



City of Lake Geneva, 626 Geneva St, Lake Geneva, WI 53147-262.248.3673-www.cityoflakegeneva.gov

Plan Commission Agenda
Monday, August 17, 2026 - 6:00 PM
Lake Geneva City Hall; Council Chambers

Members:

Chair: Mayor Todd Krause

Aldersperson JaNelle Powers, John Gibbs, Doug Skates, Jeremy Nafziger, Kyle Cary, and Anne Esarco

- 1. Election of Acting Chairperson in absence of Chairperson Krause**
- 2. Call to Order**
- 3. Roll Call**
- 4. Approve Minutes of the July 20, 2026 Plan Commission meeting as distributed.**
- 5. Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will be limited to five (5) minutes.**
- 6. Acknowledgment of Correspondence.**
- 7. Downtown Design Review:**
 - a. Discussion/Action on Resolution PC-2026-039 Downtown Design Review for Sandwich Board sign at 252 Broad Street filed by Geneva Tap House, 252 Broad Street, Lake Geneva, Tax Key No. ZOP 00248.**
- 8. Public Hearing, Review, and Recommendation**
 - a. Public Hearing for a PD-Amended Precise Implementation Plan to allow the change in surface materials for paths in Symphony Bay Subdivision, filed by City of Lake Geneva, 626 Geneva Street, Lake Geneva, WI, Tax Key Nos. ZSB 00332, ZSB 00333, ZSBE 00785, ZSBE 00928.**
 - b. Discussion/Action on Resolution PC-2026-042 recommending approval of PD-Amended Precise Implementation Plan to allow the change in surface materials for paths in Symphony Bay Subdivision, filed by City of Lake Geneva, 626 Geneva Street, Lake Geneva, WI, Tax Key Nos. ZSB 00332, ZSB 00333, ZSBE 00785, ZSBE 00928.**
- 9. Lot Line Adjustment**
 - a. Discussion/Action on Resolution PC-2026-043 to transfer annexation strip, Tax Key No. ZYUP 00190, pursuant to the Conditional Use Permit for the Highlands of Lake Geneva dated May 8, 2006.**
- 10. Annual Comprehensive Plan Process**
 - a. Discussion/ Action on Resolution PC-2026-044 recommending Public Participation Plan for 2026 Comprehensive Plan Amendment program.**
- 11. Adjournment**

A quorum of the Council may be present; however, no official Council action will be taken.
Requests from persons with disabilities who need assistance to participate in this meeting should be made to the City Clerk's office in advance so that the appropriate accommodations can be made.

City Of Lake Geneva Plan Commission Minutes
Monday, July 20, 2026 - 6:00 PM
Lake Geneva City Hall; Council Chambers

Meeting Called to Order – Mayor Todd Krause

Mayor Krause called the meeting to order at 6:00 PM.

Roll Call

Present: Krause, Powers, Nafziger, Esarco, Skates, Gibbs

Absent: Cary

Approve Minutes of the June 15, 2026 Plan Commission meeting as distributed.

Motion by Powers to approve; second by Skates. Motion carried: 6-0

Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will be limited to five (5) minutes.

Public comment: None.

Acknowledgment of Correspondence

Correspondence was received and distributed to the Plan Commission members.

Downtown Design Review:

Discussion/Action on Resolution PC-2026-006 for Downtown Design Review application for new signage at 300 Wrigley Dr, filed by Jordan Himmel, 6228 N Broadway, Chicago, IL, Tax Key No. ZHC00303.

300 Wrigley Drive – Signage Approval: Jordan Himmel requested approval for two 20-square-foot signs on balcony railings. Staff noted the atypical placement but confirmed compliance with color guidelines. **Motion by Skates, seconded by Powers, to approve the application with the condition that proper permits are obtained prior to installation. Motion carried 6-0**

Discussion/Action on Resolution PC-2026-026 for Downtown Design Review application for a sandwich board sign at 812 W Main Street, filed by Jean Doliber and Kathy Dennen, 812 W Main Street, Lake Geneva, WI, Tax Key No. ZOP00332.

812 West Main Street – Sandwich Board Sign: An application for a sandwich board sign at 812 West Main Street was reviewed. **Motion by Skates, seconded by Powers, to approve the application. Motion carried 6-0**

Discussion/Action on Resolution PC-2026-041 for Downtown Design Review application for new signage at 703 W Main Street, filed by Valera Smokvin, POB 130, Grafton, WI, Tax Key No. ZA276000001.

703 West Main Street – Downtown Design Review (Signage): The Commission considered a downtown design review application for new signage for a chocolate factory/sandwich shop at 703 West Main Street. **Motion by Skates, seconded by Powers, to approve the downtown design review application. Motion carried 6-0.**

Land Division

Discussion/Action on Resolution PC-2026-038 for application for Lot Line Adjustment at N1741 Highway 120, filed by Nicholas Egert, 835 Geneva Parkway, Suite 1, Lake Geneva, WI, Tax Key Nos. ZYUP 00197 and ZA427700001.

Lot Line Adjustment – Horseshoe Hunt Club / Kelly Parcel: The Commission considered a lot line adjustment application to transfer property between the Horseshoe Hunt Club and the Kelly parcel. **Motion by Skates, seconded by Esarco, to approve the lot line adjustment. Motion carried 6-0.**

Public Hearing, Review, and Recommendation

Public Hearing for a Conditional Use Permit (CUP) to allow a commercial apartment and façade renovations at 736-738 Main St filed by Stebnitz Builders, Inc, 204 Commerce Ct #3, Elkhorn, WI, Tax Key No. ZOP00315 and ZOP00316.

Chair opened the public hearing regarding a Conditional Use Permit to allow commercial apartments and facade renovations at 736 and 738 Main Street. The applicant noted the intent to keep two distinct first-floor storefronts while unifying the overall exterior facade.

- **Public Comment:** Peg Esposito (124 Darwin Street) addressed the Commission regarding ADA accessibility standards and DarkSky program guidelines.
- **Action:** Motion by **Esarco**, seconded by Powers, to close the public hearing. Motion carried 6-0.

Discussion/Action on Resolution PC-2026-035 recommending approval of a Conditional Use Permit (CUP) to allow a commercial apartment and façade renovations at 736-738 Main St filed by Stebnitz Builders, Inc, 204 Commerce Ct #3, Elkhorn, WI, Tax Key No. ZOP00315 and ZOP00316.

Jeff Alberger of Stebnitz Builders presented plans featuring front/rear facade updates, a navy and white building color palette, parking additions, a dumpster enclosure, and a rooftop viewing terrace.

- **Commission Discussion:** Addressed potential trash issues with flower boxes, building security access for upper levels, and privacy fencing requirements around the stairway.
- **Action:** Motion by Skates, seconded by **Esarco**, to approve the Conditional Use Permit application allowing commercial apartment renovations at 736 and 738 West Main Street. **Motion carried 6-0.**

Public Hearing for a Conditional Use Permit (CUP) to allow an Indoor Entertainment Operation (Wedding Venue) at 625 S Wells St filed by Carrie Douglass, 289 Indian Bend Rd, Burlington, WI, Tax Key No. ZOP00398.

Chair opened the public hearing for an indoor wedding venue at 625 South Wall Street.

- **Proposal Details:** The venue proposes a maximum occupancy of 108 people, restricted by available parking. Staff noted that despite a Fire Department building approval capacity of 300, final occupancy is limited by parking availability (currently 30 spaces, with 37 additional spaces to be added).
- **Public Comment:** None.
- **Action:** Motion by **Esarco**, seconded by Powers, to close the public hearing. **Motion carried 6-0.**

Discussion/Action on Resolution PC-2026-037 recommending approval of a Conditional Use Permit (CUP) to allow an Indoor Entertainment Operation (Wedding Venue) at 625 S Wells St filed by Carrie Douglass, 289 Indian Bend Rd, Burlington, WI, Tax Key No. ZOP00398.

The Commission considered a Conditional Use Permit request to establish an indoor entertainment facility and wedding venue at 625 South Wall Street. **Motion by Skates, seconded by Escaro, to approve the Conditional Use Permit with the condition that site plan review approval and all required permits are secured prior to construction. Motion carried 6-0.**

Public Hearing for a Conditional Use Permit (CUP) to allow reconstruction of a single family dwelling within the Estate Residential-1 (ER-1) zoning district in compliance with the Single Family Residential-4 (SR-4) requirement for the property located at 1626 Evergreen Lane, filed by Desmond Wahlfeld, 323 Broad Street #102, Lake Geneva, WI, Tax Key No. ZLM00016.

Chair opened the public hearing for the reconstruction of a single-family dwelling to meet SR-4 zoning standards at 1626 Evergreen Lane.

- **Staff Recommendation:** Approval, subject to resolving engineering questions regarding stormwater management.

- **Public Comment:** Dan Lites (1633 S. Lake Shore Dr.) raised concerns about surface water runoff, drainage, rain garden performance, and potential impacts on adjacent properties.
- **Action:** Motion by Skates, seconded by Escaro, to close the public hearing. **Motion carried 6-0.**

Discussion/Action on Resolution PC-2026-032 recommending approval of a Conditional Use Permit (CUP) to allow reconstruction of a single family dwelling within the Estate Residential-1 (ER-1) zoning district in compliance with the Single Family Residential-4 (SR-4) requirement for the property located at 1626 Evergreen Lane, filed by Desmond Wahlfeld, 323 Broad Street #102, Lake Geneva, WI, Tax Key No. ZLM00016.

The Commission considered a Conditional Use Permit application for single-family dwelling reconstruction at 1626 Evergreen Lane. **Motion by Escaro, seconded by Powers, to approve the Conditional Use Permit. Motion carried 6-0.**

Public Hearing for a Planned Development (Precise Implementation Plan) to allow the construction of a single-family residential structure in the PD Planned Development zoning district at 630 S Lake Shore Drive filed by Tess Komars, 640 N Vel R Phillips, Suite 210, Milwaukee, WI, tax Key No. ZA 315600002.

