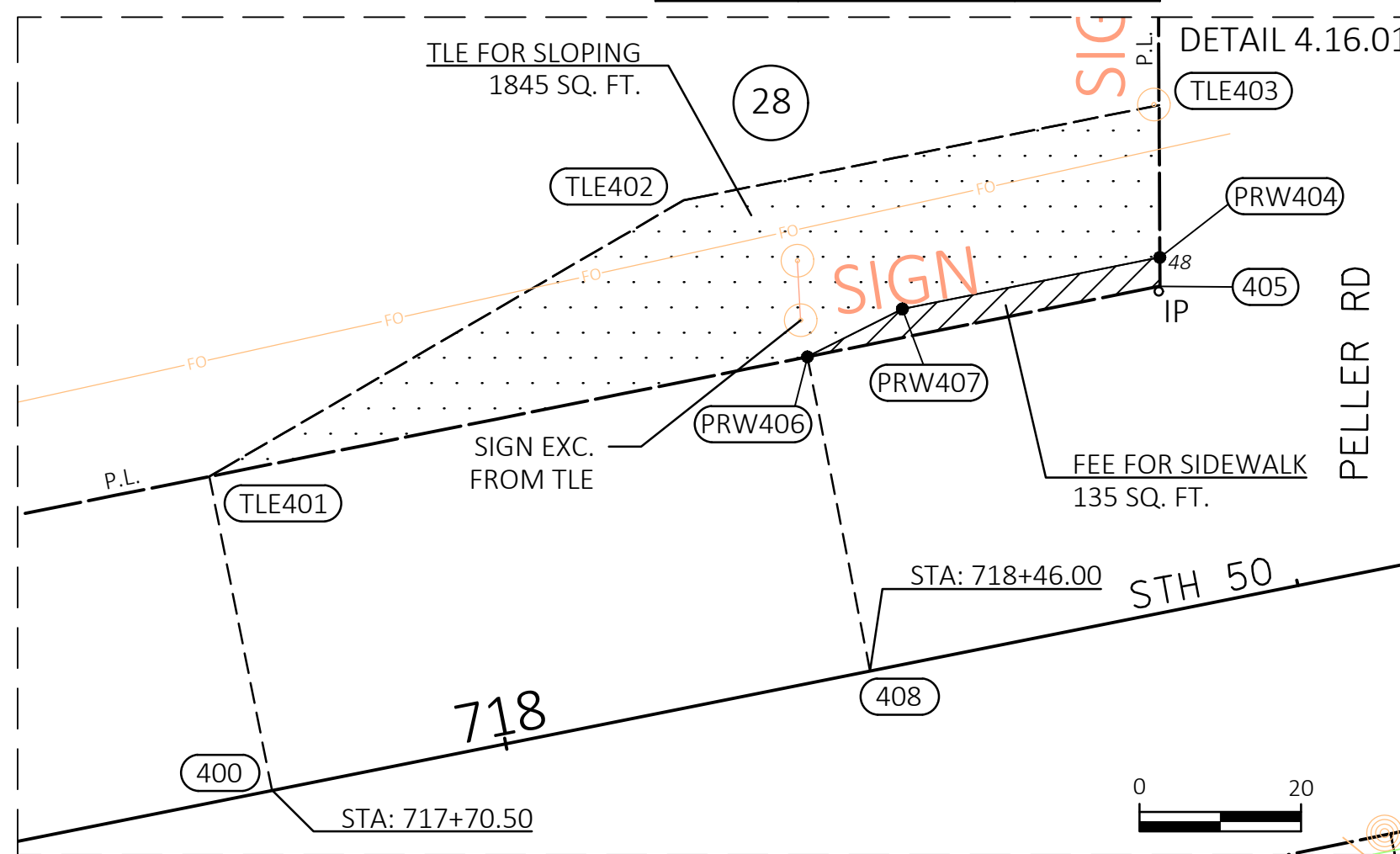
FOUND MONUMENT TABLE

POINT	DESCRIPTION	Y COORDS	X COORDS
27	IR WISDOT CAP	336538.814	797395.557
28	IR WISDOT CAP	336554.545	797402.179
29	IR 5/8"	336559.576	797613.598
34	IP 1"	336531.532	797127.832
35	IP 1"	336803.773	797616.991
44	IP 3/4"	336710.136	796786.250
45	IP 1"	336775.494	796622.012
47	IR 5/8"	336529.646	796530.246
48	IR 5/8"	336595.728	796863.476
49	MAG NAIL	336530.675	796902.407
50	IR 1/2"	336518.104	796840.476
51	IP 1"	336490.781	796706.457
52	IP 1"	336468.899	796598.750
53	IR 5/8"	336423.557	796375.633

FOUND MONUMENT INFO SHOWN REPRESENTS TYPE AND LOCATION OF EXISTING MONUMENTS WITHOUT OPINION AS TO THEIR VALIDITY AND USE AS A PROPERTY CORNER

COORDINATE TABLE

POINT	Y COORDS	X COORDS
371	336403.076	796098.197
387	336440.898	796098.267
TLE397	336524.519	796380.929
TLE398	336500.030	796385.962
399	336574.813	796958.315
400	336533.962	796753.721
TLE401	336572.814	796745.964
TLE402	336607.002	796804.687
TLE403	336618.776	796863.520
PRW404	336599.928	796863.613
405	336596.362	796863.631
PRW406	336587.630	796819.996
PRW407	336593.550	796831.745
408	336548.745	796827.760
456	336562.386	796896.075
TLE457	336530.675	796902.407
TLE458	336504.057	796902.095
TLE459	336504.114	796897.096
TLE460	336528.595	796892.183



REVISION DATE 03/05/2026	DATE 01/20/2025	SCALE, FEET 0 50 100	HWY: STH 50	STATE R/W PROJECT NUMBER 3170-09-20	PLAT SHEET 4.16
	GRID FACTOR		COUNTY: WALWORTH	CONSTRUCTION PROJECT NUMBER	PS&E SHEET

NOTES:
 POSITIONS SHOWN ON THIS PLAT ARE WISCONSIN COORDINATE REFERENCE SYSTEM COORDINATES (WISCRS), WALWORTH COUNTY, NAD 83 (2011) IN US SURVEY FEET. VALUES SHOWN ARE GRID COORDINATES, GRID BEARINGS, AND GRID DISTANCES. GRID DISTANCES MAY BE USED AS GROUND DISTANCES.

ALL NEW RIGHT-OF-WAY MONUMENTS WILL BE TYPE 2 (TYPICALLY 3/4" X 24" IRON REBARS), UNLESS OTHERWISE NOTED, AND WILL BE PLACED PRIOR TO THE COMPLETION OF THE PROJECT.

RIGHT-OF-WAY BOUNDARIES ARE DEFINED WITH COURSES OF THE PERIMETER OF THE HIGHWAY LANDS REFERENCED TO THE U.S. PUBLIC LAND SURVEY SYSTEM OR OTHER "SURVEYS" OF THE PUBLIC RECORD.

DIMENSIONING FOR THE NEW RIGHT-OF-WAY IS MEASURED ALONG AND PERPENDICULAR TO THE NEW REFERENCE LINES.

PROPERTY LINES SHOWN ON THIS PLAT FOR PROPERTIES BEING IMPACTED ARE DRAWN FROM DATA DERIVED FROM FILED/RECORDED MAPS AND DOCUMENTS OF PUBLIC RECORD. THIS PLAT MAY NOT BE A TRUE REPRESENTATION OF EXISTING PROPERTY LINES, EXCLUDING RIGHT-OF-WAY, AND SHOULD NOT BE USED AS A SUBSTITUTE FOR AN ACCURATE FIELD SURVEY.

FOR THE CURRENT ACCESS/DRIVEWAY INFORMATION, CONTACT THE PLANNING UNIT OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION OFFICE IN WAUKESHA.

PARCEL AND UTILITY IDENTIFICATION NUMBERS MAY NOT POINT TO ALL AREAS OF ACQUISITION, AS NOTED ON THE RIGHT-OF-WAY PLAT DETAILS / DETAIL PAGES.

INFORMATION FOR THE BASIS OF EXISTING HIGHWAY RIGHT-OF-WAY POINTS OF REFERENCE AND ACCESS CONTROL ARE LISTED ON THE RIGHT-OF-WAY PLAT DETAILS / DETAIL PAGES.

POINT	Y COORDS	X COORDS
410	336641.859	797405.343
411	336639.269	797395.848
412	336634.923	797379.917
413	336611.774	797221.724
414	336753.404	797364.712
PRW415	336782.710	797362.880
PRW416	336757.660	797394.065
417	336542.523	797229.002
418	336506.702	797276.520
PRW419	336502.941	797276.526
PRW421	336542.054	797224.641
422	336554.586	797401.834
PRW423	336554.722	797407.317
PRW424	336532.132	797397.791
425	336538.881	797395.210
TLE426	336555.414	797435.206
TLE427	336550.927	797418.596
TLE428	336534.055	797400.978
PRW429	336512.876	797395.251
430	336624.310	797341.014

COURSE	BEARING	DISTANCE
410-411	S74° 44' 27"W	9.84'
411-414	N15° 15' 33"W	118.31'
414-415	N03° 34' 41"W	29.36'
415-416	S51° 13' 34"E	40.00'
CHD416-414	S81° 44' 59"W	29.66'

COURSE	BEARING	DISTANCE
430-413	S84° 00' 04"W	119.95'
413-417	S05° 59' 56"E	69.63'
417-418	S52° 59' 23"E	59.51'
418-419	S00° 06' 05"E	3.76'
419-421	N52° 59' 23"W	64.98'
421-417	N83° 51' 14"E	4.39'

COURSE	BEARING	DISTANCE
410-412	S74° 44' 27"W	26.35'
412-422	S15° 15' 33"E	83.27'
422-423	N88° 34' 42"E	5.49'
423-424	S22° 52' 03"W	24.52'
424-429	S89° 54' 36"W	2.57'
429-425	N00° 05' 24"W	6.75'
425-422	N22° 52' 03"E	17.04'

COURSE	BEARING	DISTANCE
410-412	S74° 44' 27"W	26.35'
412-422	S15° 15' 33"E	83.27'
422-423	N88° 34' 42"E	5.49'
423-426	N88° 34' 42"E	4.13'
426-427	S01° 25' 18"E	3.00'
427-428	S22° 52' 03"W	21.36'
428-424	S89° 54' 36"W	5.43'
424-423	N22° 52' 03"E	24.52'

POINT	DESCRIPTION	Y COORDS	X COORDS
27	IR 3/4" WISDOT CAP	336538.814	797395.557
28	IR 3/4" WISDOT CAP	336554.545	797402.179
29	IR 5/8"	336559.576	797613.598
34	IP 1"	336531.532	797127.832

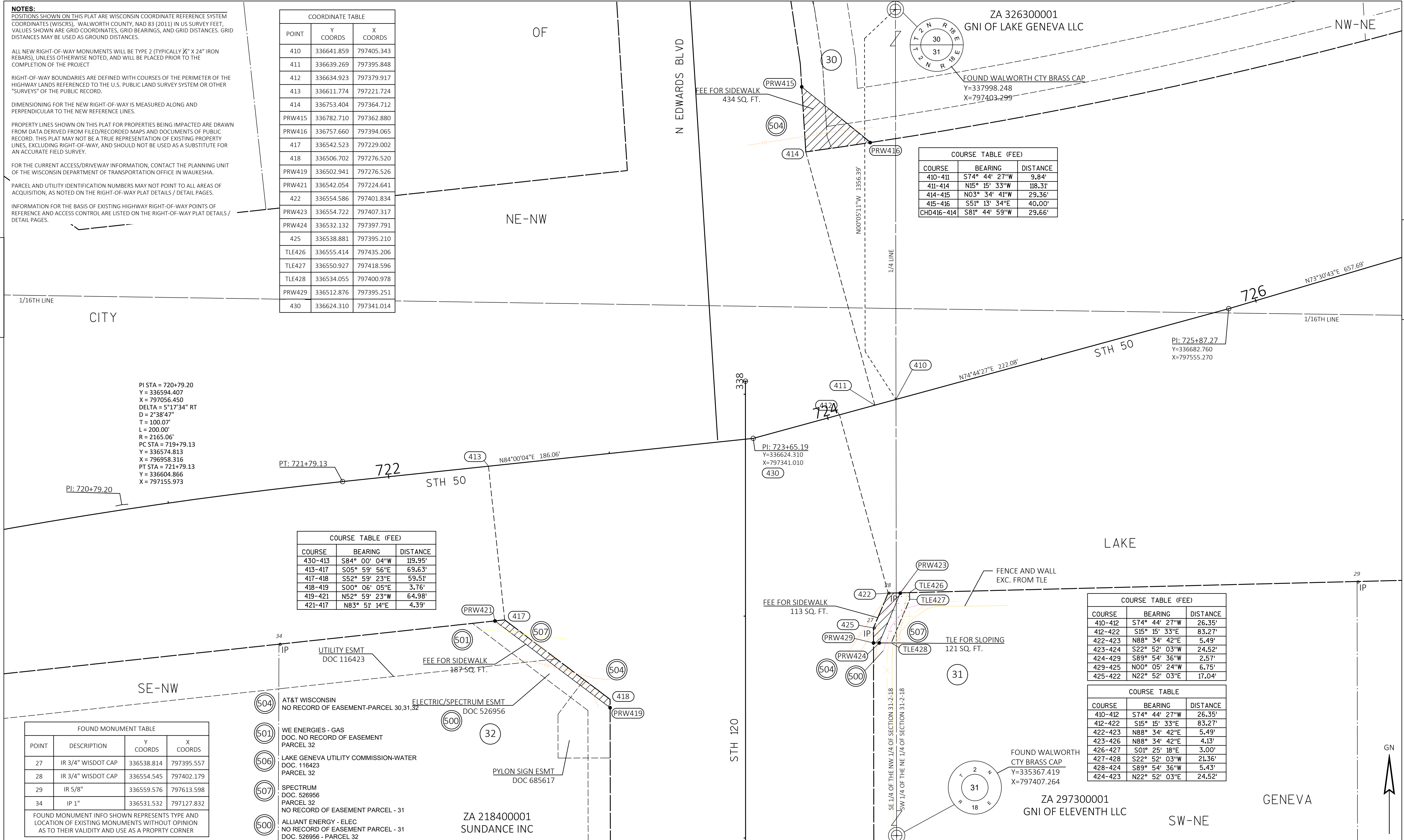
FOUND MONUMENT INFO SHOWN REPRESENTS TYPE AND LOCATION OF EXISTING MONUMENTS WITHOUT OPINION AS TO THEIR VALIDITY AND USE AS A PROPRY CORNER

- (504) AT&T WISCONSIN NO RECORD OF EASEMENT-PARCEL 30,31,32
- (501) WE ENERGIES - GAS DOC. NO RECORD OF EASEMENT PARCEL 32
- (506) LAKE GENEVA UTILITY COMMISSION-WATER DOC. 116423 PARCEL 32
- (507) SPECTRUM DOC. 526956 PARCEL 32 NO RECORD OF EASEMENT PARCEL - 31
- (500) ALLIANT ENERGY - ELEC NO RECORD OF EASEMENT PARCEL - 31 DOC. 526956 - PARCEL 32

ZA 218400001
 SUNDANCE INC

ZA 297300001
 GNI OF ELEVENTH LLC

ZA 326300001
 GNI OF LAKE GENEVA LLC



REVISION DATE 03/05/2026	DATE 01/20/2025	SCALE, FEET 0 20 40	HWY: STH 50	STATE R/W PROJECT NUMBER 3170-09-20	PLAT SHEET 4.17
	GRID FACTOR		COUNTY: WALWORTH	CONSTRUCTION PROJECT NUMBER	PS&E SHEET

The Rights of Landowners Under Wisconsin Eminent Domain Law



Procedures Under Wis. Stat. § 32.05: Highways, Streets, Storm & Sanitary Sewers, Watercourses, Alleys, Airports and Mass Transit Facilities

This brochure provides information on the condemnation process in Wisconsin, including the rights of impacted property owners. More detailed information is available in Wis. Stat. Ch. 32.

November 2021

INTRODUCTION

The Wisconsin Constitution, Article 1, section 13, establishes eminent domain authority, which is the power to take private property for a public purpose with payment of just compensation. The Eminent Domain Law, Wis. Stat. Ch. 32, vests several public and private entities with eminent domain power. Condemnation is the legal process by which the acquiring agency exercises its eminent domain power.

The following are jurisdictional requirements the acquiring agency must obey in order to condemn property. Even if an acquiring agency does not intend to obtain property via condemnation, it must comply with the requirements of Chapter 32 when proceeding with an activity that may involve displacement of persons, business concerns, or farm operations.

RELOCATION ORDER

Specific entities are required to make a relocation order that provides for the laying out, relocation and improvement of a transportation-related facility prior to initiating negotiations. The order must include a map or plat showing the old and new facility locations, as well as the land and interests required for the project. Within 20 days of issue, a copy of the order must be filed with the county clerk where the lands are located.

APPRAISAL

The acquiring agency must obtain at least one appraisal for each property it will acquire prior to initiating negotiations. When obtaining and drafting the appraisal, the appraiser must consult with the property owner. Once completed, the appraiser must provide the owner with a full narrative appraisal. Also, the acquiring agency must notify the owner that he/she may obtain his/her own appraisal at the (reasonable) expense of the acquiring agency. The owner's appraisal must be submitted to the acquiring agency within 60 days of receiving the agency's appraisal.

NEGOTIATIONS

The acquiring agency must negotiate with the property owner for purchase of the property and must consider the full narrative appraisal to establish the property's fair market value. It must provide a map showing all property the project impacts and the names of at least 10 neighbors who are receiving offers. If the project affects fewer than 10 owners, the acquiring agency must give the names of all offerees. Property owners may inspect and make copies of any maps the acquiring agency holds. The acquiring agency may present relocation benefits during negotiations, if relocation of displaced persons is required.

In partial acquisitions, fair market value is the greater of (1) the fair market value of the part acquired, or (2) the difference between the entire property value before and after acquisition. If only part of the property is acquired and an uneconomic remnant remains, the acquiring agency must offer to acquire the uneconomic remnant. An uneconomic remnant is the property remaining after a partial taking, if it is of such size, shape or condition to be of little value or of substantially impaired economic viability.

Compensation for an easement is the difference between the property value immediately before and immediately after the date of evaluation. The date of evaluation is the date the conveyance is recorded by the county register of deeds.

If the property owner agrees to a negotiated sale, the acquiring agency must record the conveyance with the county register of deeds. After recording, the acquiring agency must provide notice of the conveyance to all owners of record, by certified mail or personal service, as well as of their right to appeal the compensation award within 6 months of the recording date.

This pamphlet is published by the Wisconsin Department of Administration in cooperation with the Attorney General pursuant to Wis. Stat. § 32.26(6). It is not to be construed as legal advice. A displacing agency must make this pamphlet available to a displaced person before initiation of negotiations for acquisition of property for a public project.

Relocation Assistance
Division of Legal Services
Department of Administration
101 E. Wilson Street
Madison, WI 53703
Phone: (608) 266-2887
Email: TracyM.Smith@wisconsin.gov
www.doa.wi.gov

JURISDICTIONAL OFFER

If negotiations fail, the acquiring agency must provide the property owner with a jurisdictional offer. The offer must be delivered by certified mail or personal service and include (1) a description of the nature of the project; (2) a description of the property to be acquired; (3) the proposed date of occupancy; (4) the compensation offer; (5) notice that any additional items payable may be claimed for relocation assistance; (6) a statement that the appraisal on which the offer is based is available for viewing; and (7) notice that the owner has 2 years from the date the acquiring agency takes the property by award to appeal for greater compensation, even if the owner has already accepted and used the award.

A lis pendens gives notice to interested parties that the property may be acquired for public use. One must be filed with the county register of deeds within 14 days of personal service or mailing of the jurisdictional offer. An owner must accept or reject the jurisdictional offer within 20 days of personal service or mailing. If accepted, title transfers to the acquiring agency and the owner must be paid within 60 days. If rejected in writing by all owners of record, the acquiring agency may make an award of compensation.

CONTESTING THE RIGHT OF CONDEMNATION

Within 40 days from the date of service or mailing of the jurisdictional offer, an owner who wants to contest the right of condemnation for any reason other than inadequacy of the amount of compensation, may commence an action in the circuit court of the county where the property is located, naming the acquiring agency as the defendant. However, if the owner has already accepted and retained any of the compensation, such an action may not be filed.

AWARD OF COMPENSATION

If the owner fails to accept the jurisdictional offer within 20 days of personal service or mailing, or if all owners of record reject the offer in writing, the acquiring agency may deliver a written award of damages by certified mail or personal service. This is called the award of compensation and must include (1) a property description; (2) a description of the interest to be acquired; (3) the date of occupancy; (4) the amount of compensation (at least equal to the jurisdictional offer); and (5) a statement that the acquiring agency has complied with all jurisdictional requirements.

After the acquiring agency has served the award and provided payment, it shall record the award with the county register of deeds. At the time of recording, title vests in the acquiring agency. This date is called the date of evaluation.

OCCUPANCY & WRIT OF ASSISTANCE

No person occupying real property may be required by the acquiring agency to move from a home or business without at least a 90-day written notice. If title vests with the acquiring agency before the 90-day period ends, the occupant may remain in the property rent-free for the first 30 days, beginning on the 1st or 15th day of the month after title vests with the acquiring agency. If the occupant denies the agency the right of possession at the end of the 90-day period, the agency may apply to the circuit court for a writ of assistance to be put in possession of the property upon 48-hour notice to the occupant. The court shall grant the writ of assistance if all jurisdictional requirements to condemn have been met, the award has been paid and a comparable property has been made available.

CONTESTING THE COMPENSATION AWARD

Any party having ownership interest in the acquired property has 2 years from the date of evaluation to challenge the compensation award. To challenge the award, any party of interest may apply to the judge for the circuit court where the property is located for assignment to the condemnation commission. When one party of interest appeals the award, no other party may file a separate appeal, but instead may join the existing appeal by serving notice on the condemnation commission and appellant within 10 days of receiving notice of the appeal. The jurisdictional offer or basic award may not be disclosed to the condemnation commission. Whether the commission decides that the fair market value is greater or less than the compensation award, payments should be made within 70 days after the date of filing of the award unless it is appealed to the circuit court.

Any party to the condemnation commission proceeding may appeal the award to the circuit court. The sole issues to be tried are questions of title, if any, and the amount of just compensation the acquiring agency must pay. A jury must try this appeal unless waived by both parties. The jurisdictional offer, basic award, or condemnation commission's award may not be disclosed during trial. Awarded money must be paid within 60 days of entry of judgment.

Parties with ownership interest in the acquired property may waive the appeal to the condemnation commission and appeal directly to the circuit court within 2 years of the evaluation date. This appeal takes priority over all other actions not then on trial. No other party of interest can file a separate appeal, but may join the existing appeal by providing notice to all parties by certified mail or personal service within 10 days of receipt of notice of the appeal.

LITIGATION EXPENSES/COSTS

“Litigation expenses” is defined as “the sum of the costs, disbursements and expenses, including reasonable attorney, appraisal and engineering fees necessary to prepare for or participate in actual or anticipated proceeds before the condemnation commissioners, board of assessment or any court under [Chapter 32].” Wis. Stat. § 32.28(1)(b). There are several conditions under which litigation expenses may be awarded to a complainant in a just compensation matter. These conditions include but are not limited to: (1) the acquiring authority abandons the proceeding; (2) the court determines the acquiring agency does not have the right to condemn the property or there is no necessity for its taking; (3) the judgment is for the plaintiff in an action under Wis. Stat. § 32.10; etc. For a complete listing, please review Wis. Stat. § 32.28(3)(a)-(i).

LEGAL DESCRIPTION

A **Permanent Limited Easement** for the right of slope improvement of sidewalk and pavement construction operations for a Shared-Use Path including for such purpose the right to operate the necessary equipment thereon and the right of ingress and egress as long as required for such public purpose, including the right to preserve, protect, remove, or plant thereon any vegetation that the highway authorities may deem necessary or desirable in and to the following tract of land located in the City of Lake Geneva, Walworth County, State of Wisconsin, described as:

That part of the Southeast 1/4 of the Northeast 1/4 of Section 36, Town 2 North, Range 17 East, City of Lake Geneva, Walworth County, Wisconsin, described as:

Commencing at the Northeast corner of Section 36; thence South 00°17'59" West, 1857.41 feet along the east line of the Northeast 1/4 of Section 36 to the point of beginning; thence continuing South 00°17'59" West, 11.24 feet; thence North 89°31'01" West, 70.66 feet; thence North 00°28'59" East, 1.00 feet; thence South 89°31'01" East, 10.12 feet; thence North 80°52'33" East, 61.37 feet to the point of beginning.

This parcel contains **381 sq ft**, more or less.

Also, a **Temporary Limited Easement** for the right of slope improvement/grading of sidewalk and pavement construction operations for a Shared-Use Path including for such purpose the right to operate the necessary equipment thereon and the right of ingress and egress as long as required for such public purpose, including the right to preserve, protect, remove, or plant thereon any vegetation that the highway authorities may deem necessary or desirable, in and to the following tract of land, in the City of Lake Geneva, Walworth County, State of Wisconsin, described as follows:

That part of the Southeast 1/4 of the Northeast 1/4 of Section 36, Town 2 North, Range 17 East, City of Lake Geneva, Walworth County, Wisconsin, described as:

Commencing at the Northeast corner of Section 36; thence South 00°17'59" West, 1826.96 feet along the east line of the Northeast 1/4 of Section 36 to the point of beginning; thence continuing South 00°17'59" West, 30.45 feet; thence South 80°52'33" West, 61.37 feet; thence North 89°31'01" West, 10.12 feet; thence South 00°28'59" West, 1.00 feet; thence North 89°31'01" West, 199.42 feet; thence North 00°28'59" East, 15.00 feet; thence South 89°31'01" East, 145.45 feet; thence North 78°23'07" East, 127.34 feet to the point of beginning.

Sign is excluded from the above Temporary Easement.

This portion contains **5333 sq ft**, more or less.

The above temporary limited easement is to terminate upon the completion of this project or on the day the highway is open to the traveling public, whichever is later.

LEGAL DESCRIPTION

Fee Title in and to the following tract of land located in the City of Lake Geneva, Walworth County, State of Wisconsin, described as:

That part of the Southwest 1/4 of the Northwest 1/4 of Section 31, Town 2 North, Range 18 East, City of Lake Geneva, Walworth County, Wisconsin, described as:

Commencing at the Northwest corner of Section 31; thence South 00°17'59" West, 1857.62 feet along the west line of the Northwest 1/4 of Section 31 to the point of beginning; thence North 80°52'33" East, 119.90 feet; thence North 78°23'07" East, 1324.66 feet; thence South 11°36'53" East, 5.00 feet; thence South 78°23'07" West, 1446.61 feet to the west line of the Northwest 1/4 of Section 31; thence North 00°17'59" East, 10.43 feet along the west line of the Northwest 1/4 of Section 31 to the point of beginning.

This parcel contains **7545 sq ft**, more or less.

Also, a **Permanent Limited Easement** for drainage facilities, maintenance and construction so long as required for public purpose, including the right to preserve and protect such facilities, pertaining to the following tract of land located in the City of Lake Geneva, Walworth County, State of Wisconsin, described as:

That part of the Southwest 1/4 of the Northwest 1/4 of Section 31, Town 2 North, Range 18 East, City of Lake Geneva, Walworth County, Wisconsin, described as:

Commencing at the Northwest corner of Section 31; thence South 00°17'59" West, 1826.96 feet along the west line of the Northwest 1/4 of Section 31; thence North 78°23'07" East, 591.86; thence North 11°36'53" West, 5.00 feet to the point of beginning; thence North 78°23'07" East, 40.00 feet; thence South 11°36'53" East, 40.00 feet; thence South 78°23'07" West, 40.00 feet; thence North 11°36'53" West, 40.00 feet to the point of beginning.

This parcel contains **1600 sq ft**, more or less.

Also, a **Temporary Limited Easement** for the right of slope improvement of sidewalk and pavement construction operations for a Shared-Use Path including for such purpose the right to operate the necessary equipment thereon and the right of ingress and egress as long as required for such public purpose, including the right to preserve, protect, remove, or plant thereon any vegetation that the highway authorities may deem necessary or desirable, in and to the following tract of land, in the City of Lake Geneva, Walworth County, State of Wisconsin, described as follows:

That part of the Southwest 1/4 of the Northwest 1/4 of Section 31, Town 2 North, Range 18 East, City of Lake Geneva, Walworth County, Wisconsin, described as:

Commencing at the Northwest corner of Section 31; thence South 00°17'59" West, 1826.96 feet along the west line of the Northwest 1/4 of Section 31 to the point of beginning; thence North 78°23'07" East, 591.86 feet; thence South 11°36'53" East, 35.00 feet; thence South 78°23'07" West, 478.36 feet; thence South 80°52'33" West, 119.90 feet to the West line of Northwest 1/4 of Section 31; thence North 00°17'59" East, 30.45 feet along the west line of the Northwest 1/4 of Section 31 to the point of beginning.

Wall is excluded from the above Temporary Easement.

This portion contains **20529 sq ft**, more or less.

Also, a **Temporary Limited Easement** for the right of slope improvement of sidewalk and pavement construction operations for a Shared-Use Path including for such purpose the right to operate the necessary equipment thereon and the right of ingress and egress as long as required for such public purpose, including the right to preserve, protect, remove, or plant thereon any vegetation that the highway authorities may deem necessary or desirable, in and to the following tract of land, in the City of Lake Geneva, Walworth County, State of Wisconsin, described as follows:

That part of the Southwest 1/4 of the Northwest 1/4 of Section 31, Town 2 North, Range 18 East, City of Lake Geneva, Walworth County, Wisconsin, described as:

Commencing at the Northwest corner of Section 31; thence South 00°17'59" West, 1826.96 feet along the west line of the Northwest 1/4 of Section 31; thence North 78°23'07" East, 631.86 feet to the point of beginning; thence continuing North 78°23'07" East, 144.69 feet; thence South 11°36'53" East, 15.00 feet; thence North 78°23'07" East, 845.00 feet; thence South 11°36'53" East, 25.00 feet; thence South 78°23'07" West, 183.38 feet; thence North 11°36'53" West, 5.00; thence South 78°23'07" West, 806.31 feet; thence North 11°36'53" West, 35.00 feet to the point of beginning.

Wall is excluded from the above Temporary Easement.

This portion contains **22881 sq ft**, more or less.

The above temporary limited easement is to terminate upon the completion of this project or on the day the highway is open to the traveling public, whichever is later.



Agenda Item Memo **revised**

City of Lake Geneva

Committee: LIBRARY BOARD

Meeting Date: MARCH 19, 2026

Subject / Title: APPROVAL OF CHANGE ORDERS (REVISED)

Submitted By: Emily Kornak

Background / Request

These change orders include credits for cost savings, the addition of exterior concrete work needed to redo a patio area for library use, and the addition of future electrical conduits for the incoming building fire alarm system. This is fully funded by the Library Board's endowments, transferred to the City LGIP#6 account on 2/27/2026.

3/19/2026 revision: Library Board approved PCO#12 in the amount of \$1,950.96

Fiscal Impact / Budget

- Estimated Cost: \$14,871.01 (original memo amount of \$12,920.14 + \$1,950.96 from PCO#12)
- Funding Source: Library capital projects & LGIP#6
- Budget Status: Within Budget _____ Over Budget _____
 Budget Amendment Required _____
- GL Number: 43-99-00-17010

(If applicable, note grant awards, cost-sharing, or capital plan references.)

Ordinance/Policy Implications/Changes:

n/a

Recommendation:

The Library Board approved the attached change orders for the Smith Meeting Room renovation projects and recommends their approval by City Council

Implementation/Next Steps

Name of Committee	Date of Meeting	Original Agenda Item #	Outcome

Attachments (list any and all attachments that go with this item and memo)

PCO #1-10, #12
Library Board meeting minutes from 3/12/2026 and 3/19/2026

Reviewed by	Date:	Comments



705 Madison St. #101,
Lake Geneva, WI 53147
Office: (262) 203-7034

PROPOSED CHANGE ORDER QUOTATION

PCO # 1

Project: **Lake Geneva Public Library Program Room Renovations**
A/E Job No. 24657000
Date: 2/9/2026

<p>Owner: Lake Geneva Public Library 918 W. Main Street Lake Geneva, WI 53147</p> <p>Att: Emily Kornak</p>	<p>Architect: OPN Architects 301 N. Broom Street Suite 100 Madison, WI 53703</p> <p>Att: Evan Corkery</p>	<p>Distribution:</p> <p>Owner <input checked="" type="checkbox"/></p> <p>A/E <input checked="" type="checkbox"/></p> <p>Field <input checked="" type="checkbox"/></p> <p>File <input checked="" type="checkbox"/></p> <p>Other <input type="checkbox"/></p>
---	---	--

We propose to provide the following change(s) to our contract for the above referenced Project, with the contract amount being adjusted by Contract Change Order amount(s) stated below.

This PCO follows with the response from Henneman Engineering on RFI Revised #3 and 7. We propose to sawcut and remove a 38' X 3' section of concrete from the new sink location to the existing FCO in the stairs. The new underground 3" sanitary would be connected to the riser for the existing FCO and the FCO would be eliminated. We will install a WCO in the west side of the wall by the stairs. All subgrade will be replaced and new concrete poured where it was removed. The plumbing in the existing janitors closet will be reworked per Henneman's direction and a shut-off added above the floor for future use.

DESCRIPTION OF SCOPE CHANGE	COST
1 Glen Fern Concrete removal and replacement	\$ 3,402.00
3 Cornerstone Plumbing adds/deducts	\$ 206.00
4 Total Contract Adjustment for the changes.	3,608.00

<input checked="" type="checkbox"/>	Submitted By: Glen Fern Construction Company	By: _____	Date: _____
<input checked="" type="checkbox"/>	Architect Review: OPN Architects	By: <u>Ryan Frank</u> <small>Signature</small>	02/11/2026 <small>Date</small>
	<input checked="" type="checkbox"/> Recommend/No Exception <input type="checkbox"/> Revise & Resubmit <input type="checkbox"/> Rejected	Comments: _____	
<input checked="" type="checkbox"/>	Owner Response: LGPL- Emily Kornak	By: _____	Date: _____
	<input type="checkbox"/> Accepted & Authorized <input type="checkbox"/> Revise & Resubmit <input type="checkbox"/> Rejected	Comments: _____	

Owner acceptance authorizes Contractor to proceed with change immediately and include change on future Contract Change Order.



705 Madison St. #101,
Lake Geneva, WI 53147
Office: (262) 203-7034

PROPOSED CHANGE ORDER QUOTATION

PCO # 2

Project: **Lake Geneva Public Library
Program Room Renovations** **A/E Job No.** 24657000
Date: 2/9/2026

<p>Owner: Lake Geneva Public Library 918 W. Main Street Lake Geneva, WI 53147</p> <p>Att: Emily Kornak</p>	<p>Architect: OPN Architects 301 N. Broom Street Suite 100 Madison, WI 53703</p> <p>Att: Evan Corkery</p>	<p>Distribution:</p> <p>Owner <u> X </u> A/E <u> X </u> Field <u> X </u> File <u> X </u> Other <u> </u></p>
--	---	---

We propose to provide the following change(s) to our contract for the above referenced Project, with the contract amount being adjusted by Contract Change Order amount(s) stated below.

This PCO address RFI #4. We propose to install a steel support column on the west end of the existing steel beam that is supporting the beam. The new column would be a schedule 40 3" pipe with 1/4" X 3 1/2" X 6 3/4" plates on the top and bottom that would be fully welded to the pipe. The new column would be bolted to the beam with 1/2" X 2" grade bolts and attached at the bottom using 1/2" threaded rod that would be epoxied into the existing concrete. The new column would be set back 12" from the end of the beam to avoid removal of the existing brick knee wall on the west side.