Chair opened the public hearing for a single-family residential Planned Development at 630 South Lakeshore Drive.

- **Proposal Details:** Tess Komars and Matthew Stafford (Abacus Architects) and members of the Colbert family presented plans for a two-story home, attached and detached garages, lakeside patio, pool, and site features. Driveway width concerns were addressed via a designated fire lane and turnaround.
- **Staff Recommendation:** Approval of the Precise Implementation Plan (PIP) conditioned upon a perpetual public access easement for the shore path, proper stormwater management, and Fire Department approval.
- **Action:** Motion by Esarco, seconded by Powers, to close the public hearing. **Motion carried 6-0.**

Discussion/Action on Resolution PC-2026-030 recommending approval of a Planned Development (Precise Implementation Plan) to allow the construction of a single-family residential structure in the PD Planned Development zoning district at 630 S Lake Shore Drive filed by Tess Komars, 640 N Vel R Phillips, Suite 210, Milwaukee, WI, tax Key No. ZA 315600002.

The Commission considered a Planned Development application for a single-family residential structure at 630 South Lakeshore Drive. **Motion by Skates, seconded by Esarco, to approve the application, subject to permit requirements and a public access easement. Motion carried 6-0.**

Public Hearing for a Planned Development (General Development Plan) to allow the construction of a commercial structure in the PD Planned Development zoning district at 140 Broad St., filed by Pacific Property Holdings, LLC, 672 W Main St #1136, Lake Geneva, WI, Tax Key No. ZOP00331.

Chair opened the public hearing regarding a Planned Development for a proposed two-story building at 140 Broad Street to house Otty's restaurant and the Mashtun Brewing taproom.

- **Public Comment:** None.
- **Action:** Motion by Gibbs, seconded by Skates, to close the public hearing. **Motion carried 6-0.**

Discussion/Action on Resolution PC-2026-034 recommending approval of a Planned Development (General Development Plan) to allow the construction of a commercial structure in the PD Planned Development zoning district at 140 Broad St., filed by Pacific Property Holdings, LLC, 672 W Main St #1136, Lake Geneva, WI, Tax Key No. ZOP00331.

The Commission considered a Planned Development application for a new two-story building at 140 Broad Street for Otty's restaurant and Mashtun Brewing's taproom. **Motion by Escaro, seconded by Krause, to approve the Planned Development with conditions including substantial compliance with presented plans, a two-year expiration for the General Development Plan (GDP), and a required traffic management plan. Motion carried 6-0.**

Public Hearing for a Planned Development (General Development Plan) to allow the construction of a mixed-use development in the PD Planned Development zoning district along Sheridan Springs Rd, filed by Simple Food Group LLC, 525 Broad St, Lake Geneva, WI, Tax Key No. ZA467900001, ZA467900002, ZA468000001, and ZA468000002.

Chair opened the public hearing for a mixed-use development proposal along Sheridan Springs Road by Simple Food Group.

- **Staff Recommendation:** Approval, subject to conditions including a two-year implementation plan and further traffic impact analysis.
- **Public Comment:** None.
- **Action:** Motion by Escaro, seconded by Powers, to close the public hearing. **Motion carried 6-0.**

Discussion/Action on Resolution PC-2026-036 recommending approval of a Planned Development (General Development Plan) to allow the construction of a mixed-use development in the PD Planned Development zoning district along Sheridan Springs Rd, filed by Simple Food Group LLC, 525 Broad St, Lake Geneva, WI, Tax Key No. ZA467900001, ZA467900002, ZA468000001, and ZA468000002.

The Commission reviewed a General Development Plan (GDP) for Simple Food Group's 11-acre culinary campus. Tom Hartz and Young Cho, alongside representatives from Continuum Architects & Planning, Psyche Design, and Bolton & Menk, presented plans for a bakery, coffee shop, market, event space, and educational facilities designed to meet Comprehensive Plan standards.

- **Action:** Motion by Skates, seconded by Krause, to approve the General Development Plan (GDP) with conditions including sidewalk extension to the west lot line, completion of a traffic study, adherence to stormwater quality and quantity standards, and submittal of a Precise Implementation Plan (PIP) within two years. **Motion carried 6-0.**

Adjournment

Motion by Powers, seconded by Krause, to adjourn the meeting. Motion carried 6-0. Meeting adjourned at 8:03 p.m.



STAFF REPORT
Lake Geneva Plan Commission
Meeting Date: August 17, 2026

Applicant:

Geneva Tap House
252 Broad Street
Lake Geneva, WI

Request:

252 Broad Street
Downtown Design Review: Signage
Tax Key No. ZOP 00248

Description:

The applicant proposes the placement of a sandwich board sign at the entrance to the building located at 252 Broad Street. The proposed sandwich board sign is a wood frame sign structure with a chalkboard sign face.

City of Lake Geneva Zoning Ordinance Section 98-811 (1) D.2 regulates the placement of sandwich board signs. The ordinance requires the following:

- One (1) sandwich board per building entrance.
- Sign permit is required prior to placement.
- Must be located within ten (10) feet of the business entrance leaving a minimum clear pedestrian path of five (5) feet on the sidewalk.
- Maximum height allowed is three (3) feet and maximum width allowed is two (2) feet.
- Sandwich board sign shall only be displayed during the hours of operation of the business it is advertising.

Staff Recommendations:

Staff recommend *approval* of the proposed sandwich board sign, provided that the following condition is met:

1. The applicant shall secure a sign permit prior to installation of the sign.

20260428



City of Lake Geneva
Building and Zoning
626 Geneva Street
Lake Geneva, WI 53147



APPLICATION FOR DOWNTOWN DESIGN REVIEW

Site Address & Parcel No.:

252 Broad St
Lake Geneva

Name & Address of Current Building Owner:

Shad Branen
1464 Devon Rd
Burlington, WI 53105

Telephone Number of Current Building Owner:

Email Address:

Owner Signature:

Name & Address of Applicant:

Geneva Tap House
252 Broad St

Telephone Number of Applicant:

Email Address:

Proposed Design Change:

Sandwich board sign that beens outside since
we opened

Zoning District:

CB

Names & Address of Architect, Engineer, and/or Contractor of Project:

NO one

Description of Project:

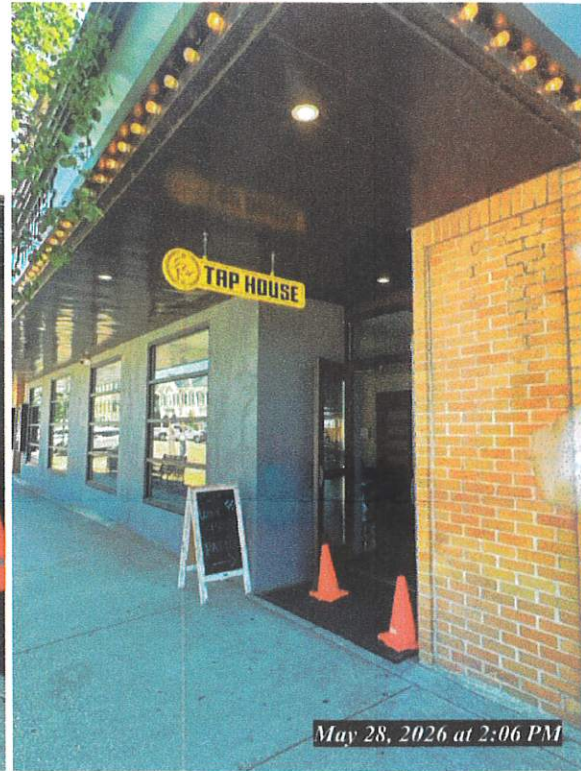
Sandwich board sign

Date:

6/15/2025
02/27/2025

Signature of Applicant:

[Handwritten Signature]



Sign Specifications

Height: 3'ft. 4in

Width: 1ft 7 $\frac{3}{4}$ in

Sign displays special events that are happening when scheduled. States what type of business we are.

Sign is placed where it is seen in the above pictures.

Material: Wooden Chalkboard moveable sign

RESOLUTION OF THE PLAN COMMISSION			
Resolution approving a request for Downtown Design Review filed by Geneva Tap House, 252 Broad Street, Lake Geneva, WI to allow a sandwich board sign at 252 Broad Street, Tax Key No. ZOP 00248.			
Committee:	N/A		
Fiscal Impact:	N/A		
File Number:	PC-2026-039	Date:	August 17, 2026

WHEREAS, the City of Lake Geneva Plan Commission has considered a Downtown Design Review application filed by Geneva Tap House, 252 Broad Street, Lake Geneva, WI to allow a sandwich board sign at 252 Broad Street, Tax Key No. ZOP 00248, and;

WHEREAS, the Plan Commission made the following finding of fact:

1. The proposed Downtown Design Project is consistent with the Downtown Design Standards of Section 98-913(9), and

WHEREAS, the Plan Commission has added the following condition:

1. The applicant shall secure a sign permit prior to installation of the sign.

NOW, THEREFORE, BE IT RESOLVED, that the Plan Commission hereby approves the Downtown Design Review application filed by Geneva Tap House, 252 Broad Street, Lake Geneva, WI to allow a sandwich board sign at 252 Broad Street, Tax Key No. ZOP 00248 per the findings of fact and additional condition stated above.

PC Action: ☐ Adopted ☐ Failed Vote _____

Mayoral Action: ☐ Accept ☐ Veto

Todd Krause, Plan Commission Chair

Date

Attest:

Amanda, Rotondi, Building Zoning Clerk

Date



STAFF REPORT
Lake Geneva Plan Commission
Meeting Date: August 17, 2026

Applicant:

City of Lake Geneva
626 Geneva Street
Lake Geneva, WI

Request:

Symphony Bay Phases 5 and 7
Tax Key No. ZSB 00332, ZSB 00333, ZSBE
00785, ZSBE 00928
Amended PD-Precise Implementation Plan

Summary Description:

The PD- Precise Implementation Plan for Phases 5 and 7 Symphony Bay were approved in 2016 and 2022 respectively. Both phases include proposed recreational paths along the eastern portion of the development. Both PIPs include a path cross section detail that describes the path surface as either mulched or maintained native ground. The current owner/developer has agreed to complete the paths with gravel at a higher cost of construction before turning the improved paths over to the City.

The Developer's Agreement for Symphony Bay specifies that these recreational paths shall be owned and maintained by the City of Lake Geneva. Considering the cost of and limitations of ongoing maintenance of these paths by the public, staff determined that gravel would be a better option for path surface.

The purpose of this amendment is to specify a gravel path surface for paths located in phases 5 and 7 instead of the required mulch or maintained native ground of the original PIP.

Action by the Plan Commission:

Recommendation to the Common Council on the proposed Amended Precise Implementation Plan (PIP):

As part of the consideration of the requested Amended PIP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed Amended PIP;
- Include *findings* required by the Zoning Ordinance for PIPs; and,
- Provide specific suggested *requirements* to modify the project as submitted.

Staff Review Comments:

The proposed Amended PIP provides for a gravel recreational path surface. The approval of this request would solve potential maintenance logistical problems and costs to the public.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
- a. In general, the proposed Amended PIP is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - b. Specific to this site, the proposed Amended PIP is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 - c. The proposed Amended PIP in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 - d. The proposed Amended PIP maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 - e. The proposed Amended PIP is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
 - f. The potential public benefits of the proposed Amended PIP outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation on the proposed Conditional Use Permit:

1. Staff recommends that the Plan Commission recommend approval of the proposed Amended PIP as submitted.
2. Staff recommend the Plan Commission adopt the *affirmative set of findings* provided above.

APPLICATION FOR PRECISE IMPLEMENTATION PLAN OR AMENDMENT

City of Lake Geneva

Site Address/Parcel No. and full Legal Description required (attach separate sheet if necessary):

ZSB 00332, ZSB 00333, ZSBE 00785, ZSBE 00928

Name and Address of Current Owner: Bloomfield Holdings LLC

875 Townline Road, Unit 103, Lake Geneva, WI 53147

Telephone No. with area code & Email of Current Owner:

262.248.5010

Owner Signature: _____

Name and Address of Applicant:

City of Lake Geneva

626 Geneva Street, Lake Geneva, IL

Telephone No. with area code & Email of Applicant: 262.248.3911

cityadmin@cityoflakegeneva.gov

Proposed Use:

Amend Precise Implementation Plan. The amendment is to allow for a gravel surface on the
proposed recreational trails. The approved PIP allowed for only mulch or natural ground
cover.

Zoning District in which land is located: Planned Development

Names and Addresses of architect, professional engineer and contractor of project:

Short statement describing activities to take place on site:

Recreational paths to be surfaced with gravel instead of the approved mulch or native
ground cover.

PIP fee \$450.00, payable upon filing application.

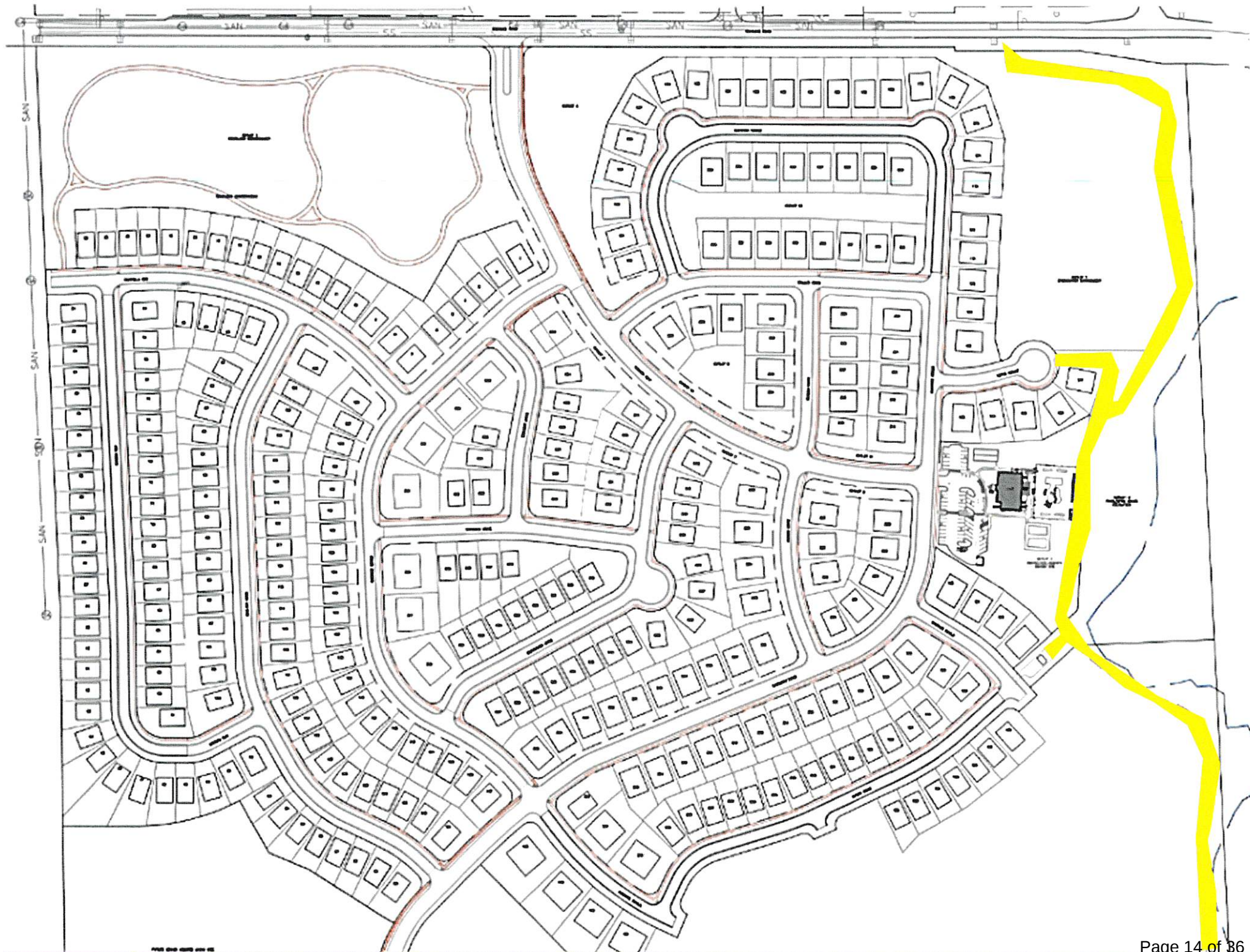
7/3/26

Date

03/03/2025

Rense Hanlon

Signature of Applicant



Memo to City of Lake Geneva

To: Renee Hanlon, Zoning Administrator **Date:** August 12, 2026

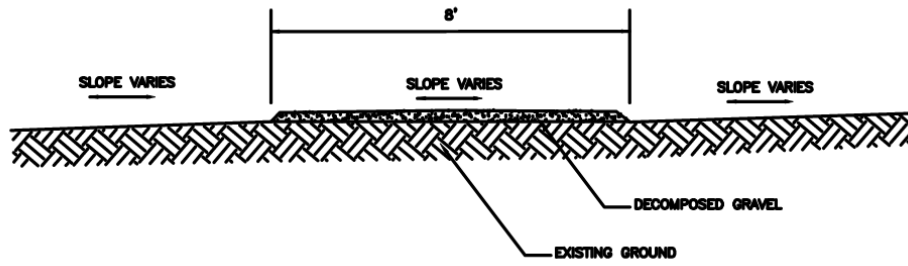
From: Naomi Rauch, P.E.
262-758-6032

CC: David De Angelis – City Administrator
Tom Earle – Director of Public Works
Dan Draper – City Attorney

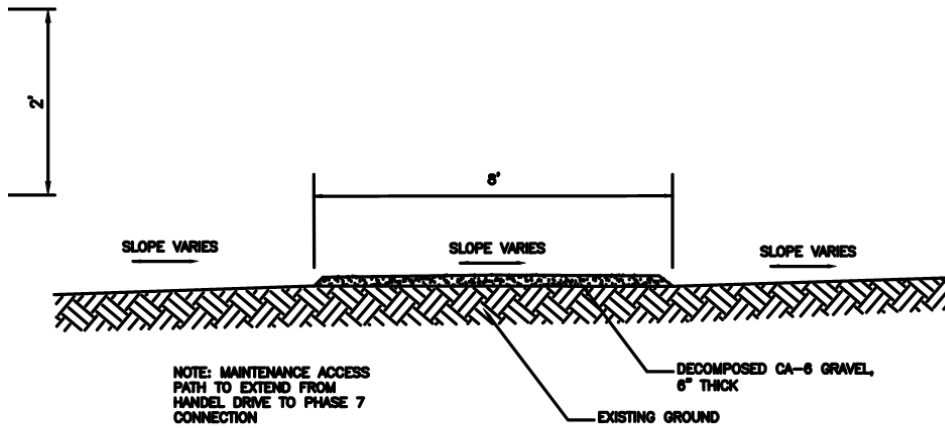
Subject: SYMPHONY BAY MULTIUSE PATH – PIP REVISION

Recent conversations have centered around a request to change the material of the multi-use path through portions of Symphony Bay from mulch or maintained native ground to gravel. The City has determined that a PIP amendment is required. The following should be considered:

1. The recommended cross-slope for adequate drainage is 2%. The grading plan for the multiuse path in the location of the proposed surface change was designed at 2% thus has appropriate cross-slope per the approved plans.
2. The approved surface of “maintained native ground” would require frequent mowing and maintenance of vegetation to prevent rills and washouts. The approved surface of “mulched path” would require frequent maintenance to replace mulch and possibly additional stabilization to prevent rills and washouts. Should the PIP amendment be approved to allow the recreational path to be gravel, there will be areas of the path where stormwater flow concentrates requiring maintenance and possibly additional stabilization overtime to prevent rills and washouts.
3. The typical recreational and maintenance path cross-sections below were approved as part of Symphony Bay Phase 8 constructions plans.