DESCRIPTION OF SCOPE CHANGE	COST
1 Glen Fern Construction	\$ 1,100.00
2	
3 Total Contract Adjustment for the changes.	1,100.00

Submitted By:	Glen Fern Construction Company	By: _____	Date: _____
Architect Review:	OPN Architects	By: <u><i>Ryan Frank</i></u> <small>Signature</small>	<u>02/11/2026</u> <small>Date</small>
<input checked="" type="checkbox"/> Recommend/No Exception	<input type="checkbox"/> Comments: _____		
<input type="checkbox"/> Revise & Resubmit			
<input type="checkbox"/> Rejected			
Owner Response:	LGPL- Emily Kornak	By: _____ <small>Signature</small>	_____ <small>Date</small>
<input type="checkbox"/> Accepted & Authorized	<input type="checkbox"/> Comments: _____		
<input type="checkbox"/> Revise & Resubmit			
<input type="checkbox"/> Rejected			

Owner acceptance authorizes Contractor to proceed with change immediately and include change on future Contract Change Order.



705 Madison St. #101,
Lake Geneva, WI 53147
Office: (262) 203-7034

PROPOSED CHANGE ORDER QUOTATION

PCO # Revised 3

Project:	Lake Geneva Public Library Program Room Renovations	A/E Job No. <u>24657000</u>
		Date: <u>2/11/2026</u>
Owner:	Architect:	Distribution:
Lake Geneva Public Library 918 W. Main Street Lake Geneva, WI 53147	OPN Architects 301 N. Broom Street Suite 100 Madison, WI 53703	Owner <u>X</u> A/E <u>X</u> Field <u>X</u> File <u>X</u> Other _____
Att: Emily Kornak	Att: Evan Corkery	

We propose to provide the following change(s) to our contract for the above referenced Project, with the contract amount being adjusted by Contract Change Order amount(s) stated below.

This is a revised PCO that refers to RFI #6 in regards to the wall finishes in room 135. We propose to install drywall on the west wood framed wall and apply a fire tape coat. We will insulate and add a plywood panel over the brick void on the east wall.

DESCRIPTION OF SCOPE CHANGE	COST
Glen Fern Construction	\$ 976.80

Submitted By: Glen Fern Construction Company	By: _____	Date: _____
Architect Review: OPN Architects <input checked="" type="checkbox"/> Recommend/No Exception <input type="checkbox"/> Revise & Resubmit <input type="checkbox"/> Rejected	By: <u>Ryan Frank</u> Signature	Date: <u>02/11/2026</u>
	Comments: _____	
Owner Response: LGPL- Emily Kornak <input type="checkbox"/> Accepted & Authorized <input type="checkbox"/> Revise & Resubmit <input type="checkbox"/> Rejected	By: _____ Signature	Date: _____
	Comments: _____	

Owner acceptance authorizes Contractor to proceed with change immediately and include change on future Contract Change Order.



705 Madison St. #101,
Lake Geneva, WI 53147
Office: (262) 203-7034

PROPOSED CHANGE ORDER QUOTATION

PCO #

4

Project:

**Lake Geneva Public Library
Program Room Renovations**

A/E Job No.

24657000

Date:

2/23/2026

Owner:

Lake Geneva Public Library
918 W. Main Street
Lake Geneva, WI 53147

Architect:

OPN Architects
301 N. Broom Street
Suite 100
Madison, WI 53703

Distribution:

Owner X
A/E X
Field X
File X
Other

Att: Emily Kornak

Att: Evan Corkery

We propose to provide the following change(s) to our contract for the above referenced Project, with the contract amount being adjusted by Contract Change Order amount(s) stated below.

This PCO is for the substitution of the hot water heater per RFI #14. The instantaneous hot water heater to be used will be the CM 40L/208. Credit shown below.

DESCRIPTION OF SCOPE CHANGE

Cornerstone Plumbing

COST

\$ (1,330.00)

Submitted By:

Glen Fern Construction Company

By:

Joe Grabowski

2/25/2026

Date:

Architect Review:

OPN Architects

By:

Ryan Frank
Signature

2/25/2026

Date

Recommend/No Exception

Revise & Resubmit

Rejected

Comments:

Owner Response:

LGPL- Emily Kornak

By:

Signature

Date

Accepted & Authorized

Revise & Resubmit

Rejected

Comments:

Owner acceptance authorizes Contractor to proceed with change immediately and include change on future Contract Change Order.



CornerStone One, LLC
20865 Enterprise Ave.,
Brookfield, WI 53045



Lake Geneva Public Library Renovations
Glen Fern Construction
2/13/2026

Cost Revision Summary Sheet	CSO CO #	407-10	Ticket #
------------------------------------	----------	--------	----------

Change Request : VE; Change water heater to alternate model.

Self Performed Work:

<u>Labor Cost</u>	<u>Wage Rate (Per Hour)</u>	<u>Labor Hours</u>	<u>Labor Cost</u>
Engineer	\$126.16	0	\$0.00
Superintendent	\$122.47	0.00	\$0.00
Foreman	\$118.68	0	\$0.00
Journeyman	\$110.69	0	\$0.00
Premium Time	\$37.32	0	\$0.00
Double Time	\$74.63	0	\$0.00
Apprentice	\$97.36	0	\$0.00
Warehouse Truck Driver	\$104.62	0	\$0.00
Markup (Labor) 15%			\$0.00
Total Labor:			\$0.00

Material Cost (provide back up) (Tax Included)

See Material Sheet	-	\$1,329.76
See Material Sheet		\$0.00
Total Material	-	\$1,329.76

Equipment Cost (provide back up)

See Equipment List		\$0.00
Total Equipment		\$0.00

Total for Self Performed Work **-\$1,329.76**

Subcontracted Work:

	\$0.00
	\$0.00
Total for Subcontracted Work	\$0.00

Total for Self Perform and Subcontracted Work: **-\$1,329.76**
Bond Cost - \$0.00 **\$0.00**

Total Cost of Change **-\$1,330**



705 Madison St. #101,
Lake Geneva, WI 53147
Office: (262) 203-7034

PROPOSED CHANGE ORDER QUOTATION

PCO #

5

Project:

**Lake Geneva Public Library
Program Room Renovations**

A/E Job No. 24657000

Date: 2/25/2026

Owner:

Lake Geneva Public Library
918 W. Main Street
Lake Geneva, WI 53147

Architect:

OPN Architects
301 N. Broom Street
Suite 100
Madison, WI 53703

Distribution:

Owner X
A/E X
Field X
File X
Other _____

Att: Emily Kornak

Att: Evan Corkery

We propose to provide the following change(s) to our contract for the above referenced Project, with the contract amount being adjusted by Contract Change Order amount(s) stated below.

This PCO follows with the response from SSD on RFI #15 in regard to the added column under the steel beam on the south end of the program room. The steel beam will be installed per the drawing provided by SSD dated 2/24/2026. I have attached their sketch and the steel column shop drawings.

DESCRIPTION OF SCOPE CHANGE

1 Glen Fern Construction

COST
\$ 1,452.00

2 Total Contract Adjustment for the changes.

1,452.00

Submitted By:

Glen Fern Construction Company

By:

Joe Grabowski

2/25/2026

Date:

Architect Review:

OPN Architects

By:

Ryan Frank
Signature

2/25/2026

Date

Recommend/No Exception

Revise & Resubmit

Rejected

Comments: _____

Owner Response:

LGPL- Emily Kornak

By:

Signature

Date

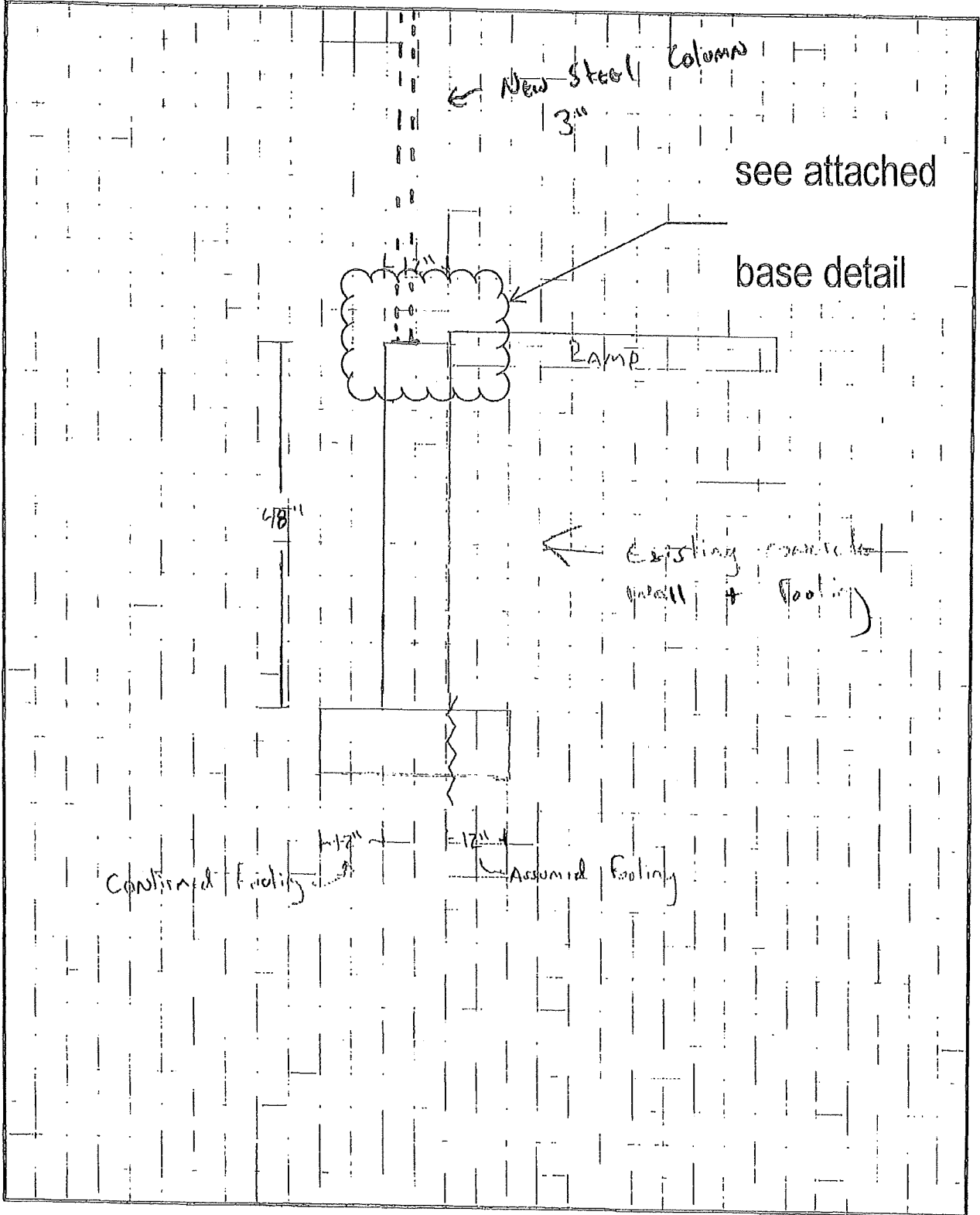
Accepted & Authorized

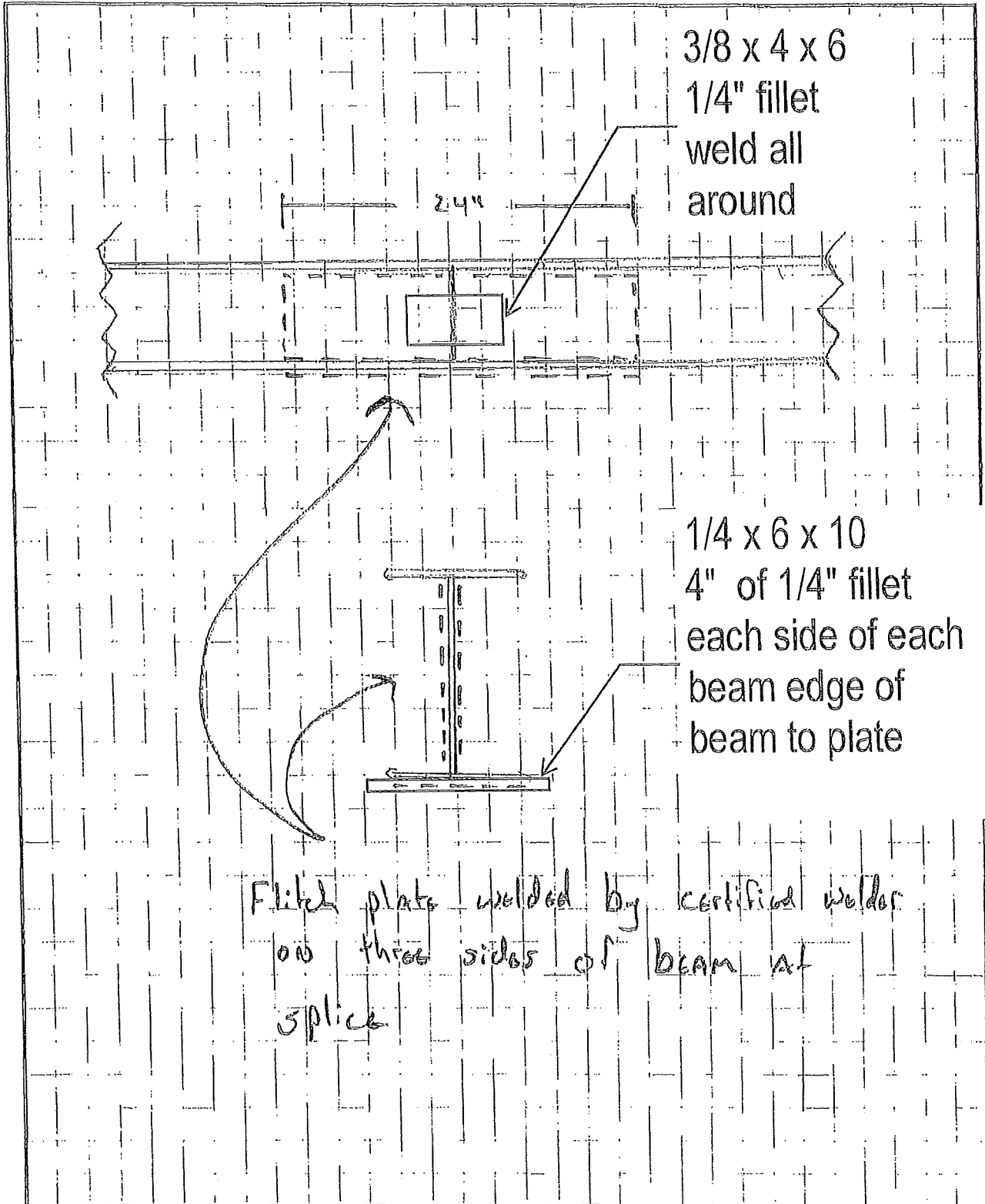
Revise & Resubmit

Rejected

Comments: _____

Owner acceptance authorizes Contractor to proceed with change immediately and include change on future Contract Change Order.







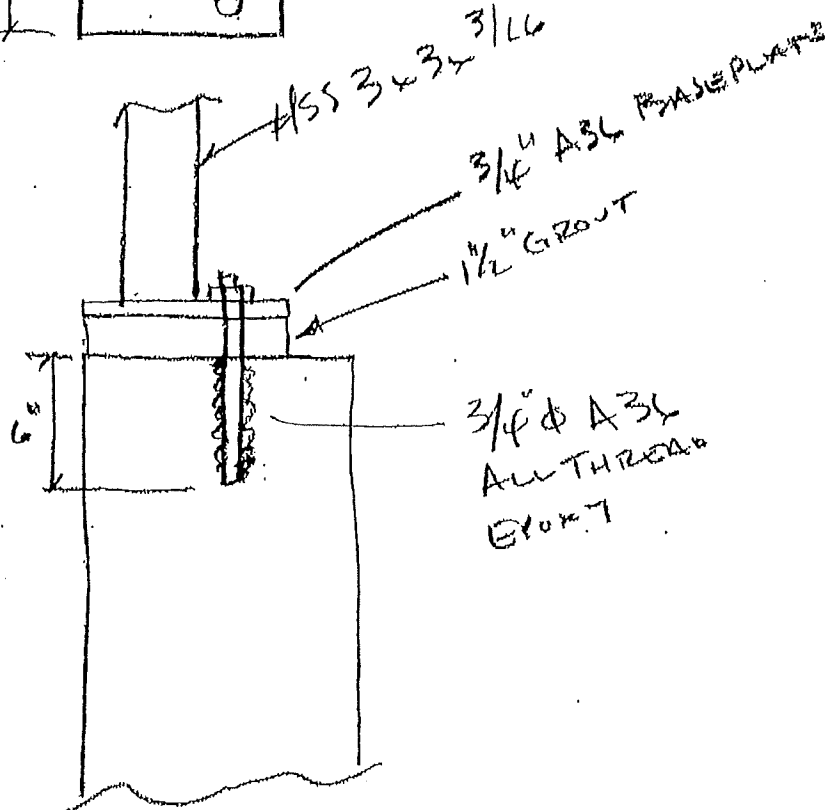
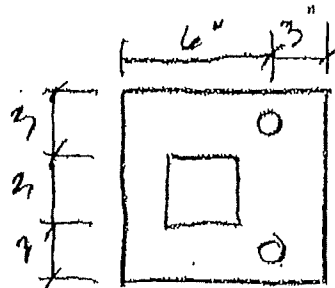
PROJECT NAME: L.G.P.L.