8' TYPICAL RECREATIONAL PATH DETAIL



8' TYPICAL MAINTENANCE PATH DETAIL



KAPUR & ASSOCIATES, INC.
CONSULTING ENGINEERS
1224 S. PINE STREET
BURLINGTON, WI 53106
Phone: 262.767.2747 Fax: 262.767.2760
www.kapurengineers.com

PROJECT:
SYMPHONY BAY

LOCATION:
CITY OF LAKE GENEVA, WI

CLIENT:
taylor morrison
Planning & Consulting

RELEASE:
NOT FOR CONSTRUCTION

REVISIONS:

#	DATE	DESCRIPTION

NORTH ARROW

SCALE: N.T.S.

SEAL:

we design, we construct, we turn your vision into reality.

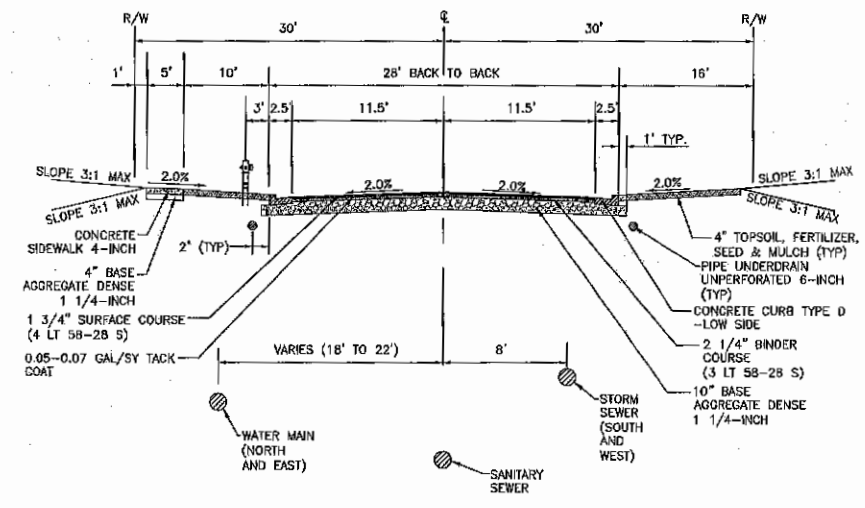
SHEET:
DETAILS SHEET

PROJECT MANAGER: **TW**

PROJECT NUMBER: **150201**

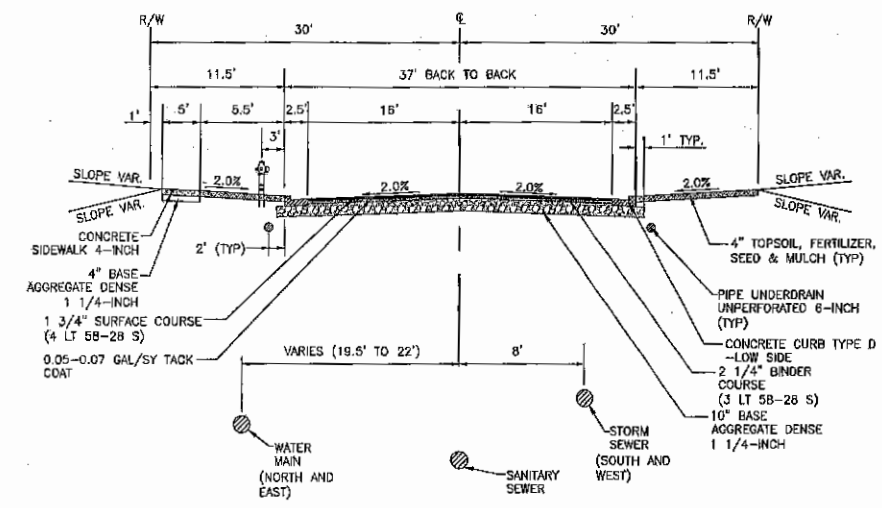
DATE: **1-22-2016**

SHEET NUMBER:
TD-2
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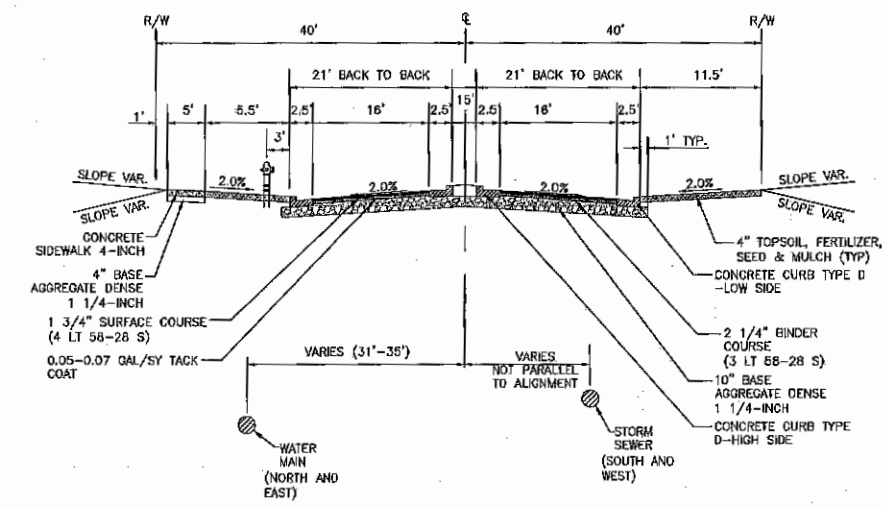
60' R.O.W. TYPICAL SECTION
MINOR STREET URBAN SECTION

BOWLING WAY, GALLANT DRIVE, CADENCE CIRCLE, SOPRANO DRIVE, BEETHOVEN DRIVE, DEBUSSY DRIVE, ROSSINI DRIVE, CANON DRIVE, BALLAD DRIVE, TENOR COURT, AND HARMONY DRIVE (STA 225+03.35 TO STA 242+22.77)



60' R.O.W. TYPICAL SECTION
COLLECTOR STREET URBAN SECTION

HARMONY DRIVE (STA 204+60.53 TO STA 225+03.35), SONATA WAY



80' R.O.W. TYPICAL SECTION
BOULEVARD SECTION

HARMONY DRIVE (STA 201+95.54 TO STA 230+58.03), SONATA WAY (STA 181+49.30 TO STA 182+60.31)

GENERAL NOTES

GENERAL CONSTRUCTION

THE LOCATIONS OF EXISTING AND PROPOSED UTILITY INSTALLATIONS AS SHOWN ON THE PLANS ARE APPROXIMATE. THERE MAY BE OTHER UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

THE CONTRACTOR SHALL NOTIFY DIGGERS HOTLINE AND AFFECTED UTILITIES PRIOR TO THE START OF WORK.

NO TREES OR SHRUBS ARE TO BE REMOVED WITHOUT APPROVAL OF THE ENGINEER.

SIGN LAYOUTS SHALL BE IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND ANY LOCAL CODES AND ORDINANCES.

THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PLAN FOR ENGINEER'S REVIEW AND APPROVAL ON TOWNLIN ROAD AND BLOOMFIELD ROAD PRIOR TO CONSTRUCTION.

ALL SIGNS & SIGN POSTS REMOVED SHALL BE DELIVERED TO THE CITY OF LAKE GENEVA.

UTILITY CONSTRUCTION

INSTALLATION, MATERIALS, & TESTING PER PROJECT SPECS & STANDARD SPECS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN.

PRIOR TO ORDERING DRAINAGE PIPES AND STRUCTURES, THE CONTRACTOR SHALL VERIFY RELATED DRAINAGE INFORMATION IN THE PLAN WITH THE ENGINEER.

UTILITY TRENCH BACKFILL SHALL BE MECHANICALLY COMPACTED WITH BACKHOE AND VIBRATORY COMPACTOR ATTACHMENT, OR METHOD APPROVED BY ENGINEER. GRANULAR BACKFILL IS TO BE USED WITHIN AND 3 FEET BEYOND ROADWAY LIMITS AND WITHIN AND 2 FEET BEYOND SIDEWALK AND SPOIL BACKFILL MAY BE USED OUTSIDE THE ROADWAY LIMITS, AS DIRECTED BY ENGINEER.

CONCRETE CONSTRUCTION

EXPANSION JOINTS ARE TO BE CONSTRUCTED AT ALL RADIUS POINTS IN CURB AND GUTTER ADJACENT TO ASPHALTIC PAVEMENT.

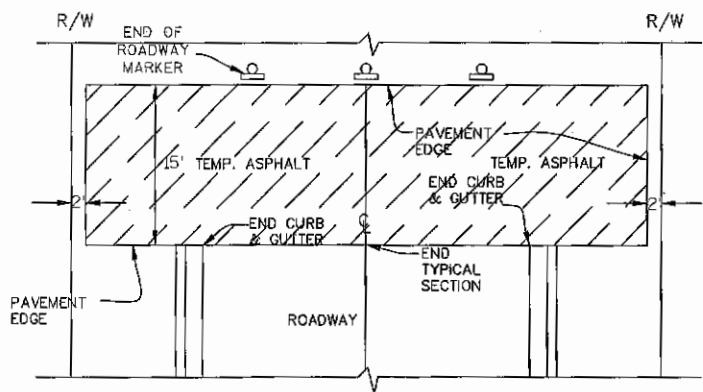
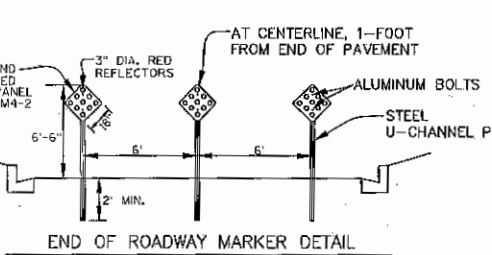
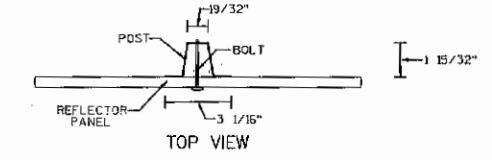
CONCRETE CURB AND GUTTER JOINT SPACING SHALL BE 10 FEET UNLESS AUTHORIZED BY THE ENGINEER.