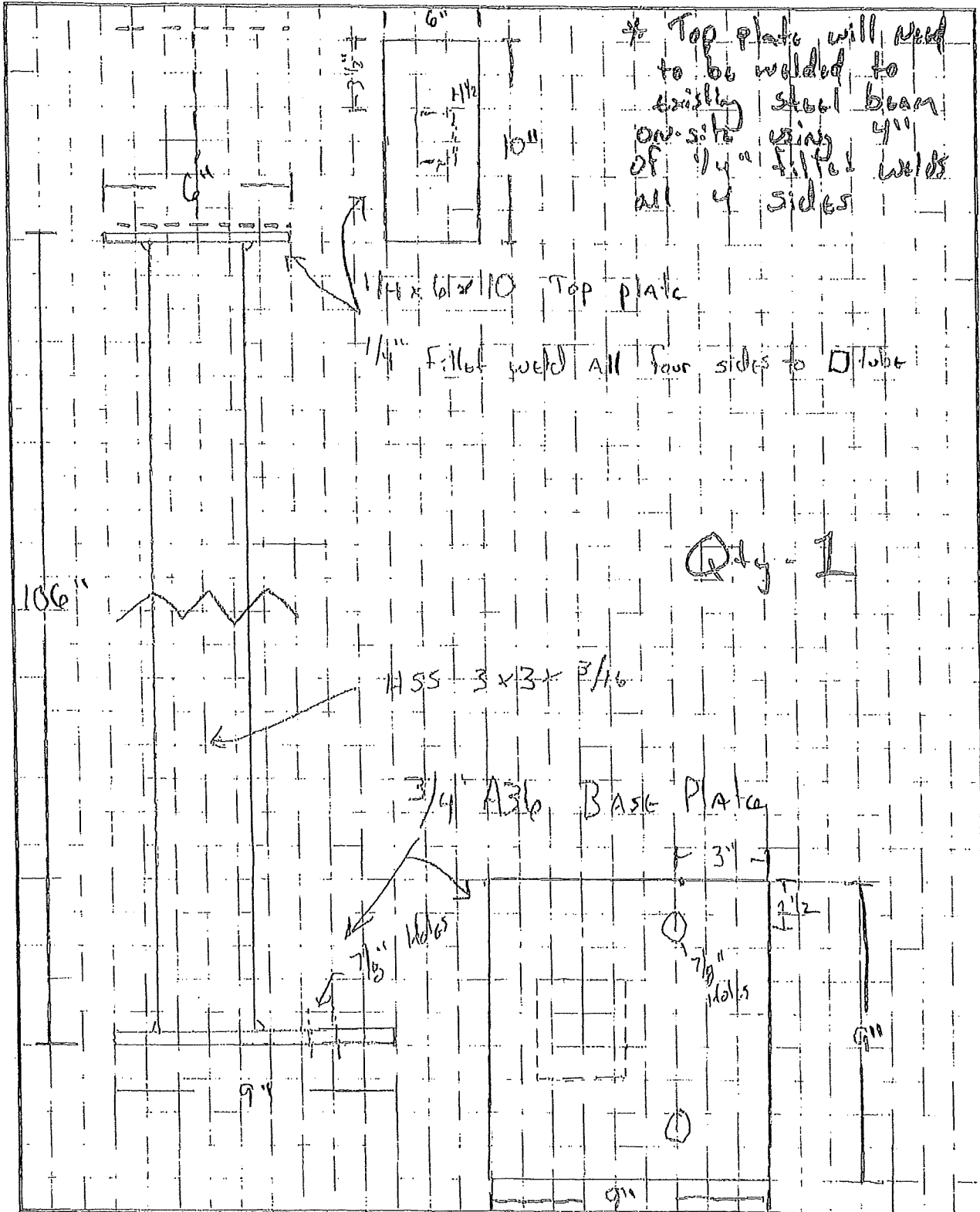
PROJECT NO.: 250111

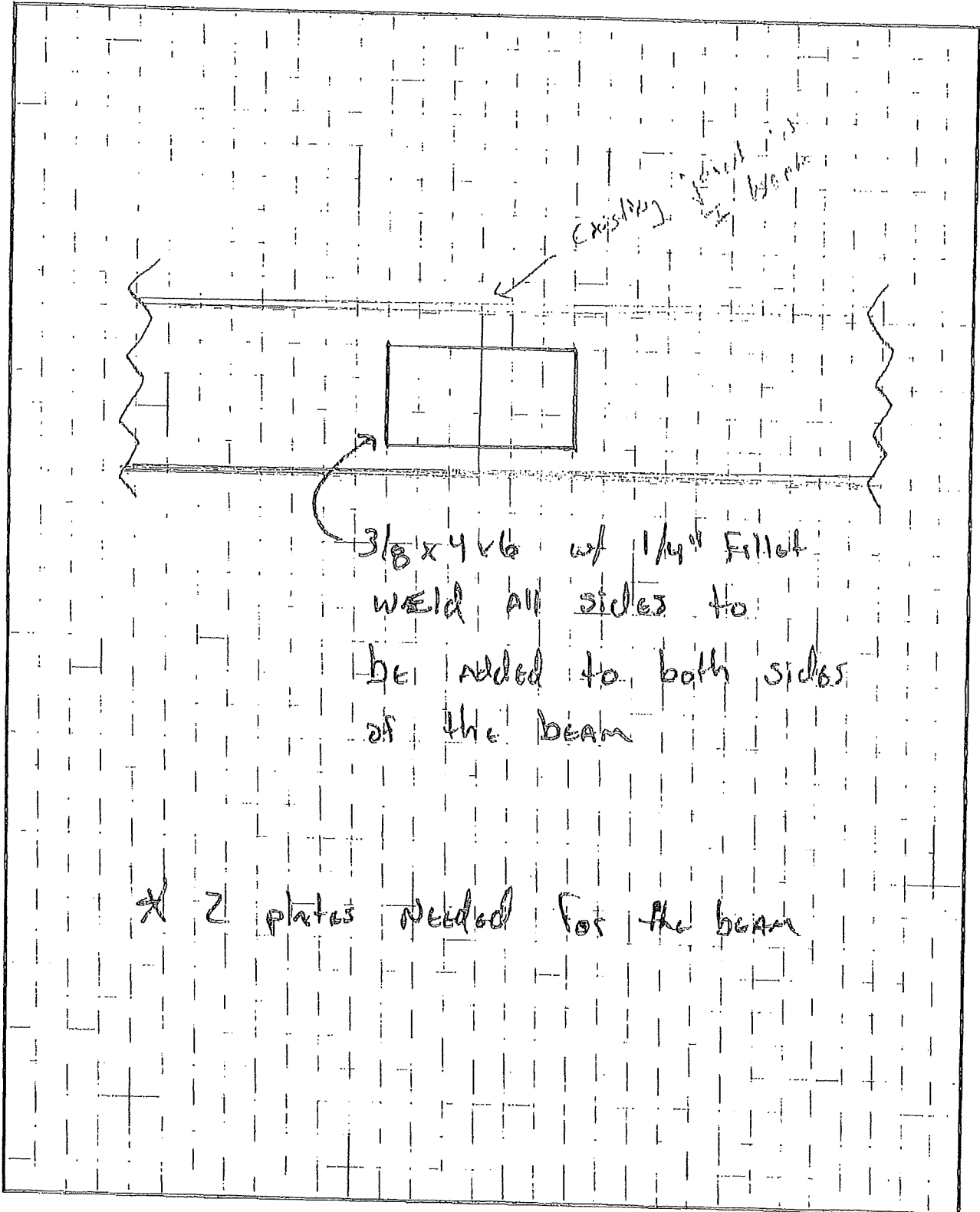
SUBJECT:
Phase Plate @ New Col

PREPARED BY: MR

DATE: 2/24/20









705 Madison St. #101,
Lake Geneva, WI 53147
Office: (262) 203-7034

PROPOSED CHANGE ORDER QUOTATION

PCO # **6**

Project: Lake Geneva Public Library Program Room Renovations		A/E Job No. 24657000
		Date: 2/25/2026
Owner: Lake Geneva Public Library 918 W. Main Street Lake Geneva, WI 53147 Att: Emily Kornak	Architect: OPN Architects 301 N. Broom Street Suite 100 Madison, WI 53703 Att: Evan Corkery	Distribution: Owner <input checked="" type="checkbox"/> A/E <input checked="" type="checkbox"/> Field <input checked="" type="checkbox"/> File <input checked="" type="checkbox"/> Other <input type="checkbox"/>

We propose to provide the following change(s) to our contract for the above referenced Project, with the contract amount being adjusted by Contract Change Order amount(s) stated below.

This PCO follows with the discussion from Friday 2/20/2026 at the meeting to install underground 1 1/2" conduits in the existing trench for future use for fire and data lines.

DESCRIPTION OF SCOPE CHANGE	COST
1 Adam's Electric	\$ 4,615.00
2 Glen Fern Construction 5%	\$ 230.75
3 Total Contract Adjustment for the changes.	4,845.75

Submitted By: Glen Fern Construction Company	By: <u>Joe Grabowski</u>	Date: 2/25/2026
Architect Review: OPN Architects <input checked="" type="checkbox"/> Recommend/No Exception <input type="checkbox"/> Revise & Resubmit <input type="checkbox"/> Rejected	By: <u>Ryan Frank</u> Signature	Date: 2/25/2026
Owner Response: LGPL- Emily Kornak <input type="checkbox"/> Accepted & Authorized <input type="checkbox"/> Revise & Resubmit <input type="checkbox"/> Rejected	By: _____ Signature	Date: _____

Owner acceptance authorizes Contractor to proceed with change immediately and include change on future Contract Change Order.



Adams Electric
 801 North Wisconsin Street
 Elkhorn, Wisconsin 53121-1138
 United States
 (262) 723-6565

BILL TO
 GlenFern Construction
 705 Madison Street #101
 Lake Geneva, WI 53147 USA

ESTIMATE 396425007	ESTIMATE DATE Feb 24, 2026
------------------------------	--------------------------------------

JOB ADDRESS
 GlenFern - Lake Geneva Public Library
 918 West Main Street
 Lake Geneva, WI 53147 USA

Job:

ESTIMATE DETAILS

RFC#1: Extra Data And Fire Conduits (Change Order):

Installation of raceways for future use.

- 1) 1 1/2" conduit ran from crawl space to access point, Access point to data cabinet, Access point to mechanical room.
- 2) 1 1/2" from crawl space to mechanical room.

Material \$420.77 , O&P \$461.5 , and Labor \$3,732.73

SERVICE	DESCRIPTION	QTY	PRICE	TOTAL
Request For Change Order Budget	Request For Change Order Budget	1.00	\$4,615.00	\$4,615.00

POTENTIAL SAVINGS	\$0.00
SUB-TOTAL	\$4,615.00
TOTAL	\$4,615.00

Thank you for choosing Adams for your Electrical needs. Adams deems all workmanship as satisfactory, and payment in full upon receipt of this invoice, unless concerns are reported within 10 days to initiate a resolution discussion.

CUSTOMER AUTHORIZATION

ACCEPTANCE OF PROPOSAL: The above price(s) \$4,615.00, specifications and conditions are satisfactory and are hereby accepted.

You are authorized to do the work as specified. Any alteration or deviation from above specifications involving extra costs will become an extra charge over and above the estimate on a T&M (time & material) basis at our hourly rate as of the date of execution of this agreement. All agreements are contingent upon strikes, accidents or delays beyond our control. Customer/Owner is to carry fire, tornado, and other necessary insurance.

PAYMENT TERMS: 50% down, balance upon completion. I(we) agree to pay a service charge of \$25.00 for any checks

returned from my(our) bank unpaid for any reason. I(we) will pay all expenses, including actual attorney's fees and all collection costs incurred by Adams, in the enforcement of this agreement and the collection of any charges due hereunder. I(we) agree to pay interest at a rate of 18% per annum on all unpaid invoices over 30 days old.

As required by the Wisconsin and Illinois Law, Builder notifies Owner that anyone providing labor or materials for construction on Owner's property may have lien rights if not paid.

- In Wisconsin, parties with lien rights include those contracting directly with the Owner or giving notice within 60 days of first furnishing labor or materials.
- In Illinois, lien rights extend to those contracting directly or giving notice within 90 days.

Owner should share all received notices with their lender. Builder will cooperate to ensure all lien claimants are paid.

RESPONSIBILITIES: Adams shall do all work in a competent, workman like manner. Adams IS not responsible for any existing or unforeseen illegal conditions. Customer is responsible to inform Adams of any known defects in their electrical or mechanical systems.

EXCLUSIONS and LIMITATIONS: Adams shall not be liable for incidental or consequential damages. Adams IS not responsible for: defective or unforeseen site conditions; work performed by, or materials supplied or installed by others; defects and failures from mistreatment or neglect otherwise not caused by defects in Adams' materials or workmanship; mold development or mold detection of any kind.

TRENCHING POLICY: Adams is not responsible for unforeseen site conditions, i.e., rocks, bedrock, frost, Customer utilities (including but not limited to, irrigation, communication, electrical, plumbing, sewage and drainage lines), old tanks, etc. Adams will re-fill trenches, however final restoration and finish grading/ landscaping are the Customer's responsibility.

WALL REPAIR POLICY: Unless otherwise stated in the contract, any handholes/wall repairs required to perform our services will be the Customer's responsibility.

PROTECTION OF CUSTOMER'S PROPERTY: Customer agrees to remove or protect any personal property, inside and out, including but not limited to carpets, rugs, shrubs and plantings, and Adams shall not be responsible for said items. Nor shall Adams be held responsible for the natural consequences of Adams's work which may cause damage to improvements to real property including, but not limited to, curbs, sidewalks, walks, driveways, garages, patios, lawns, sprinkler systems, wallpaper, drywall, stucco, tile, cabinets and other appurtenances or real property.

Adams shall not be held responsible for damage to personal property, real property or any improvements to real property caused by persons delivering materials or equipment, or keeping gates and doors closed for children or animals.

LIMITED MATERIAL WARRANTY: Adams provides a warranty for material furnished for the warranty period of one year from completion unless otherwise stated in writing on the contract or estimate provided. All warranties are void if payment is not made when due. Warranties extend only to the Customer and are not transferable. Adams will not provide any warranty on material provided by the Customer.

WORKMANSHIP WARRANTY: Adams provides a one-year warranty on workmanship. Warranties extend only to the Customer and are not transferable.

WARRANTIES, AND LIMITATIONS OF WARRANTIES: No warranty, expressed or implied, is provided for any existing systems or appliances. Any alteration, additions, or repairs made by others, unless authorized or agreed upon by Adams, will be cause to terminate Adams' obligation under this contract. "THE LIMITED WARRANTY(S) OUTLINED ABOVE IS THE ONLY WARRANTY ADAMS MAKES. ADAMS MAKES NO WARRANTY OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE FOR GOODS SOLD, OR ANY WARRANTY, EXPRESS OR IMPLIED."

ENTIRE AGREEMENT: This is the entire agreement. The parties are not bound by any oral expression or representation by any agent purporting to act on their behalf, or by any commitment, or arrangement herein. The agreement binds jointly and severally all signing as Customer, their heirs, representations, successors, and assigns.

NOTICE OF RIGHT TO CANCEL: You may cancel this agreement within three business days.

Adams Heating & Cooling LLC License ID: 1492442 Adams Inc Electrical Contractor License: 696468 Adams Plumbing LLC License: EH0202174 Adams Inc Renovation License: NAT-F244864-1

Sign here

Date



705 Madison St. #101,
Lake Geneva, WI 53147
Office: (262) 203-7034

PROPOSED CHANGE ORDER QUOTATION

PCO # 7

Project: Lake Geneva Public Library Program Room Renovations		A/E Job No. 24657000
		Date: 2/23/2026
Owner: Lake Geneva Public Library 918 W. Main Street Lake Geneva, WI 53147	Architect: OPN Architects 301 N. Broom Street Suite 100 Madison, WI 53703	Distribution:
Att: Emily Kornak	Att: Evan Corkery	Owner <u>X</u> A/E <u>X</u> Field <u>X</u> File <u>X</u> Other _____

We propose to provide the following change(s) to our contract for the above referenced Project, with the contract amount being adjusted by Contract Change Order amount(s) stated below.

This PCO is for the work outlined in CB-01.

DESCRIPTION OF SCOPE CHANGE	COST
¹ Credit for SOG concrete work in rooms 134 & 135	\$ (5,865.00)
² Credit for WP 1 & 2 labor and materials	\$ (7,830.40)
³ Concrete patching in rooms 134 & 135	\$ 726.00
⁴ Added Steel Handrails	\$ 1,760.00
⁵ Added Carpentry work	\$ 660.00
⁶ Additional cost to upgrade to 5/8" high impact drywall	\$ 3,234.00
⁷ Added PT-1 where WP 1 & 2 was removed	\$ 2,970.00
⁸	
9 Total Contract Adjustment for the changes.	(4,345.40)

Submitted By: Glen Fern Construction Company	By: <u>Joe Grabowski</u>	Date: <u>2/25/2026</u>
Architect Review: OPN Architects <input checked="" type="checkbox"/> Recommend/No Exception <input type="checkbox"/> Revise & Resubmit <input type="checkbox"/> Rejected	By: <u>Ryan Frank</u> <small>Signature</small>	Date: <u>2/25/2026</u>
Owner Response: LGPL- Emily Kornak <input type="checkbox"/> Accepted & Authorized <input type="checkbox"/> Revise & Resubmit <input type="checkbox"/> Rejected	By: _____ <small>Signature</small>	Date: _____

Owner acceptance authorizes Contractor to proceed with change immediately and include change on future Contract Change Order.



705 Madison St. #101,
Lake Geneva, WI 53147
Office: (262) 203-7034

PROPOSED CHANGE ORDER QUOTATION

PCO # 8

Project:	Lake Geneva Public Library Program Room Renovations	A/E Job No.	24657000
Owner:	Lake Geneva Public Library 918 W. Main Street Lake Geneva, WI 53147	Date:	2/25/2026
Architect:	OPN Architects 301 N. Broom Street Suite 100 Madison, WI 53703	Distribution:	
Att: Emily Kornak	Att: Evan Corkery	Owner	X
		A/E	X
		Field	X
		File	X
		Other	

We propose to provide the following change(s) to our contract for the above referenced Project, with the contract amount being adjusted by Contract Change Order amount(s) stated below.

This PCO follows with the discussion from Friday 2/20/2026 at the meeting to leave ramp 132 in place as it meets all requirements for ADA. This is a credit for the ramp removal and replacement.

DESCRIPTION OF SCOPE CHANGE	COST
1 Glen Fern Construction	\$ (3,078.00)
2	
3 Total Contract Adjustment for the changes.	(3,078.00)

Submitted By:
Glen Fern Construction Company By: Joe Grabowski Date: 2/25/2026

Architect Review:
OPN Architects By: Ryan Frank Date: 2/26/2026
 Recommend/No Exception
 Revise & Resubmit
 Rejected
 Comments: _____

Owner Response:
LGPL- Emily Kornak By: _____ Date: _____
 Accepted & Authorized
 Revise & Resubmit
 Rejected
 Comments: _____

Owner acceptance authorizes Contractor to proceed with change immediately and include change on future Contract Change Order.



705 Madison St. #101,
Lake Geneva, WI 53147
Office: (262) 203-7034

PROPOSED CHANGE ORDER QUOTATION

PCO # 9

Project: Lake Geneva Public Library Program Room Renovations		A/E Job No. 24657000
		Date: 2/27/2026
Owner: Lake Geneva Public Library 918 W. Main Street Lake Geneva, WI 53147	Architect: OPN Architects 301 N. Broom Street Suite 100 Madison, WI 53703	Distribution:
Att: Emily Kornak	Att: Evan Corkery	Owner <input checked="" type="checkbox"/>
		A/E <input checked="" type="checkbox"/>
		Field <input checked="" type="checkbox"/>
		File <input checked="" type="checkbox"/>
		Other <input type="checkbox"/>

We propose to provide the following change(s) to our contract for the above referenced Project, with the contract amount being adjusted by Contract Change Order amount(s) stated below.

This PCO covers the exterior ramped concrete entry and bench height masonry walls on the south side of the building. We propose to provide labor and materials for removal of the existing exterior concrete slab and bench height masonry walls on the south side of the building. We will then put down a compacted 6" stone base that is to receive a 21'x15'x4" concrete patio. There will be a concrete curb poured at the building to cover the area where the existing slab met the building. The slab is to be poured at the elevation of the existing sidewalk leading to the existing slab. A welded mesh will be put down before concrete is poured. Concrete to be 4000# with fiber at a 4" slump. Concrete to have a 1/4" per foot pitch away from building with a broom finish. Disturbed lawn in area will be repaired.

DESCRIPTION OF SCOPE CHANGE	COST
1 Glen Fern Construction	\$ 9,690.99
2	
3 Total Contract Adjustment for the changes.	9,690.99

Submitted By: Glen Fern Construction Company	By: Joe Grabowski	Date: 2/27/2026
Architect Review: OPN Architects	By: _____	Date: _____
<input type="checkbox"/> Recommend/No Exception	Signature	Date
<input type="checkbox"/> Revise & Resubmit	Comments: _____	
<input type="checkbox"/> Rejected		
Owner Response: LGPL- Emily Kornak	By: _____	Date: _____
<input type="checkbox"/> Accepted & Authorized	Signature	Date
<input type="checkbox"/> Revise & Resubmit	Comments: _____	
<input type="checkbox"/> Rejected		

Owner acceptance authorizes Contractor to proceed with change immediately and include change on future Contract Change Order.
Z:\Shared Docs\7. PROJECTS\26-100 LG Library Program Room\5 CHANGES\PCO #9\PCO #9 REAR
EXTERIOR CONCRETE



705 Madison St. #101,
Lake Geneva, WI 53147
Office: (262) 203-7034

PROPOSED CHANGE ORDER QUOTATION

PCO # 10

Project:	Lake Geneva Public Library Program Room Renovations	A/E Job No.	24657000
		Date:	3/6/2026
Owner:	Architect:	Distribution:	
Lake Geneva Public Library 918 W. Main Street Lake Geneva, WI 53147	OPN Architects 301 N. Broom Street Suite 100 Madison, WI 53703	Owner	X
Att: Emily Kornak	Att: Evan Corkery	A/E	X
		Field	X
		File	X
		Other	

We propose to provide the following change(s) to our contract for the above referenced Project, with the contract amount being adjusted by Contract Change Order amount(s) stated below.

This PCO is for the needed raceways and boxes for the future fire alarm system upgrade. Per the fire alarm contractor, they have requested the installation of up to 9 ENT raceways with boxes and pull strings. Drawing provided by them is attached.

DESCRIPTION OF SCOPE CHANGE	COST
1 Adams Electric	\$ 2,656.00
2 Glen Fern Construction OH&P 5%	\$ 132.80
3 Total Contract Adjustment for the changes.	2,788.80

Submitted By:	Glen Fern Construction Company	By: <i>Joe Grabowski</i>	Date: 3/6/2026
Architect Review:	OPN Architects	By: <i>Ryan Frank</i>	Date: 3/9/2026
<input checked="" type="checkbox"/> Recommend/No Exception	<input type="checkbox"/> Revise & Resubmit	<input type="checkbox"/> Rejected	Comments:
Owner Response:	LGPL- Emily Kornak	By: _____	Date: _____
<input type="checkbox"/> Accepted & Authorized	<input type="checkbox"/> Revise & Resubmit	<input type="checkbox"/> Rejected	Comments:

Owner acceptance authorizes Contractor to proceed with change immediately and include change on future Contract Change Order.



AIA® Document G701® – 2017

Change Order

PROJECT: *(Name and address)*
Lake Geneva Library Program Rm Reno
918 W Main St.
Lake Geneva, WI 53147

CONTRACT INFORMATION:
Contract For: General Contractor
Date: 03-06-2026

CHANGE ORDER INFORMATION:
Change Order Number: 001
Date: 03-06-2026

OWNER: *(Name and address)*
City of Lake Geneva
626 Geneva St.
Lake Geneva, WI 53147

ARCHITECT: *(Name and address)*
OPN Architects
301 N Broom St, Suite 100
Madison, WI 53703

CONTRACTOR: *(Name and address)*
Glen Fern Construction, LLC
705 Madison St. #101
Lake Geneva, WI 53147

THE CONTRACT IS CHANGED AS FOLLOWS:

(Insert a detailed description of the change and, if applicable, attach or reference specific exhibits. Also include agreed upon adjustments attributable to executed Construction Change Directives.)



1. PCO 1 dated 2/11/26 Underground plumbing & concrete	\$ 3,608.00	
2. PCO 2 dated 2/11/26 Added steel columnv	\$ 1,100.00	
3. PCO 3 dated 2/11/26 Wall finishes 134 & 135	\$ 976.80	
4. PCO 4 dated 2/25/26 Hot water heater alternate	\$ (1,330.00)	
5. PCO 5 dated 2/25/26 Added steel column at ramp	\$ 1,452.00	
6. PCO 6 dated 2/25/26 Data conduit	\$ 4,845.75	
7. PCO 7 dated 2/25/26 CB-1	\$ (4,345.40)	
8. PCO 8 dated 2/25/26 Concre Ste ramp 132	\$ (3,078.00)	
9. PCO 9 dated 2/27/26 Rear concrete patio	\$ 9,690.99	
		<u>TOTAL \$ 12,920.14</u>

The original Contract Sum was	\$ 575,900.00
The net change by previously authorized Change Orders	\$ 0.00
The Contract Sum prior to this Change Order was	\$ 575,900.00
The Contract Sum will be increased by this Change Order in the amount of	\$ 12,920.14
The new Contract Sum including this Change Order will be	\$ 588,820.14

The Contract Time will be unchanged by () days.
The new date of Substantial Completion will be

NOTE: This Change Order does not include adjustments to the Contract Sum or Guaranteed Maximum Price, or the Contract Time, that have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.

 _____ ARCHITECT <i>(Signature)</i>	 _____ CONTRACTOR <i>(Signature)</i>	 _____ OWNER <i>(Signature)</i>
Ryan Frank, AIA Project Architect <i>(Printed name, title, and license number if required)</i>	BY: Joe Grabowski, Dir of Operations <i>(Printed name and title)</i>	 <i>(Printed name and title)</i>
3/9/2026 _____ <i>Date</i>	3-6-2026 _____ <i>Date</i>	 _____ <i>Date</i>

AIA Document G701 – 2017. Copyright © 1979, 1987, 2000, 2001 and 2017. All rights reserved. *The American Institute of Architects,* *American Institute of Architects,* *AIA,* the AIA Logo, and *AIA Contract Documents* are trademarks of The American Institute of Architects. This document was produced at 09:03:28 CST on 03/06/2026 under Subscription No.20250142976 which expires on 07/09/2026, is not for resale, is licensed for one-time use only, and may only be used in accordance with the AIA Contract Documents® Terms of Service. To report copyright violations, e-mail docinfo@aiaccontracts.com.
User Notes: (69aae81cd218c3ad63129c50)



Lake Geneva Public Library | 918 W Main Street | Lake Geneva, WI 53147 | 262-249-5299 | lakegene@lakegeneva.lib.wi.us

Library Board Meeting Minutes
March 12, 2026
Highlands of Geneva Crossing 721 S Curtis St, Lake Geneva, WI 53147
9:00 a.m. to 12:30 p.m.

Members:

Pres. Dennis Lyon, Vice Pres. Lynelle Gramm, Treasurer Larry Kundert, Christine Brookes, Jill Rodriguez, Wen-D Kersten, Mardi Pennington, Lori Hartz, Nick Vorpapel, School District Liaison - Barbara Dinan, Alderperson Sherri Ames

Library Director: Emily Kornak

Guest: Barbara Bigler

Minutes

1. Vice President Lynelle Gramm called the meeting to order at 9:02 a.m.
2. Roll call: Gramm, Hartz, Kundert, Brookes, Rodriguez, Kersten, Pennington, Vorpapel, Dinan, Ames present. Excused: Lyon. Also present: Kornak, Bigler
3. Kundert/Ames motion to approve the change orders (PCO 1-10) for the Smith Meeting Room as presented by Glen Fern and OPN Architects passed unanimously.
4. Hartz reviewed the 2024-2026 strategic plan foundational framework elements and how these will be used as a framework for data collection in the early planning phase of the next strategic plan.
5. Kornak reported on national, state, and local library trends. The board discussed finances and AI in particular as important influences moving forward.
 1. Hartz and Bigler discussed the future strategic plan with the foundation of the previous iterations, and asked the board members consider both building on the library's success and also visioning the future, potentially within the themes of: **Community, Spaces, Lifelong Learning, Internal Capacity, and Communication.**
6. Hartz and Bigler reviewed the tour guidance document related to the tour's focus and desired outcomes. Board members will also have the opportunity to sign up for visits at the next board



Lake Geneva Public Library | 918 W Main Street | Lake Geneva, WI 53147 | 262-249-5299 | lakegene@lakegeneva.lib.wi.us

Library Board Meeting Minutes

March 12, 2026

Highlands of Geneva Crossing 721 S Curtis St, Lake Geneva, WI 53147

9:00 a.m. to 12:30 p.m.

meeting and will ensure we remain under quorum numbers to comply with open meetings law.

All participants were also asked to use the tour guidance document to tour the LGPL as well.

7. Enthusiasm / excitement was expressed for upcoming library visits and data collection, and the next steps will be to conduct visits/research in March-May, with data sheets analyzed in June for a July strategic planning meeting (time and date TBD).
8. Kundert/Brookes motion to adjourn at 12:45 p.m. passed unanimously.



705 Madison St. #101,
Lake Geneva, WI 53147
Office: (262) 203-7034

PROPOSED CHANGE ORDER QUOTATION

PCO # Rev. 12

Project: Lake Geneva Public Library Program Room Renovations		A/E Job No. 24657000
		Date: 3/19/2026
Owner: Lake Geneva Public Library 918 W. Main Street Lake Geneva, WI 53147 Att: Emily Kornak	Architect: OPN Architects 301 N. Broom Street Suite 100 Madison, WI 53703 Att: Evan Corkery	Distribution: Owner <input checked="" type="checkbox"/> <u> </u> A/E <input checked="" type="checkbox"/> <u> </u> Field <input checked="" type="checkbox"/> <u> </u> File <input checked="" type="checkbox"/> <u> </u> Other <input type="checkbox"/> <u> </u>

We propose to provide the following change(s) to our contract for the above referenced Project, with the contract amount being adjusted by Contract Change Order amount(s) stated below.

This PCO is for the work outlined in CB-02 that wasn't addressed in previous change orders. I have listed the included work below.

- Sheet A701- Framed soffit with drywall added in room 134

- Sheet MD101- Removal of existing SA duct and grille in room 131

- Sheet M101- Revised SA ductwork serving 134 and 135 relocated into

- Sheet M101- Added SA ductwork to serve room 131

- Sheet M101- Revised Main SA duct downstream of furnace to 24x10

- *Not listed in CB-02 but included- Drywall patching and paint in room 131 where ductwork and grille was removed

DESCRIPTION OF SCOPE CHANGE	COST
1 Glen Fern Construction	\$ 712.96
3 Southport	1,238.00
4 Total Contract Adjustment for the changes.	1,950.96

Submitted By: Glen Fern Construction Company	By: <u>Joseph Grabowski</u>	Date: 3/19/2026
Architect Review: OPN Architects <input checked="" type="checkbox"/> Recommend/No Exception <input type="checkbox"/> Revise & Resubmit <input type="checkbox"/> Rejected	By: <u>Ryan Frank</u> Signature	Date: 3/19/2026
Owner Response: LGPL- Emily Kornak <input type="checkbox"/> Accepted & Authorized <input type="checkbox"/> Revise & Resubmit <input type="checkbox"/> Rejected	By: _____ Signature	Date: _____

Owner acceptance authorizes Contractor to proceed with change immediately and include change on future Contract Change Order.

City Of Lake Geneva Library Board Minutes
Thursday, March 19, 2026 - 6:00 PM
City Hall, Room 2A
626 Geneva St, Lake Geneva WI 53147

Call to Order

Gramm called the meeting to order at 6:00 p.m.

Roll Call

Present: Gramm, Kundert, Hartz, Pennington, Dinan, Brookes, Rodriguez, Vorpagel, Kersten, Ames.

Excused: Lyon

Also present: Kornak

Comments from the public limited to 5 minutes, limited to items on this agenda

No comments

Approval of previous meeting minutes

Kundert/Rodriguez motion to approve previous meeting minutes passed unanimously.

Finance, Building & Grounds Committee Report

Review of previous months' invoices

Kundert/Ames motion to approve December \$92,061.96 expenses passed unanimously.

Approval of final year-end numbers to follow after the City audit is completed.

Kundert/Pennington motion to approve January 2026 invoices in the amount of \$87,024.33 passed unanimously.

Kundert/Rodriguez motion to approve February 2026 invoices in the amount of \$116,489.39 passed unanimously.

Building & grounds report

Kundert/Rodriguez motion to approve PCO#12 in the amount of \$1,950.96 for the Smith Meeting Room renovation passed unanimously.

Kornak to contact architects to estimate the capital funding needed to make the West End split-level area accessible and ADA-compliant,

Investments / donations report

City has \$589,260 added LGIP #6 for SMR renovation expenses after capital budget allocation is used.

December meeting minutes note \$7500 from Steffgen endowment is designated for SMR renovation. Ames/Vorpagel motion to hold \$7500 from Steffgen in the donation checking account and not transfer it to Smith Meeting Room funds in LGIP#6 passed unanimously. Vorpagel/Kundert motion to set aside, at the board's discretion, an appropriate amount from Steffgen funds for mileage reimbursement for qualified applicants from UW-Madison for practicum(s) in adult services passed unanimously.

Vice-President's report

- **Review of Trustee Essentials Chapt 11, Chapter 13**

Gramm noted that chapters 11 and 13 of the Trustee essentials are being addressed by the board's strategic planning committee and activities currently.

Request for all trustees to think about A.I. and usage by the library staff and whether a policy is needed at this time (also for next board meeting).

Library report

- **Review/approval of meeting room policy**
- **Update on passport application process**

Kornak shared a summary of the staff reports, no progress on passport applications or response from the issuing agency. Meeting room policy will come to April board meeting for review.

Committee report: Strategic Planning

Strategic planning board meeting on March 12 was a success and library visit sign up sheet was shared. Kornak will have blank copies of the visit checklist available at the library front desk. Reminder that trustees are library advocates and also data gatherers and should bring that data, ideas, and feedback back to the library and the library board.

Friends of the Lake Geneva Public Library report

Lots of activities planned, May 20 is annual meeting to be held in the renovated Smith Meeting Room.

City report

City strategic planning process underway and information is available on the city website for review. April 10 is tree planting at Pioneer Cemetery at 10am in honor of Patrick Quinn (Tree Board).

Adjournment

Kundert/Ames motion to adjourn at 7:15 p.m. passed unanimously.



Agenda Item Memo

City of Lake Geneva

Committee: Common Council

Meeting Date: March 23, 2026

Subject / Title: Discussion/Recommendation regarding Approval of Oak Hill Cemetery Sexton Shed Bid

Submitted By: Tom Earle

Background / Request

Shed has been discussed and approved at Cemetery Board. The budget is in the 2026 CIP with \$120,000.00

Fiscal Impact / Budget

- Estimated Cost: \$120,000.00
- Funding Source: Cemetery CIP (e.g., General Fund, TID, Water Utility, Grants)
- Budget Status: Within Budget _____ Over Budget _____
 Budget Amendment Required _____
- GL Number: 43-48-00-17010

(If applicable, note grant awards, cost-sharing, or capital plan references.)

Ordinance/Policy Implications/Changes:

Recommendation:

For approval.

Implementation/Next Steps

Name of Committee	Date of Meeting	Original Agenda Item #	Outcome

Attachments (list any and all attachments that go with this item and memo)

2025-08 Sexton Shed Bid Tab, Bids, Request for Bid and Ad

Reviewed by	Date:	Comments



City of Lake Geneva Public Works

Streets/Parks/Forestry/Cemeteries/Buildings and Grounds

1065 Carey St. Lake Geneva WI. 53147 (262)248-6644

City of Lake Geneva Oak Hill Cemetery

Request for Bids, Sexton Shed Project, 2025-08

1101 Cemetery Rd. LG Wi.

Sec. 1. General

- a. Building use; equipment storage.
- b. Location; Oak Hill Cemetery, 1101 Cemetery Rd. maintenance area.
- c. Size; 40' x 30' Pole type building or approved alternate. Flush roof commercial design, no overhang. (typ)
- d. Median height of building shall not exceed 16.5'. Pitch of roof to match to accommodate 10' tall OH doors.
- e. Standard lower chord truss system.
- f. Truss clearance at heel and center; minimum 11'
- g. End walls shall be purlin blocked.
- h. Roof line wind bracing included.
- i. 2x4 purlins min 24" o/c.
- j. 2x10 headers. Double.
- k. 6"x6" treated posts 8'o/c. set on appropriate concrete footing, uplift protection. Columns shall be three (3) ply unspliced, reinforced spliced or solid wood and shall not be less than 6 inches by 6 inches nominal size.
- l. Building Code enforced; IBC 2015
- m. Wind speed; 90
- n. Wind exposure; C
- o. All required State Approved Plans shall be the responsibility of the proposer. None required.
- p. Local permits to include but not limited to, building, plumbing, electrical, etc. shall be the responsibility of the proposer and supplied 'no-fee' by the City.
- q. All State and local code compliance shall be followed including but not limited to; energy (IECC), electrical, plumbing, building, snow and wind loads, etc.
- r. All building systems shall have a minimum of a 1-year warranty starting from the day of final payment.