ASPHALT CONSTRUCTION

A SAWED JOINT IS REQUIRED WHERE NEW ASPHALTIC CONCRETE SURFACES MEET EXISTING ASPHALTIC CONCRETE SURFACES.

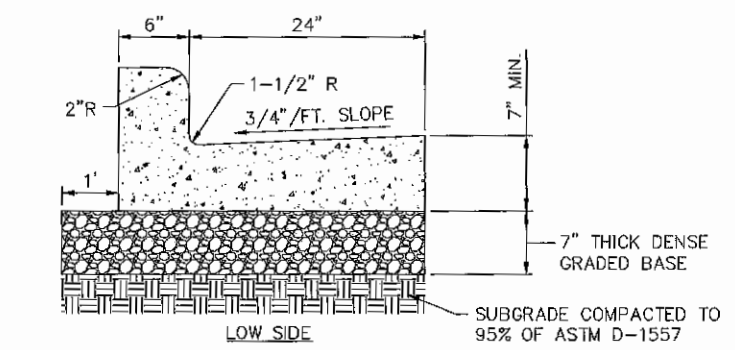
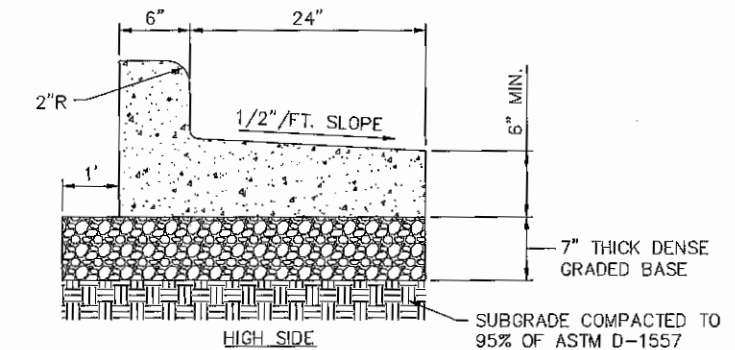
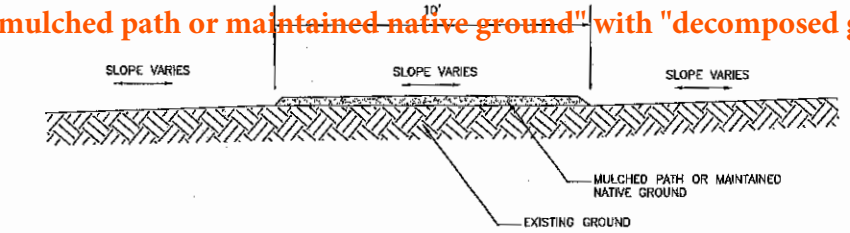
TACK COAT SHALL BE PLACED AT AN APPLICATION RATE BETWEEN 0.050 AND 0.070 GALLONS PER SQUARE YARD AND WILL BE PLACED BETWEEN LAYERS OF ASPHALTIC PAVEMENT.

Replace "mulched path or maintained native ground" with "decomposed gravel"



ROADWAY	END TYP. SECTION	END TEMP. ASPHALT
CADENCE CIRCLE	151+03.29	151+18.29
CADENCE CIRCLE	171+01.56	171+16.56
CAPELLA WAY	77+70.00	77+85.00
BRITTEN DRIVE	40+36.50	40+51.50

TEMP. ASPHALT IS 3" 3 LT 58-28 S OVER 8" BASE AGGREGATE DENSE 1 1/4-INCH



CONCRETE CURB TYPE D

PROJECT:
**SYMPHONY BAY
PHASE 7**

LOCATION:
**CITY OF LAKE
GENEVA, WI**

CLIENT:
FAIRWYN

RELEASE:
**CONSTRUCTION
SET**

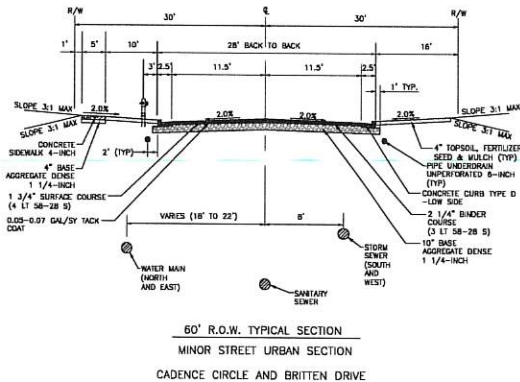
#	DATE	DESCRIPTION
1	8/22	CITY SUBMITTAL
2	11/12	CITY SUBMITTAL
3	11/12	CITY SUBMITTAL



SHEET:
DETAILS

PROJECT MANAGER: **DM**
PROJECT NUMBER: **150201**
DATE: **6-25-22**

SHEET NUMBER:
1.1



GENERAL NOTES

GENERAL CONSTRUCTION

THE LOCATIONS OF EXISTING AND PROPOSED UTILITY INSTALLATIONS AS SHOWN ON THE PLANS ARE APPROXIMATE. THERE MAY BE OTHER UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

THE CONTRACTOR SHALL NOTIFY DIGGERS HOTLINE AND AFFECTED UTILITIES PRIOR TO THE START OF WORK.

NO TREES OR SHRUBS ARE TO BE REMOVED WITHOUT APPROVAL OF THE ENGINEER.

SIGN LAYOUTS SHALL BE IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND ANY LOCAL CODES AND ORDINANCES.

ALL SIGNS & SIGN POSTS REMOVED SHALL BE DELIVERED TO THE CITY OF LAKE GENEVA.

NO CONSTRUCTION PARKING OR STAGING SHALL BE PERMITTED ON ADJACENT IMPROVED STREETS.

CONSTRUCTION TRAFFIC SHALL BE LIMITED TO THE SHORTEST ROUTE TO ACCESS THE SITE AND NO THROUGH CONSTRUCTION TRAFFIC SHALL BE PERMITTED.

UTILITY CONSTRUCTION

INSTALLATION, MATERIALS, & TESTING PER PROJECT SPECS & STANDARD SPECS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN.

PRIOR TO ORDERING DRAINAGE PIPES AND STRUCTURES, THE CONTRACTOR SHALL VERIFY RELATED DRAINAGE INFORMATION IN THE PLAN WITH THE ENGINEER.

UTILITY TRENCH BACKFILL SHALL BE MECHANICALLY COMPACTED WITH BACKHOE AND VIBRATORY COMPACTOR ATTACHMENT, OR METHOD APPROVED BY ENGINEER. GRANULAR BACKFILL IS TO BE USED WITHIN AND 3 FEET BEYOND ROADWAY LIMITS AND WITHIN AND 2 FEET BEYOND SIDEWALK AND SPOIL BACKFILL MAY BE USED OUTSIDE THE ROADWAY LIMITS, AS DIRECTED BY ENGINEER.

CONCRETE CONSTRUCTION

EXPANSION JOINTS ARE TO BE CONSTRUCTED AT ALL RADIUS POINTS IN CURB AND GUTTER ADJACENT TO ASPHALTIC PAVEMENT.

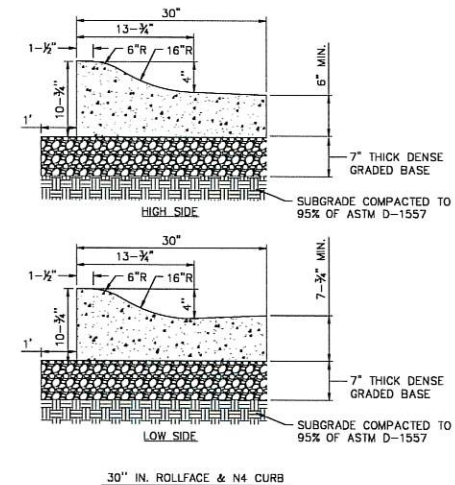
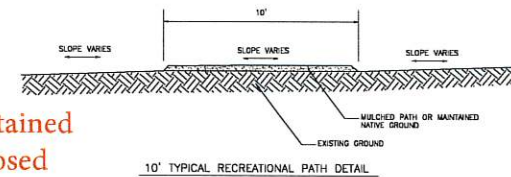
CONCRETE CURB AND GUTTER JOINT SPACING SHALL BE 10 FEET UNLESS AUTHORIZED BY THE ENGINEER.

ASPHALT CONSTRUCTION

A SAWED JOINT IS REQUIRED WHERE NEW ASPHALTIC CONCRETE SURFACES MEET EXISTING ASPHALTIC CONCRETE SURFACES.

TACK COAT SHALL BE PLACED AT AN APPLICATION RATE BETWEEN 0.050 AND 0.070 GALLONS PER SQUARE YARD AND WILL BE PLACED BETWEEN LAYERS OF ASPHALTIC PAVEMENT.

Replace "mulch path or maintained native ground" with "decomposed gravel."



RESOLUTION OF THE PLAN COMMISSION			
Resolution recommending to the Common Council an Amended Planned Development – Precise Implementation Plan (PIP) application filed by City of Lake Geneva, 626 Geneva Street, Lake Geneva, WI to allow the use of decomposed gravel as the base material for the recreational paths located in Symphony Bay Phases 5 and 7, Tax Key Nos. No. ZSB 00332, ZSB 00333, ZSBE 00785, ZSBE 00928			
Committee:	N/A		
Fiscal Impact:	N/A		
File Number:	PC-2026-042	Date:	August 17, 2026

WHEREAS, the City of Lake Geneva Plan Commission has considered an Amended Planned Development – Precise Implementation Plan application filed by City of Lake Geneva, 626 Geneva Street, Lake Geneva, WI to allow the use of decomposed gravel as the base material for the recreational paths located in Symphony Bay Phases 5 and 7, Tax Key Nos. No. ZSB 00332, ZSB 00333, ZSBE 00785, ZSBE 00928, and

WHEREAS, the Plan Commission held a Public Hearing thereon pursuant to proper notice given on August 17, 2026, and

WHEREAS, the Plan Commission made the following findings of fact:

1. In general, the proposed amended PIP is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
2. Specific to this site, the proposed amended PIP is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
3. The proposed amended PIP in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
4. The proposed amended PIP maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
5. The proposed amended PIP is located in an area that will be adequately served by and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed amended PIP outweigh all potential adverse impacts of the proposed PIP after taking into consideration the Applicant's proposal and any requirements

recommended by the Applicant to ameliorate such impacts, and

NOW, THEREFORE, BE IT RESOLVED, that the Plan Commission hereby recommends approval to the Common Council of the Amended Planned Development – Precise Implementation Plan application filed by City of Lake Geneva, 626 Geneva Street, Lake Geneva, WI to allow the use of decomposed gravel as the base material for the recreational paths located in Symphony Bay Phases 5 and 7, Tax Key Nos. No. ZSB 00332, ZSB 00333, ZSBE 00785, ZSBE 00928, per the findings of fact stated above.