- s. The City is exempt from Federal Excise Tax and State Sales tax therefore bids shall be made exclusive to these taxes. Proper tax-exempt certifications shall be made available to the successful bidder.
- t. The City shall reserve the right to reject any and/or all bids and to accept the bid deemed most advantageous to the City.

Furnish, provide, perform, build and install the following for the City to take possession of a fully functional building.

Sec. 2. Excavation, foundation, building systems, doors, insulation.

1. Excavation/site prep:

- a. All excavation spoils will be allowed to be dumped on site. Finish floor elevation shall be set by the City. Asphalt disturbed around building/approach replaced in kind. (concrete allowed)

2. Foundation, floor:

- a. 8" of CA6 grade 8 compacted gravel
- b. See Alternate #1.

3. Heat:

N/A

4. Electrical:

N/A. City shall provide electrical.

5. Garage doors:

- a. (2) insulated 12'w x 10'h CHI R-17.54 Model 3216 White. Or approved alternate. South wall east.
- b. No windows.
- c. OH doors shall include mechanism to be mechanically locked from the inside.

6. Insulation:

See Alternate 1.

7. Man door;

- a. Plyco series 20 or approved alternate blocked 3' 0" x 6' 8". 4" 304 stainless steel fixed pin hinge. 2x6 frame. 3 1/2" jamb. *Lockset to be supplied by City.* LH Swing-In. No window.

Sec. 3. Roof, venting, ceiling, walls.

1. Roof;

- a. FABRAL Grand Rib 3 Plus or approved alternate. (Min. 28ga) Lifetime film integrity warranty, 35 year fade and chalk warranty. G-90 galvanizing. Matching screw fasteners. Appropriately trimmed, flashed and sealed. White.

2. Venting;

- a. Marco LP2 Weather-Tite ridge vent, low profile or approved alternate. Appropriately sized Gable vents considered.

3. Ceiling

- b. None

4. Exterior walls;

- a. FABRAL Grand Rib 3 Plus or approved alternate (Min. 28ga) installed on Tyvek Commercial Wrap or approved alternate on 1/2" OSB with 2x6 nailers appropriately spaced. Lifetime film integrity warranty, 35-year fade and chalk warranty. G-90 galvanizing. To industry standard. Appropriately trimmed, flashed and sealed. Matching screw fasteners. Color to match existing building as close as possible to City's satisfaction. No custom colors.
- b. All trim to match. Color to be approved by City.
- c. Skirt boards if needed shall be double 2x6 T&G treated
- d. South wall; install.
 - 1. Man door; see Sec. 2-7
 - 2. Overhead doors; (2) see Sec 2-5.
 - 3. Man door on west end, OH doors spaced as appropriate in remainder of wall.
- e. North, East and West wall. No improvements.
- f. All openings appropriately trimmed, flashed and sealed per industry and manufacturer standard.

Sec. 4. Remarks

The successful bidder shall be pre-qualified by the City by obtaining and submitting an approved Pre-Qualification packet including Insurance information from the City of Lake Geneva DPW Office Administrative Assistant. The City may accept bids without pre-qualification, but the bid shall not be awarded until pre-qualification is approved.

1. All RFB holders shall submit an email address for anyone wishing to be copied on all questions/answers asked by holders regarding the RFB. Questions shall be accepted by the DPW Admin Assistant Ms. Kassy Vina at dpwoffice@cityoflakegeneva.gov up to five (5) days prior to due date and all answers shall be sent to all email addresses provided a minimum of three (3) days prior to due date.
2. This RFB shall be considered all-inclusive with no aspects being considered as to be 'done by others' unless specifically stated in RFB.
3. Completion shall be within eight (8) months of acceptance by the City with extensions being approved as needed at the sole discretion of the City DPW.
4. The Advertisement for this RFB shall be part of this contract/proposal.
5. All work shall be performed in a substantial professional workmanlike manner to industry and manufacturers standards.

Sec. 5. Insurance and Liabilities

1. The successful bidder shall have Liability Insurance as outlined in the pre-qualification packet naming the City as an additional insured. Minimum \$1 million liability coverage.
2. Bidder agrees to save, defend, indemnify and hold harmless the City of Lake Geneva against all demands, liabilities, costs and expenses connected with the furnishing of any material or labor, or because of any injury to persons or property, or from the violation of law and infringement patents. The City of Lake Geneva, in consideration for the bidder complying with the contract provided for by the specifications, agrees to pay the bidder at the times and in the manner set forth in said specifications the sum and amounts set forth in said specifications the sum and amounts set forth in said bid, pursuant hereof the bid was awarded to him, it being understood that such payment shall be upon invoices furnished by the contractor. It is further agreed by and between the parties hereto that all differences arising out of increase or diminution of contractors shall be adjusted by the City, the understanding being that the material and workmanship shall be free from all defects which might be caused by the use of poor materials or improperly done. If during that period it is found that workmanship is defective or that there has been work improperly performed, the contractor shall at his own cost and expense upon written order from the City, entirely remove any defective portion of the work or repair the same under City direction.

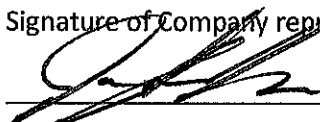
Sec. 6. Payments

1. 15% down prior to start.
2. Monthly draws approved by City.
3. Minimum 5% retainage until final approval.

Sec. 7. Agreement

1. The bidder shall hereby agree to provide the City with all of the items in the request for proposals including the advertisement for the project.
2. Surety bond included. 5% \$ 4,123
3. Total contract price in numbers \$ 82,450.00
4. Total contract price in words Eighty-two Thousand, Four Hundred, Fifty dollars
5. Submitted by, Company, Glen Fern Construction, LLC
6. Representative (print name) Joe Grabowski
7. Position in company Director of Operations

Signature of Company representative

 Date 02 / 04 / 2026

8. Acceptance by the City of Lake Geneva.
 - a. City Clerk or authorized representative.
Signature: _____ Date ____/____/2026
 - b. Administrator or authorized representative.
Signature: _____ Date ____/____/2026
9. Witnesseth that whereas the City, under provision of Sec.62.29 wis stats, and by virtue of authority vested in the said City Council has awarded the contractor the work.
10. The City confirms that adequate funds are available and dedicated for this project.
 - a. City of Lake Geneva Comptroller.
Signature: _____ Date ____/____/2026

Note: Tree trimming or removal and any fencing in conflict with project will be the responsibility of the City. Contractor will make every effort to work with the Cemetery Sexton to minimize disruption of funeral operations. ***Absolutely no exterior work shall be performed during Military Honors of any kind.*** Saturday work from 7am-5pm is allowed.

Alternate 1

Required

City of Lake Geneva Project 2025-08

Sec. A(a). Concrete floor

- a. 6" thick 4000psi concrete floor with 6ml vapor barrier on min. 8" CA6 grade 8 compacted gravel base. Fiber mesh.
- b. Smooth finish, saw cut joints max 100sq/ft.
- c. Cure and seal.
- d. 6' wide, 6" thick approach along entire front (south) on min. 8" CA6 grade 8 compacted gravel, match grade. Exterior concrete shall have tooled joints, broom finish. Rebar and expansion joint where appropriate. Fiber mesh.
- e. Cure and seal.
- f. North, east and west side backfilled min. 2' wide with compacted CA6 grade 8 gravel or approved alternate.
- g. SW corner of inside floor shall have (2) 2" pvc sch 40, 90-degree pipes stubbed 1' above floor against interior wall and ended a minimum 2' west of floor edge at 18" below grade. Capped. Pipe supplied by City.

Amount \$ 18,100.00

Sec. A(b). Insulation.

- a. Install single bubble vapor drip barrier between roof purlins and roofing. Foil up, white inside. Similar to EcoFoil SKU: EF-RBI-72-750-RWSE-SB.

Amount \$ 4,620.00

Sec. A(c). Garage door openers.

- a. (2) Heavy duty commercial Lift Master Model T 1/2hp opener. 120vac. With (4) 2 button programmed remotes. Push button open/close station for each door mounted on inside wall next to man door as appropriate. Or approved alternate.

Amount \$ 2,750

Sec. A(d), Interior walls.

1. Interior of outside walls.

- a. 16" o/c 2"x4" Nailers.
- b. 5/8" cdx plywood around inside perimeter, screwed to nailers. From 5/8" above floor to bottom of joists/trusses.
- c. All cutouts included and shall be coordinated with all contractors. Few anticipated, electrical will be surface mounted.

Amount \$ 10,945.00

Sec. A(e). Acceptance by the City of Lake Geneva, Addendum 1.

Sec A(a) Yes_____ No_____

Sec A(b) Yes_____ No_____

Sec A(c) Yes_____ No_____

Sec A(d) Yes_____ No_____

a. City Clerk.

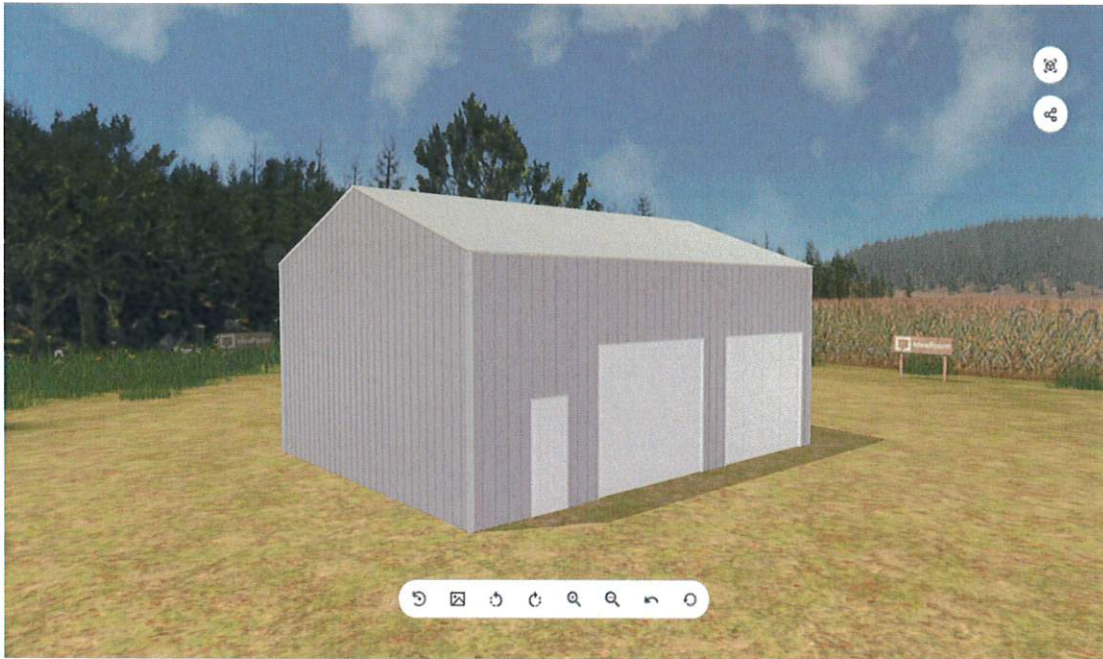
Signature: _____ Date ____/____/2026

b. Administrator.

Signature: _____ Date ____/____/2026

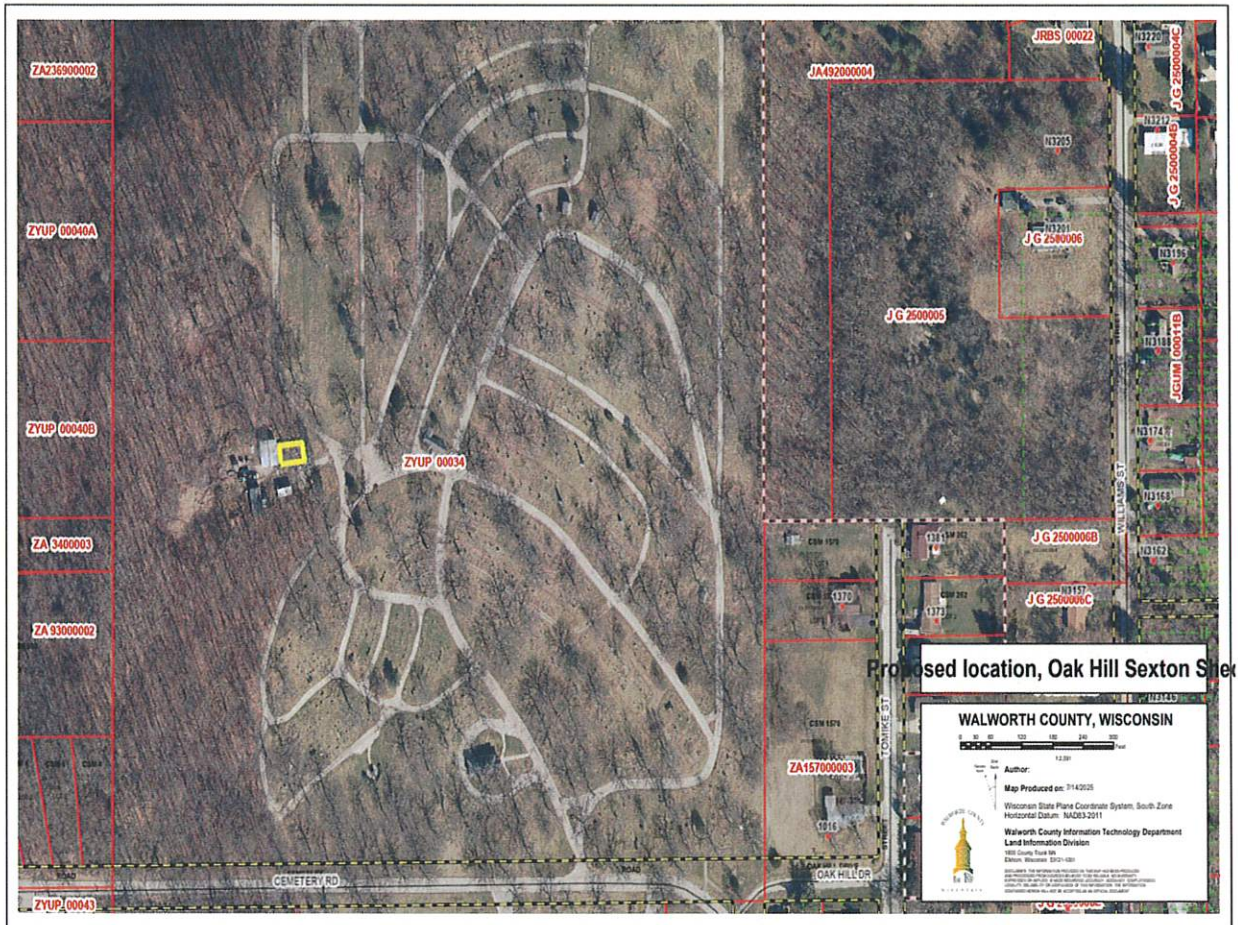
c. Comptroller.

Signature; _____ Date ____/____/2026



Concept design, not to scale





1101 Cemetery Rd.



Bond No. _____

BID BOND
The American Institute of Architects,
AIA Document No. A310 (February, 1970 Edition)

KNOW ALL MEN BY THESE PRESENTS, that we Glen Fern Construction, LLC
705 Madison Street, #101
Lake Geneva, WI 53147

as Principal hereinafter called the Principal, and Old Republic Surety Company
a corporation duly organized under the laws of the state of Wisconsin as Surety, hereinafter called the Surety,
are held and firmly bound unto City of Lake Geneva
626 Geneva Street
Lake Geneva, WI 53147

as Obligee, hereinafter called the Obligee, in the sum of Five Percent (5%) of Principal's Bid

Dollars (\$ _____), for the payment of which sum well and truly to be made, the said Principal and the said Surety, bind ourselves, our heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these presents.

WHEREAS, the Principal has submitted a bid for New Metal Building/Shed (30'x40')

NOW, THEREFORE, if the Obligee shall accept the bid of the Principal and the Principal shall enter into a Contract with the Obligee in accordance with the terms of such bid, and give such bond or bonds as may be specified in the bidding or Contract Documents with good and sufficient surety for the faithful performance of such Contract and for the prompt payment of labor and material furnished in the prosecution thereof, or in the event of the failure of the Principal to enter such Contract and give such bond or bonds, if the Principal shall pay to the Obligee the difference not to exceed the penalty hereof between the amount specified in said bid and such larger amount for which the Obligee may in good faith contract with another party to perform the Work covered by said bid, then this obligation shall be null and void, otherwise to remain in full force and effect.

Signed and sealed this 4th day of February, 2026

[Signature]
Witness

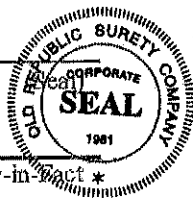
Glen Fern Construction, LLC
Principal (Seal)

By: [Signature]
Name/Title

Old Republic Surety Company
Surety

By: [Signature]
Terence R. Geszvain, Attorney-in-Fact *

[Signature]
Witness





OLD REPUBLIC SURETY COMPANY

POWER OF ATTORNEY

KNOW ALL MEN BY THESE PRESENTS: That OLD REPUBLIC SURETY COMPANY, a Wisconsin stock insurance corporation, does make, constitute and appoint: RANDY L. BREHMER, CYNTHIA J BREHMER, TERENCE R. GESZVAIN, JASON A. BRAATZ, MELISSA BABIAK, CHRIS BREHMER, LINDA MENGEL of BUTLER, WI

its true and lawful Attorney(s)-in-Fact, with full power and authority for and on behalf of the company as surety, to execute and deliver and affix the seal of the company thereto (if a seal is required), bonds, undertakings, recognizances or other written obligations in the nature thereof, (other than bail bonds, bank depository bonds, mortgage deficiency bonds, mortgage guaranty bonds, guarantees of installment paper and note guaranty bonds, self-insurance workers compensation bonds guaranteeing payment of benefits, or black lung bonds), as follows:

ALL WRITTEN INSTRUMENTS

and to bind OLD REPUBLIC SURETY COMPANY thereby, and all of the acts of said Attorneys-in-Fact, pursuant to these presents, are ratified and confirmed. This appointment is made under and by authority of the board of directors at a special meeting held on February 18, 1982.