Recommended to the Common Council of the City of Lake Geneva this 17st day of August 2026.

PC Action: ☐ **Adopted** ☐ **Failed** **Vote** _____

Mayoral Action: ☐ **Accept** ☐ **Veto**

Todd Krause, Plan Commission Chair Date

Attest:

Amanda Rotondi, Building & Zoning Clerk Date



STAFF REPORT
Lake Geneva Plan Commission
Meeting Date: August 17, 2026

Applicant:
City of Lake Geneva
626 Geneva Street
Lake Geneva, WI

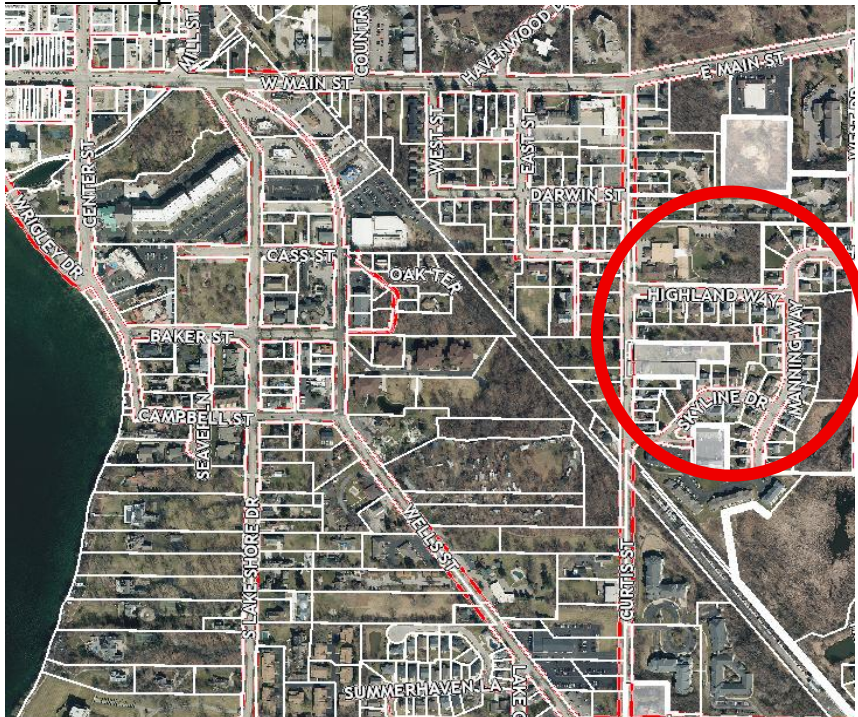
Request:
Transfer Annexation Strip to Adjacent
Homeowners
Highlands of Lake Geneva Subdivision

Summary Description:

The property developed as Highlands of Lake Geneva Subdivision was annexed into the city in the early 2000's. The final plat of subdivision included an annexation strip that was addressed by resolution 06-R28 (attached). The resolution set forth the following with respect to the annexation strip: "The "Annexation Strips" shown as unplatted ten foot (10') wide land parcels on the Final Plat of the Highlands of Lake Geneva shall be conveyed by the Owner to the City of Lake Geneva, at no cost to the City. It is anticipated that, at a future time to be determined in the sole discretion of the City, these Annexation Strips will be conveyed by the City to the Owners of the lots in The Highlands of Lake Geneva to which they are adjacent; provided, however, that the northerly four feet (4') of that part of the Annexation Strip bordering the north lot lines of lots 39, 40, 41, 42, and 43 of The Highlands of Lake Geneva Subdivision, will be conveyed to the property owner to the north of said lots (currently known as "The Twins on Curtis").

Having determined that the Annexation Strip is of no public use, the City proposes making the conveyance of this property to the adjacent homeowners as prescribed.

Location Map



Staff Recommendation:

1. Staff recommend that the Plan Commission recommend approval of the application.
2. Kapur Engineering staff also reviewed for compliance and recommend approval.

681124

EXHIBIT A

Cab D

Slide 52-54



BASIS OF BEARINGS
WEST LINE SW 1/4 SECTION 32-2-18
BEARS N00°21'37"E (ASSUMED)

FINAL PLAT THE HIGHLANDS OF LAKE GENEVA

Part of the Northwest Quarter of the Southwest Quarter of Section 31, To
East of the Third Principal Meridian, in the City of Lake Geneva, in Wisconsin

Split 10-ft (6-ft to south lots and 4-ft to north lot) per conditional use

681124
Filed
JUNE 30, 2006 AT 02:35PM
COUNTY OF WAUKESHA
REGISTER OF DEEDS
WORTH COUNTY, WI
Fee Amount: \$38.00

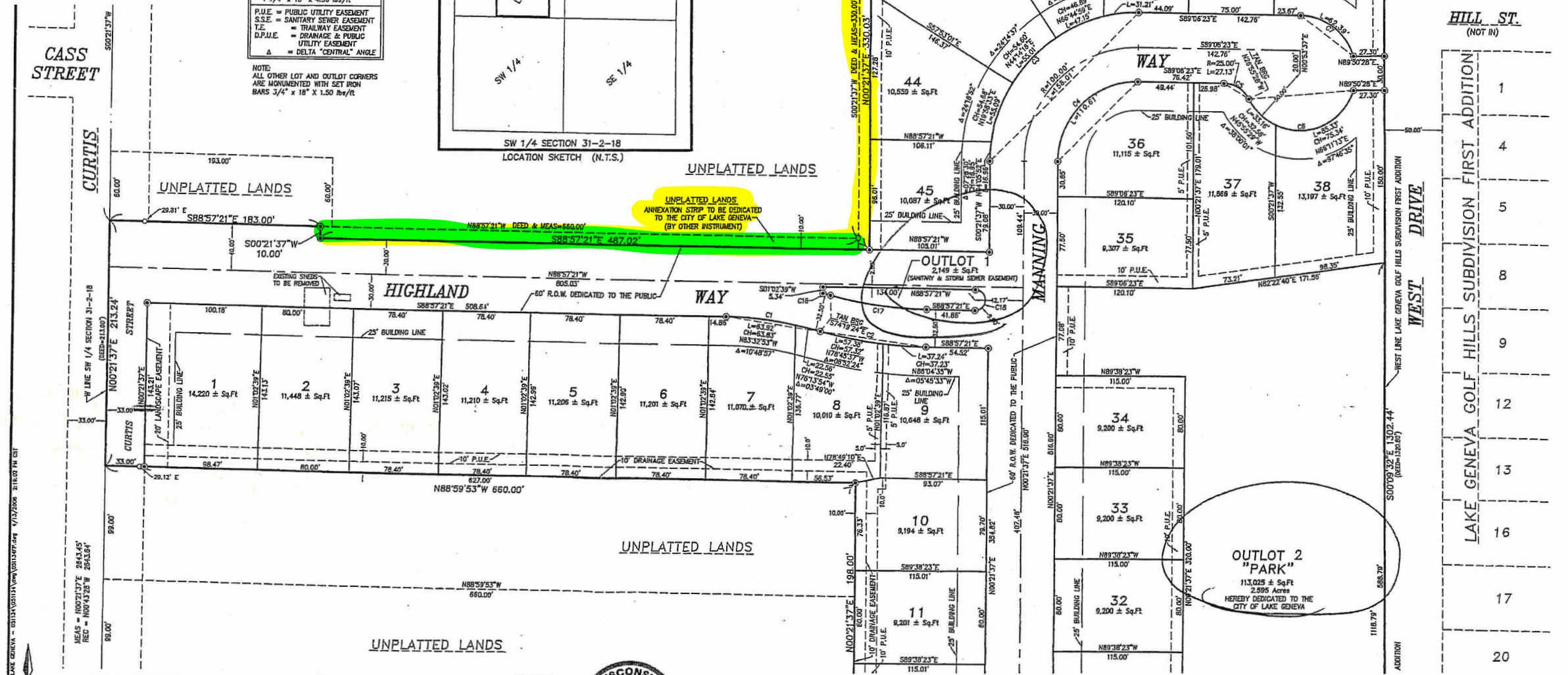
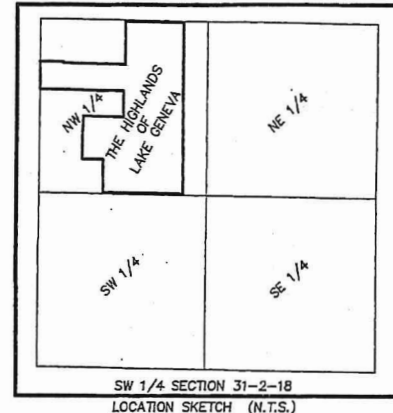
There are no objections to this plat with respect to
s. 236.15, 236.16, 236.20 and 236.21 (1) and (2), Wis.
Stats. as provided by s. 236.12, Wis. Stats.
Certified *June 27th* 20 *06*
Renee M. Doney
Department of Administration

City to give back by Quick Claim Deed
City to keep

LEGEND

● FOUND IRON BAR 5/8"
■ FOUND MONUMENT
○ FOUND IRON PIPE 3/4"
⊙ SET IRON BAR 1 1/4" x 18" x 4.30 lbs/ft
P.U.E. = PUBLIC UTILITY EASEMENT
S.S.E. = SANITARY SEWER EASEMENT
T.E. = TRAILWAY EASEMENT
D.P.U.E. = DRAINAGE & PUBLIC UTILITY EASEMENT
Δ = DELTA "CENTRAL" ANGLE

NOTE: ALL OTHER LOT AND OUTLOT CORNERS ARE MONUMENTED WITH SET IRON BARS 3/4" x 18" x 1.50 lbs/ft

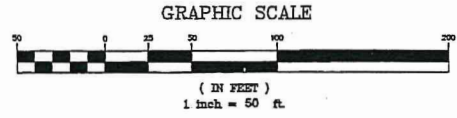


CLIENT: MRM LAND REFINEMENT
DRAWN BY: KDD CHECKED BY: WJV
SCALE: 1"=100' SEC. 31 T. 02 R. 18 E.
BASIS OF BEARING: ASSUMED
P.L.N.: LYONS TWP. WAUKESHA COUNTY
JOB NO.: 051134FP I.D. FP
FIELDWORK COMP.: BE. PG.
ALL DISTANCES SHOWN IN FEET AND DECIMAL
PARTS THEREOF CORRECTED TO 68° F.

SURVEYOR SEAL
DATED THIS 28TH DAY OF MARCH, 2006
William J. Vanderstappen
WILLIAM J. VANDERSTAPPEN
WISCONSIN REGISTERED LAND SURVEYOR, NO. 1777



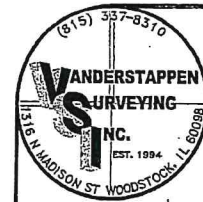
Revised this 28th day of June, 2006.



REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	4/12/06	PER REVIEW LETTER DATED 4/7/06	APG
2	5/30/06	RELEASE TO PLAT REVIEW	XD
3	6/19/06	REVISE PER PLAT REVIEW MEMO OF 6/16/06	XD

THE HIGHLANDS OF LAKE GENEVA SHEET NO. 1 OF 3

Cab D Slide 53



BASIS OF BEARINGS
WEST LINE SW 1/4 SECTION 32-2-18
BEARS N00°21'37"E (ASSUMED)

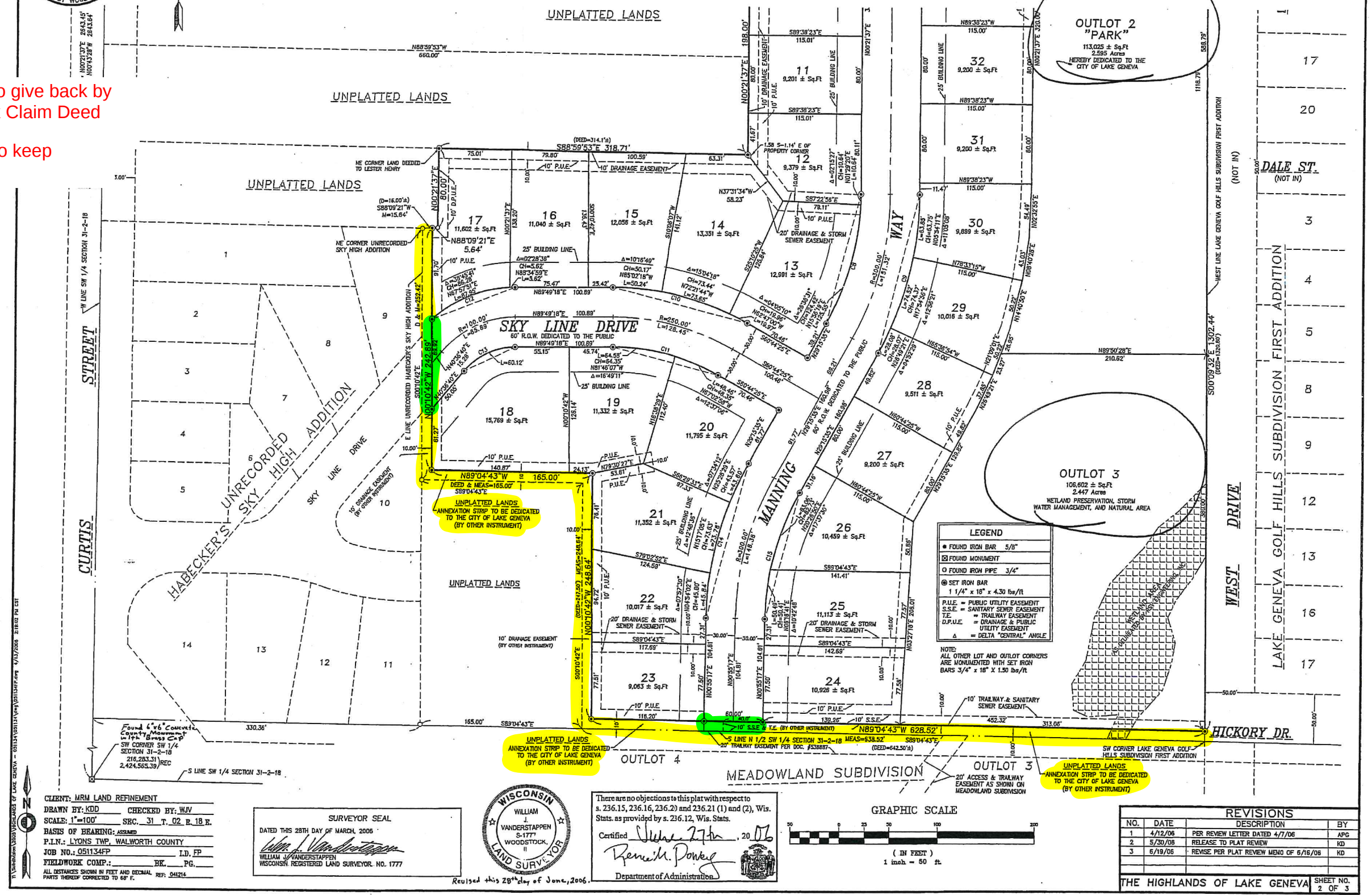
FINAL PLAT

THE HIGHLANDS OF LAKE GENEVA

Part of the Northwest Quarter of the Southwest Quarter of Section 31, Township 2 North, Range 18
East of the Third Principal Meridian, in the City of Lake Geneva, in Walworth County, Wisconsin.

City to give back by
Quick Claim Deed

City to keep

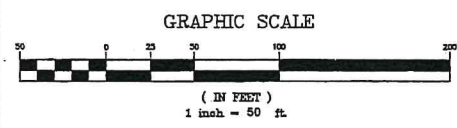


CLIENT: MRM LAND REFINEMENT
DRAWN BY: KDD CHECKED BY: WJV
SCALE: 1"=100' SRC: 31 T. 02 R. 18 E.
BASIS OF BEARING: ASSUMED
P.L.N.: LYONS TWP. WALWORTH COUNTY
JOB NO.: 051134FP I.D. FP
FIELDWORK COMP.: BK. PG.
ALL DISTANCES SHOWN IN FEET AND DECIMAL FEET. 04/21/06
PARTS THEREOF CORRECTED TO 68° F.

SURVEYOR SEAL
DATED THIS 28TH DAY OF MARCH, 2005
William J. Vanderstappen
WILLIAM J. VANDERSTAPPEN
S-1777
WISCONSIN REGISTERED LAND SURVEYOR NO. 1777



There are no objections to this plat with respect to
s. 236.15, 236.16, 236.20 and 236.21 (1) and (2), Wis.
Stats. as provided by s. 236.12, Wis. Stats.
Certified *June 27th*, 2006
Renée M. Poney
Department of Administration



REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	4/12/06	PER REVIEW LETTER DATED 4/7/06	APG
2	5/20/06	RELEASE TO PLAT REVIEW	KD
3	6/19/06	REVISE PER PLAT REVIEW MEMO OF 6/16/06	KD

THE HIGHLANDS OF LAKE GENEVA SHEET NO. 2 OF 3

Cab D Slide 54



FINAL PLAT

THE HIGHLANDS OF LAKE GENEVA

Part of the Northwest Quarter of the Southwest Quarter of Section 31, Township 2 North, Range 18 East of the Third Principal Meridian, in the City of Lake Geneva, in Walworth County, Wisconsin.

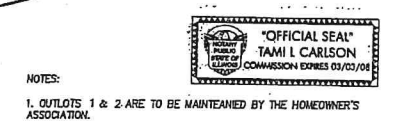
OWNER'S CERTIFICATE OF DEDICATION

STATE OF ILLINOIS)) S.S.
COUNTY OF MCHEMRY)
MRM Land Refinement, an Illinois General Partnership, as owner, does hereby certify that they have caused the land described on this Plat to be surveyed, divided, mapped and dedicated as represented on this Plat.
_____ does further certify that this Plat is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection:
Wisconsin Department of Administration
City of Lake Geneva, Wisconsin

Mike Reschke
Mike Reschke, MRM Land Refinement

NOTARY CERTIFICATE

STATE OF ILLINOIS)) S.S.
COUNTY OF MCHEMRY)
I, Tami L. Carlson, a Notary Public in and for the County and State aforesaid, do hereby certify that Michael R. Reschke, personally known to me to be the same person(s) whose name(s) are subscribed to the foregoing instrument as such owner(s) appeared before me this day in person and acknowledged that he (they) signed and delivered the annexed plat as his (their) own free and voluntary act of said company for the uses and purposes therein set forth.
Given under my hand and Notarial Seal, this 28th day of JUNE, A.D., 2006.
Tami L. Carlson 3/3/08
Notary Public My Commission Expires



NOTES:
1. OUTLOTS 1 & 2 ARE TO BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.