This Power of Attorney is signed and sealed by facsimile under and by the authority of the following resolutions adopted by the board of directors of the OLD REPUBLIC SURETY COMPANY on February 18, 1982.

RESOLVED that, the president, any vice-president or assistant vice president, in conjunction with the secretary or any assistant secretary, may appoint attorneys-in-fact or agents with authority as defined or limited in the instrument evidencing the appointment in each case, for and on behalf of the company to execute and deliver and affix the seal of the company to bonds, undertakings, recognizances, and suretyship obligations of all kinds; and said officers may remove any such attorney-in-fact or agent and revoke any Power of Attorney previously granted to such person.

- RESOLVED FURTHER, that any bond, undertaking, recognizance, or suretyship obligation shall be valid and binding upon the Company
- (i) when signed by the president, any vice president or assistant vice president, and attested and sealed (if a seal be required) by any secretary or assistant secretary; or
 - (ii) when signed by the president, any vice president or assistant vice president, secretary or assistant secretary, and countersigned and sealed (if a seal be required) by a duly authorized attorney-in-fact or agent; or
 - (iii) when duly executed and sealed (if a seal be required) by one or more attorneys-in-fact or agents pursuant to and within the limits of the authority evidenced by the Power of Attorney issued by the company to such person or persons.

RESOLVED FURTHER that the signature of any authorized officer and the seal of the company may be affixed by facsimile to any Power of Attorney or certification thereof authorizing the execution and delivery of any bond, undertaking, recognizance, or other suretyship obligations of the company; and such signature and seal when so used shall have the same force and effect as though manually affixed.

IN WITNESS WHEREOF, OLD REPUBLIC SURETY COMPANY has caused these presents to be signed by its proper officer, and its corporate seal to be affixed this 24th day of February, 2023.

Karen J. Haffner
Assistant Secretary



OLD REPUBLIC SURETY COMPANY

Alan Pavlic
President

STATE OF WISCONSIN, COUNTY OF WAUKESHA - SS

On this 24th day of February, 2023, personally came before me, Alan Pavlic and Karen J Haffner, to me known to be the individuals and officers of the OLD REPUBLIC SURETY COMPANY who executed the above instrument, and they each acknowledged the execution of the same, and being by me duly sworn, did severally depose and say: that they are the said officers of the corporation aforesaid, and that the seal affixed to the above instrument is the seal of the corporation, and that said corporate seal and their signatures as such officers were duly affixed and subscribed to the said instrument by the authority of the board of directors of said corporation.



Kathryn R. Pearson
Notary Public

My Commission Expires: September 28, 2026

(Expiration of notary's commission does not invalidate this instrument)

CERTIFICATE

I, the undersigned, assistant secretary of the OLD REPUBLIC SURETY COMPANY, a Wisconsin corporation, CERTIFY that the foregoing and attached Power of Attorney remains in full force and has not been revoked; and furthermore, that the Resolutions of the board of directors set forth in the Power of Attorney, are now in force.



24-4544

Signed and sealed at the City of Brookfield, WI this 4th day of February, 2026.


Karen J. Haffner
Assistant Secretary

ORSC 22262 (3-06)

Sec. 7. Agreement

1. The bidder shall hereby agree to provide the City with all of the items in the request for proposals including the advertisement for the project.
2. Surety bond included. 5% \$ 4300.00
3. Total contract price in numbers \$ 85,950.00
4. Total contract price in words Eighty Five thousand Nine hundred fifty ⁰⁰/₁₀₀
5. Submitted by, Company, HUMPHREYS Contracting LLC
6. Representative (print name) CHRIS HUMPHREYS
7. Position in company OWNER

Signature of Company representative

 Date 1 / 29 / 2026

8. Acceptance by the City of Lake Geneva.
 - a. City Clerk or authorized representative.
Signature: _____ Date ____/____/2026
 - b. Administrator or authorized representative.
Signature: _____ Date ____/____/2026
9. Witnesseth that whereas the City, under provision of Sec.62.29 wis stats, and by virtue of authority vested in the said City Council has awarded the contractor the work.
10. The City confirms that adequate funds are available and dedicated for this project.
 - a. City of Lake Geneva Comptroller.
Signature: _____ Date ____/____/2026

Note: Tree trimming or removal and any fencing in conflict with project will be the responsibility of the City. Contractor will make every effort to work with the Cemetery Sexton to minimize disruption of funeral operations. **Absolutely no exterior work shall be performed during Military Honors of any kind.** Saturday work from 7am-5pm is allowed.

Alternate 1

Required

City of Lake Geneva Project 2025-08

Sec. A(a). Concrete floor

- a. 6" thick 4000psi concrete floor with 6ml vapor barrier on min. 8" CA6 grade 8 compacted gravel base. Fiber mesh.
- b. Smooth finish, saw cut joints max 100sq/ft.
- c. Cure and seal.
- d. 6' wide, 6" thick approach along entire front (south) on min. 8" CA6 grade 8 compacted gravel, match grade. Exterior concrete shall have tooled joints, broom finish. Rebar and expansion joint where appropriate. Fiber mesh.
- e. Cure and seal.
- f. North, east and west side backfilled min. 2' wide with compacted CA6 grade 8 gravel or approved alternate.
- g. SW corner of inside floor shall have (2) 2" pvc sch 40, 90-degree pipes stubbed 1' above floor against interior wall and ended a minimum 2' west of floor edge at 18" below grade. Capped. Pipe supplied by City.

Amount \$ 17,500.00

Sec. A(b). Insulation.

- a. Install single bubble vapor drip barrier between roof purlins and roofing. Foil up, white inside. Similar to EcoFoil SKU: EF-RBI-72-750-RWSE-SB.

Amount \$ 12,900.00

Sec. A(c). Garage door openers.

- a. (2) Heavy duty commercial Lift Master Model T 1/2hp opener. 120vac. With (4) 2 button programmed remotes. Push button open/close station for each door mounted on inside wall next to man door as appropriate. Or approved alternate.

Amount \$ 1,190.00

Sec. A(d), Interior walls.

1. Interior of outside walls.

- a. 16" o/c 2"x4" Nailers.
- b. 5/8" cdx plywood around inside perimeter, screwed to nailers. From 5/8" above floor to bottom of joists/trusses.
- c. All cutouts included and shall be coordinated with all contractors. Few anticipated, electrical will be surface mounted.

Amount \$ 8680,00

Sec. A(e). Acceptance by the City of Lake Geneva, Addendum 1.

Sec A(a)	Yes_____ No_____
Sec A(b)	Yes_____ No_____
Sec A(c)	Yes_____ No_____
Sec A(d)	Yes_____ No_____

a. City Clerk.

Signature: _____ Date ____/____/2026

b. Administrator.

Signature: _____ Date ____/____/2026

c. Comptroller.

Signature; _____ Date ____/____/2026



City of Lake Geneva Public Works

Streets/Parks/Forestry/Cemeteries/Buildings and Grounds

1065 Carey St. Lake Geneva WI. 53147 (262)248-6644

City of Lake Geneva Oak Hill Cemetery

Request for Bids, Sexton Shed Project, 2025-08

1101 Cemetery Rd. LG Wi.

Sec. 1. General

- a. Building use; equipment storage.
- b. Location; Oak Hill Cemetery, 1101 Cemetery Rd. maintenance area.
- c. Size; 40' x 30' Pole type building or approved alternate. Flush roof commercial design, no overhang. (typ)
- d. Median height of building shall not exceed 16.5'. Pitch of roof to match to accommodate 10' tall OH doors.
- e. Standard lower chord truss system.
- f. Truss clearance at heel and center; minimum 11'
- g. End walls shall be purlin blocked.
- h. Roof line wind bracing included.
- i. 2x4 purlins min 24" o/c.
- j. 2x10 headers. Double.
- k. 6"x6" treated posts 8'o/c. set on appropriate concrete footing, uplift protection. Columns shall be three (3) ply unspliced, reinforced spliced or solid wood and shall not be less than 6 inches by 6 inches nominal size.
- l. Building Code enforced; IBC 2015
- m. Wind speed; 90
- n. Wind exposure; C
- o. All required State Approved Plans shall be the responsibility of the proposer. None required.
- p. Local permits to include but not limited to, building, plumbing, electrical, etc. shall be the responsibility of the proposer and supplied 'no-fee' by the City.
- q. All State and local code compliance shall be followed including but not limited to; energy (IECC), electrical, plumbing, building, snow and wind loads, etc.
- r. All building systems shall have a minimum of a 1-year warranty starting from the day of final payment.

- s. The City is exempt from Federal Excise Tax and State Sales tax therefore bids shall be made exclusive to these taxes. Proper tax-exempt certifications shall be made available to the successful bidder.
- t. The City shall reserve the right to reject any and/or all bids and to accept the bid deemed most advantageous to the City.

Furnish, provide, perform, build and install the following for the City to take possession of a fully functional building.

Sec. 2. Excavation, foundation, building systems, doors, insulation.

1. Excavation/site prep:

- a. All excavation spoils will be allowed to be dumped on site. Finish floor elevation shall be set by the City. Asphalt disturbed around building/approach replaced in kind. (concrete allowed)

2. Foundation, floor:

- a. 8" of CA6 grade 8 compacted gravel
- b. See Alternate #1.

3. Heat:

N/A

4. Electrical:

N/A. City shall provide electrical.

5. Garage doors:

- a. (2) insulated 12'w x 10'h CHI R-17.54 Model 3216 White. Or approved alternate. South wall east.
- b. No windows.
- c. OH doors shall include mechanism to be mechanically locked from the inside.

6. Insulation:

See Alternate 1.

7. Man door;

- a. Plyco series 20 or approved alternate blocked 3' 0" x 6' 8". 4" 304 stainless steel fixed pin hinge. 2x6 frame. 3 1/2" jamb. *Lockset to be supplied by City.* LH Swing-In. No window.

Sec. 3. Roof, venting, ceiling, walls.

1. Roof;

- a. FABRAL Grand Rib 3 Plus or approved alternate. (Min. 28ga) Lifetime film integrity warranty, 35 year fade and chalk warranty. G-90 galvanizing. Matching screw fasteners. Appropriately trimmed, flashed and sealed. White.

2. Venting;

- a. Marco LP2 Weather-Tite ridge vent, low profile or approved alternate. Appropriately sized Gable vents considered.

3. Ceiling

- b. None

4. Exterior walls;

- a. FABRAL Grand Rib 3 Plus or approved alternate (Min. 28ga) installed on Tyvek Commercial Wrap or approved alternate on 1/2" OSB with 2x6 nailers appropriately spaced. Lifetime film integrity warranty, 35-year fade and chalk warranty. G-90 galvanizing. To industry standard. Appropriately trimmed, flashed and sealed. Matching screw fasteners. Color to match existing building as close as possible to City's satisfaction. No custom colors.
- b. All trim to match. Color to be approved by City.
- c. Skirt boards if needed shall be double 2x6 T&G treated
- d. South wall; install.
 - 1. Man door; see Sec. 2-7
 - 2. Overhead doors; (2) see Sec 2-5.
 - 3. Man door on west end, OH doors spaced as appropriate in remainder of wall.
- e. North, East and West wall. No improvements.
- f. All openings appropriately trimmed, flashed and sealed per industry and manufacturer standard.

Sec. 4. Remarks

The successful bidder shall be pre-qualified by the City by obtaining and submitting an approved Pre-Qualification packet including Insurance Information from the City of Lake Geneva DPW Office Administrative Assistant. The City may accept bids without pre-qualification, but the bid shall not be awarded until pre-qualification is approved.

1. All RFB holders shall submit an email address for anyone wishing to be copied on all questions/answers asked by holders regarding the RFB. Questions shall be accepted by the DPW Admin Assistant Ms. Kassy Vina at dpwoffice@cityoflakegeneva.gov up to five (5) days prior to due date and all answers shall be sent to all email addresses provided a minimum of three (3) days prior to due date.
2. This RFB shall be considered all-inclusive with no aspects being considered as to be 'done by others' unless specifically stated in RFB.
3. Completion shall be within eight (8) months of acceptance by the City with extensions being approved as needed at the sole discretion of the City DPW.
4. The Advertisement for this RFB shall be part of this contract/proposal.
5. All work shall be performed in a substantial professional workmanlike manner to industry and manufacturers standards.

Sec. 5. Insurance and Liabilities

1. The successful bidder shall have Liability Insurance as outlined in the pre-qualification packet naming the City as an additional insured. Minimum \$1 million liability coverage.
2. Bidder agrees to save, defend, indemnify and hold harmless the City of Lake Geneva against all demands, liabilities, costs and expenses connected with the furnishing of any material or labor, or because of any injury to persons or property, or from the violation of law and infringement patents. The City of Lake Geneva, in consideration for the bidder complying with the contract provided for by the specifications, agrees to pay the bidder at the times and in the manner set forth in said specifications the sum and amounts set forth in said specifications the sum and amounts set forth in said bid, pursuant hereof the bid was awarded to him, it being understood that such payment shall be upon invoices furnished by the contractor. It is further agreed by and between the parties hereto that all differences arising out of increase or diminution of contractors shall be adjusted by the City, the understanding being that the material and workmanship shall be free from all defects which might be caused by the use of poor materials or improperly done. If during that period it is found that workmanship is defective or that there has been work improperly performed, the contractor shall at his own cost and expense upon written order from the City, entirely remove any defective portion of the work or repair the same under City direction.

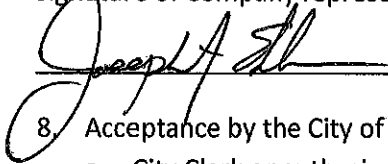
Sec. 6. Payments

1. 15% down prior to start.
2. Monthly draws approved by City.
3. Minimum 5% retainage until final approval.

Sec. 7. Agreement

1. The bidder shall hereby agree to provide the City with all of the items in the request for proposals including the advertisement for the project.
2. Surety bond included. 5% \$ 5% of base bid
3. Total contract price in numbers \$ \$109,986.00
4. Total contract price in words One Hundred Nine Thousand Nine Hundred Eighty Six Dollars
5. Submitted by, Company, Scherrer Construction Company, Inc.
6. Representative (print name) Joe Ehlen
7. Position in company: VP of Field Operations

Signature of Company representative



Date 2 / 4 /2026

8. Acceptance by the City of Lake Geneva.
 - a. City Clerk or authorized representative.
Signature: _____ Date ____/____/2026
 - b. Administrator or authorized representative.
Signature: _____ Date ____/____/2026
9. Witnesseth that whereas the City, under provision of Sec.62.29 wis stats, and by virtue of authority vested in the said City Council has awarded the contractor the work.
10. The City confirms that adequate funds are available and dedicated for this project.
 - a. City of Lake Geneva Comptroller.
Signature: _____ Date ____/____/2026

Note: Tree trimming or removal and any fencing in conflict with project will be the responsibility of the City. Contractor will make every effort to work with the Cemetery Sexton to minimize disruption of funeral operations. ***Absolutely no exterior work shall be performed during Military Honors of any kind.*** Saturday work from 7am-5pm is allowed.

Alternate 1

Required

City of Lake Geneva Project 2025-08

Sec. A(a). Concrete floor

- a. 6" thick 4000psi concrete floor with 6ml vapor barrier on min. 8" CA6 grade 8 compacted gravel base. Fiber mesh.
- b. Smooth finish, saw cut joints max 100sq/ft.
- c. Cure and seal.
- d. 6' wide, 6" thick approach along entire front (south) on min. 8" CA6 grade 8 compacted gravel, match grade. Exterior concrete shall have tooled joints, broom finish. Rebar and expansion joint where appropriate. Fiber mesh.
- e. Cure and seal.
- f. North, east and west side backfilled min. 2' wide with compacted CA6 grade 8 gravel or approved alternate.
- g. SW corner of inside floor shall have (2) 2" pvc sch 40, 90-degree pipes stubbed 1' above floor against interior wall and ended a minimum 2' west of floor edge at 18" below grade. Capped. Pipe supplied by City.

Amount \$ \$17,367.00 Seventeen Thousand Three Hundred Sixty Seven Dollars

Sec. A(b). Insulation.

- a. Install single bubble vapor drip barrier between roof purlins and roofing. Foil up, white inside. Similar to EcoFoil SKU: EF-RBI-72-750-RWSE-SB.

Amount \$ \$2,610.00 Two Thousand Six Hundred Ten Dollars

Sec. A(c). Garage door openers.

- a. (2) Heavy duty commercial Lift Master Model T 1/2hp opener. 120vac. With (4) 2 button programmed remotes. Push button open/close station for each door mounted on inside wall next to man door as appropriate. Or approved alternate.

Amount \$ \$4,107.00 Four Thousand One Hundred Seven Dollars

Sec. A(d), Interior walls.

1. Interior of outside walls.

- a. 16" o/c 2"x4" Nailers.
- b. 5/8" cdx plywood around inside perimeter, screwed to nailers. From 5/8" above floor to bottom of joists/trusses.
- c. All cutouts included and shall be coordinated with all contractors. Few anticipated, electrical will be surface mounted.

Amount \$ \$11,474.00 Eleven Thousand Four Hundred Seventy Four Dollars

Sec. A(e). Acceptance by the City of Lake Geneva, Addendum 1.

- Sec A(a) Yes _____ No _____
- Sec A(b) Yes _____ No _____
- Sec A(c) Yes _____ No _____
- Sec A(d) Yes _____ No _____

a. City Clerk.

Signature: _____ Date ____/____/2026

b. Administrator.

Signature: _____ Date ____/____/2026

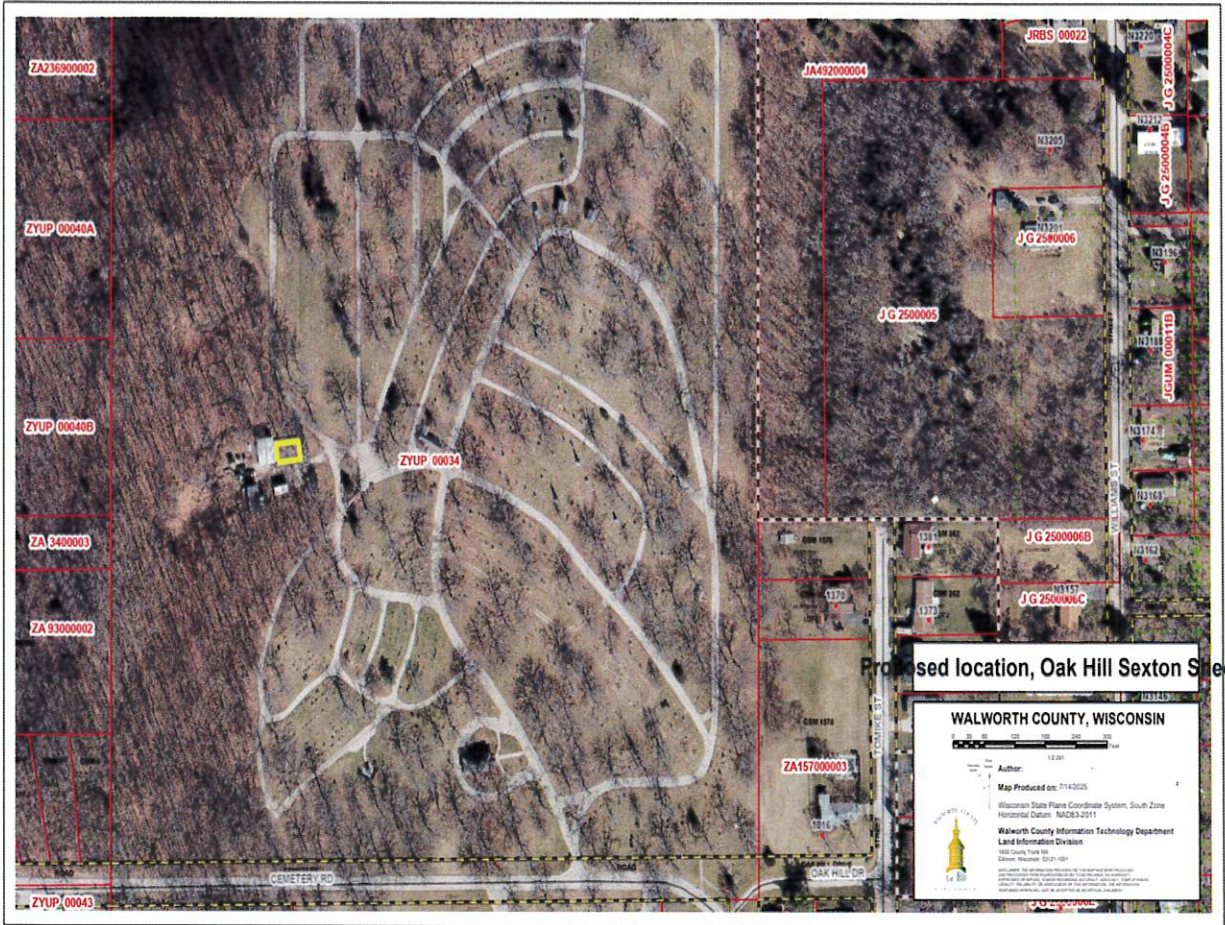
c. Comptroller.

Signature; _____ Date ____/____/2026



Concept design, not to scale





Proposed location, Oak Hill Sexton Site

1101 Cemetery Rd.



Bid Bond

CONTRACTOR:

(Name, legal status and address)

Scherrer Construction Co., Inc.
601 Blackhawk Drive
Burlington, WI 54403

SURETY:

(Name, legal status and principal place of business)

Travelers Casualty and Surety Company of America
One Tower Square
Hartford, CT 06183

This document has important legal consequences. Consultation with an attorney is encouraged with respect to its completion or modification. Any singular reference to Contractor, Surety, Owner or other party shall be considered plural where applicable.

OWNER:

(Name, legal status and address)

City of Lake Geneva
626 Geneva Street
Lake Geneva, WI 53147

BOND AMOUNT:

5% Five Percent of Amount Bid

PROJECT:

(Name, location or address, and Project number, if any) City of Lake Geneva Oak Hill Cemetery Sexton Shed 1101 Cemetery Rd., Lake Geneva, WI Project Number, if any: 2025-08

The Contractor and Surety are bound to the Owner in the amount set forth above, for the payment of which the Contractor and Surety bind themselves, their heirs, executors, administrators, successors and assigns, jointly and severally, as provided herein. The conditions of this Bond are such that if the Owner accepts the bid of the Contractor within the time specified in the bid documents, or within such time period as may be agreed to by the Owner and Contractor, and the Contractor either (1) enters into a contract with the Owner in accordance with the terms of such bid, and gives such bond or bonds as may be specified in the bidding or Contract Documents, with a surety admitted in the jurisdiction of the Project and otherwise acceptable to the Owner, for the faithful performance of such Contract and for the prompt payment of labor and material furnished in the prosecution thereof; or (2) pays to the Owner the difference, not to exceed the amount of this Bond, between the amount specified in said bid and such larger amount for which the Owner may in good faith contract with another party to perform the work covered by said bid, then this obligation shall be null and void, otherwise to remain in full force and effect. The Surety hereby waives any notice of an agreement between the Owner and Contractor to extend the time in which the Owner may accept the bid. Waiver of notice by the Surety shall not apply to any extension exceeding sixty (60) days in the aggregate beyond the time for acceptance of bids specified in the bid documents, and the Owner and Contractor shall obtain the Surety's consent for an extension beyond sixty (60) days.

If this Bond is issued in connection with a subcontractor's bid to a Contractor, the term Contractor in this Bond shall be deemed to be Subcontractor and the term Owner shall be deemed to be Contractor.

When this Bond has been furnished to comply with a statutory or other legal requirement in the location of the Project, any provision in this Bond conflicting with said statutory or legal requirement shall be deemed deleted herefrom and provisions conforming to such statutory or other legal requirement shall be deemed incorporated herein. When furnished, the intent is that this Bond shall be construed as a statutory bond and not as a common law bond.

Signed and sealed this 4th day of February, 2026

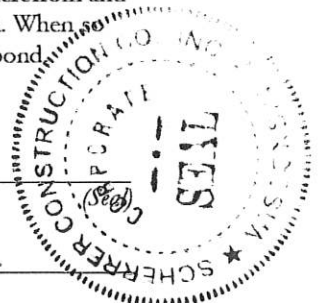
(Witness) 

Scherrer Construction Co., Inc.
(Principal)

By: 
(Title) PRES

Travelers Casualty and Surety Company of America
(Surety)

By: 
(Title) Becky Jo Schleis, Attorney-in-Fact



By arrangement with the American Institute of Architects, the National Association of Surety Bond Producers (NASBP) (www.nasbp.org) makes this form document available to its members, affiliates, and associates in Microsoft Word format for use in the regular course of surety business. NASBP vouches that the original text of this document conforms exactly to the text in AIA Document A310-2010, Bid Bond. Subsequent modifications may be made to the original text of this document by users, so careful review of its wording and consultation with an attorney are encouraged before its completion, execution or acceptance.

POWER OF ATTORNEY


Travelers Casualty and Surety Company of America, Travelers Casualty and Surety Company, St. Paul Fire and Marine Insurance Company, and Farmington Casualty Company are corporations duly organized under the laws of the State of Connecticut (herein collectively called the "Companies"), and the Companies do hereby make, constitute and appoint Becky Jo Schleis of Grafton, WI, their true and lawful Attorney(s)-in-Fact to sign, execute, seal and acknowledge any and all bonds, recognizances, conditional undertakings and other writings obligatory in the nature thereof on behalf of the Companies in their business of guaranteeing the fidelity of persons, guaranteeing the performance of contracts and executing or guaranteeing bonds and undertakings required or permitted in any actions or proceedings allowed by law.

IN WITNESS WHEREOF, the Companies have caused this instrument to be signed, and their corporate seals to be hereto affixed, this **4th** day of **March**, 2024.



State of Connecticut

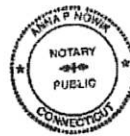
City of Hartford ss.

By: 
Bryce Grissom, Senior Vice President

On this the **4th** day of **March**, 2024, before me personally appeared **Bryce Grissom**, who acknowledged himself to be the Senior Vice President of each of the Companies, and that he, as such, being authorized so to do, executed the foregoing instrument for the purposes therein contained by signing on behalf of said Companies by himself as a duly authorized officer.

IN WITNESS WHEREOF, I hereunto set my hand and official seal.

My Commission expires the **30th** day of **June**, 2026




Anna P. Nowik, Notary Public

This Power of Attorney is granted under and by the authority of the following resolutions adopted by the Boards of Directors of each of the Companies, which resolutions are now in full force and effect, reading as follows:

RESOLVED, that the Chairman, the President, any Vice Chairman, any Executive Vice President, any Senior Vice President, any Vice President, any Second Vice President, the Treasurer, any Assistant Treasurer, the Corporate Secretary or any Assistant Secretary may appoint Attorneys-in-Fact and Agents to act for and on behalf of the Company and may give such appointee such authority as his or her certificate of authority may prescribe to sign with the Company's name and seal with the Company's seal bonds, recognizances, contracts of indemnity, and other writings obligatory in the nature of a bond, recognizance, or conditional undertaking, and any of said officers or the Board of Directors at any time may remove any such appointee and revoke the power given him or her, and it is

FURTHER RESOLVED, that the Chairman, the President, any Vice Chairman, any Executive Vice President, any Senior Vice President or any Vice President may delegate all or any part of the foregoing authority to one or more officers or employees of this Company, provided that each such delegation is in writing and a copy thereof is filed in the office of the Secretary; and it is

FURTHER RESOLVED, that any bond, recognizance, contract of indemnity, or writing obligatory in the nature of a bond, recognizance, or conditional undertaking shall be valid and binding upon the Company when (a) signed by the President, any Vice Chairman, any Executive Vice President, any Senior Vice President or any Vice President, any Second Vice President, the Treasurer, any Assistant Treasurer, the Corporate Secretary or any Assistant Secretary and duly attested and sealed with the Company's seal by a Secretary or Assistant Secretary; or (b) duly executed (under seal, if required) by one or more Attorneys-in-Fact and Agents pursuant to the power prescribed in his or her certificate or their certificates of authority or by one or more Company officers pursuant to a written delegation of authority; and it is

FURTHER RESOLVED, that the signature of each of the following officers: President, any Executive Vice President, any Senior Vice President, any Vice President, any Assistant Vice President, any Secretary, any Assistant Secretary, and the seal of the Company may be affixed by facsimile to any Power of Attorney or to any certificate relating thereto appointing Resident Vice Presidents, Resident Assistant Secretaries or Attorneys-in-Fact for purposes only of executing and attesting bonds and undertakings and other writings obligatory in the nature thereof, and any such Power of Attorney or certificate bearing such facsimile signature or facsimile seal shall be valid and binding upon the Company and any such power so executed and certified by such facsimile signature and facsimile seal shall be valid and binding on the Company in the future with respect to any bond or understanding to which it is attached.

I, **Kevin E. Hughes**, the undersigned, Assistant Secretary of each of the Companies, do hereby certify that the above and foregoing is a true and correct copy of the Power of Attorney executed by said Companies, which remains in full force and effect.

Dated this February 4, 2026




Kevin E. Hughes, Assistant Secretary

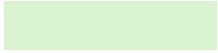
To verify the authenticity of this Power of Attorney, please call us at 1-800-421-3880.
Please refer to the above-named Attorney(s)-in-Fact and the details of the bond to which this Power of Attorney is attached.

2025-08 Oak Hill Cemetery Sexton Shed Numbers

Calculation Sheet from City Clerk Reynolds

PLEASE double check calculations to bid docs submitted before releasing any information to requestors

<u>Company</u>	<u>Total Amount</u>	<u>Base Bid</u>	<u>Alt 1A</u>	<u>Alt 1B</u>	<u>Alt 1C</u>
Scherrer	\$145,544.00	\$109,986.00	\$17,367.00	\$2,610.00	\$4,107.00
Humphreys	\$126,220.00	\$85,950.00	\$17,500.00	\$12,900.00	\$1,190.00
GlenFern	\$118,865.00	\$82,450.00	\$18,100.00	\$4,620.00	\$2,750.00



Alt 1D
\$11,474.00
\$8,680.00
\$10,945.00

\$145,544.00

\$126,220.00

\$118,865.00



Agenda Item Memo

City of Lake Geneva

Committee: Common Council

Meeting Date: March 23, 2026

Subject / Title: Discussion/Recommendation regarding rejection Columbarium bids

Submitted By: Tom Earle

Background / Request

Project 2026-01 was bid through a Class II bid posting. We received bids from 2 companies, one does not fit our need and one did not include a bid bond as specified in State Statute 62.15.

Fiscal Impact / Budget

- Estimated Cost: \$105,000.00 _____
- Funding Source: Cemetery CIP (e.g., General Fund, TID, Water Utility, Grants)
- Budget Status: Within Budget _____ Over Budget _____
 Budget Amendment Required _____
- GL Number: 43-48-00-17010 _____

(If applicable, note grant awards, cost-sharing, or capital plan references.)

Ordinance/Policy Implications/Changes:

Recommendation:

Reject and re-bid.

Implementation/Next Steps

Name of Committee	Date of Meeting	Original Agenda Item #	Outcome
Council	23 March 2026		

Attachments (list any and all attachments that go with this item and memo)

Columbarium Bid Tab, and Ad

Reviewed by	Date:	Comments

2026-01 Oak Hill Cemetery Columbarium Bid Opening

City of Lake Geneva - City Hall

Wednesday February 25, 2026 at 10:00 am

In attendance: DPW DIRECTOR TOM EARLE, DPW ASSISTANT KASSY VINA, CLERK REYNOLDS

Company	Total Amount	Base Bid From Sect 3(3)	Addendum 1 Adjusted Price	Addendum 2 Adjusted Price	Bid Bond Included
MONUMENT PREQUAL WAREHOUSE LLC ✓		144,400.00	NA	119,350.00	7,500.00 ✓
COLD SPRING USA PREQUAL - ✓ Per Tom		81,523.00	80,052.00	NA	NONE

City of Lake Geneva Project 2026-01 Oak Hill Cemetery Columbarium.

The City of Lake Geneva WI is soliciting bids for project 2026-01, purchase and installation of a new Columbarium for Oak Hill Cemetery. Sealed bids will be accepted in the City Clerk's office at 626 Geneva Street, Lake Geneva, Wisconsin, until 10am Wednesday 04 Feb. 2026 for project as specified in the official documents. Bids must be sealed and submitted on the official proposal forms and returned clearly marked 'City of Lake Geneva 2026-01 Oak Hill Cemetery Columbarium Purchase' with name of bidder, date and time of opening. Undated, unsigned, late, incomplete, emailed or faxed documents will not be considered.

The city is not responsible for late or misdirect mail or cartage therefore hand delivery is advised. Bidders must submit a pre-qualification packet prior to the opening of bids by visiting the city website. Bid will not be awarded until Pre-Qual is approved. A 5% surety bond may be required. All bids shall be F.O.B. destination, prepaid and allowed to the Clerk's Office with no charges for packing or cartage.

The City reserves the right to reject any or all bids and to accept any bid deemed most advantageous to the City of Lake Geneva. Bidding and prequalification documents are available by emailing the DPW Administrative Specialist Ms. Kassandra Vina-Gutierrez. dpwoffice@cityoflakegeneva.gov

The City of Lake Geneva is exempt from Federal Excise Tax and State Sales Tax; therefore, proposals should be made exclusively regarding these taxes. Exemption Registry number will be furnished by the successful proposer. Additional requirements included in the project packet. Bidders shall not contact any City Staff or Elected Official other than those listed as a contact in the official project packet regarding this project, doing so shall be grounds for disqualification.

Department of Public Works

Email: dpwoffice@cityoflakegeneva.gov

Phone number: 262.248.6644

Address: 1065 Carey Street, Lake Geneva WI 53147

Espanol

La Ciudad de Lake Geneva, Wisconsin, solicita ofertas para el proyecto 2026-01, que consiste en la compra e instalación de un nuevo columbario para el cementerio Oak Hill. Se aceptarán ofertas selladas en la oficina del secretario Municipal, ubicada en 626 Geneva Street, Lake Geneva, Wisconsin has las 10:00 am. Del miércoles 4 de febrero de 2026, para el proyecto especificado en los documentos oficiales. Las ofertas deben presentarse oficiales, claramente marcadas como 'City of Lake Geneva 2026-01 Oak Hill Cemetery Columbarium Purchase' indicando el nombre del licitador, la fecha y la hora de apertura. No se considerarán los documentos sin fecha, sin firma, presentados fuera de plazo, incompletos, enviados por correo electrónico o fax.

La ciudad no se hace responsable de los envíos tardíos o extraviados, por lo que se recomienda la entrega en mano. Los licitadores deben presentar un paquete de precalificación antes de la apertura de las ofertas, visitando el sitio web de la ciudad. La adjudicación de la oferta no se realizará hasta que se apruebe la precalificación. Es posible que se requiera una fianza del 5%. Todas las ofertas deberán ser entregadas en destino (FOB destino), con portes pagados, en la oficina del secretario Municipal, sin cargos adicionales por embalaje o transporte.

La ciudad se reserva el derecho de rechazar cualquiera o todas las ofertas y de aceptar la oferta que considere más ventajosa para la Ciudad de Lake Geneva. Los documentos de licitación y precalificación están disponibles enviando un correo electrónico a la Sra. Kassandra Vina-Gutiérrez, Especialista Administrativa del Departamento de Obras Públicas, a la siguiente dirección: dpwoffice@cityoflakegeneva.gov

La Ciudad de Lake Geneva está exenta del Impuesto Federal sobre el Consumo y del Impuesto Estatal sobre las Ventas; por lo tanto, las propuestas deben presentarse sin incluir estos impuestos. El número de registro de exención se proporcionará al licitador seleccionado. Los requisitos adicionales se incluyen en el paquete del proyecto. Los licitadores no deberán contactar a ningún miembro del personal municipal ni a ningún funcionario electo, excepto a las personas de contacto indicadas en el paquete oficial del proyecto. El incumplimiento de esta norma será motivo de descalificación.

Department of Public Works

Email: dpwoffice@cityoflakegeneva.gov

Phone number: 262.248.6644

Address: 1065 Carey Street, Lake Geneva Wi 53147