COUNTY TREASURER'S CERTIFICATE

State of Wisconsin)) S.S.
County of Walworth)
I, Kathy DuBois, being duly elected, qualified and acting Treasurer of the County of Walworth, do hereby certify that the records in my office show no unredeemed tax sales and no unpaid taxes or special assessments as of
June 30, 2006 affecting lands included in The Highlands of Lake Geneva.

Dated June 30, 2006
Kathy DuBois
Walworth County Treasurer

CITY TREASURER CERTIFICATE

State of Wisconsin)) S.S.
County of Walworth)
I, Germaine Clifford, being duly elected, qualified and acting Treasurer of the City of Lake Geneva, do hereby certify that in accordance with the records in my office, there are no unpaid taxes or unpaid special assessments as of
6-28-06 on any land included in the Plat of The Highlands of Lake Geneva.

Dated 6-28-06
Germaine Clifford
City Treasurer

SURVEYORS NOTES:

- 1) Direct access from Lot 1 to Curtis Street is prohibited.
- 2) Access from any Lots to West Drive shall be prohibited.

CITY ENGINEER'S CERTIFICATE

State of Wisconsin)) S.S.
County of Walworth)
I, Douglas J. Muehl, City Engineer of the City of Lake Geneva, do hereby certify that the land improvements described in this final plat and plans and specifications therefor and street names shown in said plat meet the requirements of the City of Lake Geneva and have been approved by all public authorities having jurisdiction.

Dated June 30, 2006 Day of June, 2006
Douglas J. Muehl
City Engineer

PLAN COMMISSION CERTIFICATE

State of Wisconsin)) S.S.
County of Walworth)
Approved this 29 day of June, 2006
Sheldon O. Shapiro
Chairperson

CITY COUNCIL RESOLUTION CERTIFICATE

Resolved, that the plat of The Highlands of Lake Geneva, in the City of Lake Geneva, Wisconsin, is approved by the City Council.
Larry Magee V.P.
President of the City Council
I hereby certify that the foregoing is a true copy of a resolution duly adopted by the City Council of the City of Lake Geneva, Wisconsin, on the 17 day of April, 2006.
Sheldon O. Shapiro
City Clerk

CONSENT OF MORTGAGEE:

I, FIRST NATIONAL BANK OF MCHENRY, mortgagee of the above-described land, do hereby consent to the surveying, dividing, mapping and dedication of the land described on this plat, and I do hereby consent to the above Certificate of MRM Land Refinement, owner.

Witness the hand and seal of FIRST NATIONAL BANK OF MCHENRY mortgagee,
this 28th day of JUNE, 2006.
In the presence of:
Phil Q. Bantman
LIKE CHAIRMAN (Seal)

Mortgagee

State of ILLINOIS)) S.S.
COUNTY OF MCHEMRY)
Personally came before me this 28th day of JUNE, 2006, the above named PHILIP Q. BANTMAN to me known to be the person who executed the foregoing instrument and acknowledged the same.
(Notary Seal) Nancy A. Smith
Notary Public, McHenry County, Wisconsin, Illinois
My commission expires 10/25/17

There are no objections to this plat with respect to s. 236.15, 236.16, 236.20 and 236.21 (1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.
Certified June 27th, 2006
Renée M. Pong
Department of Administration

SURVEYOR'S CERTIFICATE

I, William J. Vanderstappen, Wisconsin Registered Land Surveyor, hereby certify that I have surveyed, divided and mapped The Highlands of Lake Geneva, located in part of the Southwest Quarter of Section 31, Township 2N, Range 18E, City of Geneva, County of Walworth, State of Wisconsin.

That I have made such survey, land-division and plat by the direction of MRM Land Refinement, owner of said land, containing 20.31 acres and being described as follows:

Part of the Northwest Quarter of the Southwest Quarter of Section 31, Township 2 North, Range 18 East of the Third Principal Meridian, described as follows: Commencing at the Northwest corner of said Southwest Quarter; thence South 00 degrees 21 minutes 37 seconds West along the West line thereof 328.27 feet to the Place of Beginning; thence South 88 degrees 57 minutes 21 seconds East 183.00 feet; thence South 00 degrees 21 minutes 37 seconds West along a line parallel with the West line of said Southwest Quarter 10.00 feet; thence South 88 degrees 57 minutes 21 seconds East 487.02 feet to a line 670.00 feet East of the West line of said Southwest Quarter (as measured along the North line thereof); thence North 00 degrees 21 minutes 37 seconds East along a line parallel with the West line of said Southwest Quarter 330.03 feet to a line 10.00 feet South of and parallel with the North line of said Southwest Quarter; thence South 89 degrees 05 minutes 23 seconds East along a line 10.00 feet South of and parallel with said North line of said Southwest Quarter 451.99 feet to the West line of Lake Geneva Golf Hills Subdivision First Addition according to the plat thereof recorded December 20, 1946 as document number 394665; thence South 00 degrees 09 minutes 32 seconds East along said West line 1302.44 feet to a line 10.00 feet North of the South line of the North Half of said Southwest Quarter; thence North 89 degrees 04 minutes 43 seconds West along a line 10.00 feet North of and parallel with said South line of said North Half of said Southwest Quarter 628.52 feet; thence North 00 degrees 10 minutes 42 seconds West along a line parallel with the East line of the unrecorded plat of Hobecker's Sky High Addition 248.64 feet; thence North 89 degrees 04 minutes 43 seconds West along a line parallel with said South line of said North Half of said Southwest Quarter 165.00 feet to a line 10.00 feet East of said East line of said unrecorded plat; thence North 00 degrees 10 minutes 42 seconds West along a line 10.00 feet East of and parallel with said East line 242.89 feet; thence North 88 degrees 09 minutes 21 seconds East 5.84 feet; thence North 00 degrees 21 minutes 37 seconds East along a line parallel with the West line of said Southwest Quarter 80.00 feet to the Northeast corner of land deeded to Lester Henry; thence South 88 degrees 59 minutes 53 seconds East 318.71 feet; thence North 00 degrees 21 minutes 37 seconds East along a line parallel with said West line of said Southwest Quarter 198.00 feet; thence North 88 degrees 59 minutes 53 seconds West 660.00 feet to said West line of said Southwest Quarter; thence North 00 degrees 21 minutes 37 seconds East along said West line 213.24 feet to the Place of Beginning, in Walworth County, Wisconsin.

That such Plat is correct representation of all of the exterior boundaries of the land surveyed and the Subdivision thereof made.

That I have fully complied with provisions of Chapter 236 of the Wisconsin Statutes and the Subdivision regulations of the City of Lake Geneva, Wisconsin, in surveying, dividing, and mapping the same.

Dated this 24th day of March, 2006.

William J. Vanderstappen
William J. Vanderstappen
Wisconsin Registered Land Surveyor No. S-1777

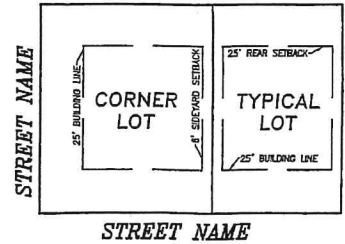
RECORDER'S CERTIFICATE

STATE OF WISCONSIN)) S.S.
COUNTY OF WALWORTH)
This instrument filed for record in the Recorder's Office of Walworth County, Wisconsin, on this _____ day of _____, 20____ A.D., at _____ o'clock _____ M. and recorded as
Document Number _____
Walworth County Recorder

CURVE TABLE						
CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA ANGLE	TANGENT
C1	R=338.63	L=85.48	86.25	N81°38'23"W	143°57'	43.48
C2	R=370.50	L=94.62	94.36	S81°38'23"E	143°57'	47.57
C3	R=130.00	L=205.41	184.70	S45°37'37"W	90°32'00"	131.22
C4	R=70.00	L=110.51	99.45	S45°37'37"W	90°32'00"	70.65
C5	R=25.00	L=27.13	25.82	N58°00'58"W	62°10'55"	15.08
C6	R=30.00	L=118.49	82.65	N85°11'14"E	135°46'36"	123.05
C7	R=50.00	L=82.39	58.42	N53°21'41"W	71°29'24"	33.99
C8	R=270.00	L=136.19	134.75	N14°48'38"E	28°53'58"	69.57
C9	R=330.00	L=166.45	164.69	N14°48'38"E	28°53'58"	85.04
C10	R=280.00	L=143.86	142.28	N75°27'34"W	28°28'17"	73.58
C11	R=220.00	L=113.03	111.80	N75°27'34"W	28°28'17"	57.79
C12	R=130.00	L=83.57	81.56	S89°12'09"W	41°41'17"	48.91
C13	R=70.00	L=40.12	38.29	S89°12'09"W	49°12'38"	32.05
C14	R=330.00	L=163.22	161.56	S15°02'28"W	28°20'18"	83.31
C15	R=270.00	L=133.54	132.18	S15°02'28"W	28°20'18"	68.17
C16	R=371.13	L=96.96	96.96	N74°51'39"W	104°30'	3.48
C17	R=338.00	L=86.32	86.09	N81°38'23"W	143°57'	43.40
C18	R=9.00	L=28.27	18.00	S01°02'39"W	180°00'00"	INFINITE

CLIENT: MRM LAND REFINEMENT
DRAWN BY: KOD CHECKED BY: WJV
SCALE: 1"=100' SEC. 31 T. 02 R. 18 E.
BASIS OF BEARING: ASSESS
P.I.N.: LYONS TWP. WALWORTH COUNTY
JOB NO.: 051134FP L.D. FP
FIELDWORK COMP. BY: PG.
ALL DIMENSIONS SHOWN IN FEET AND DECIMAL PARTS HERETO CORRECTED TO 2ND F.

SURVEYOR SEAL
DATED THIS 28TH DAY OF MARCH, 2006
William J. Vanderstappen
WISCONSIN REGISTERED LAND SURVEYOR NO. 1777



REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	4/12/06	PER REVIEW LETTER DATED 4/7/06	APG
2	5/30/06	RELEASE TO PLAT REVIEW	KD
3	6/19/06	REVISE PER PLAT REVIEW MEMO OF 6/16/06	KD

THE HIGHLANDS OF LAKE GENEVA SHEET NO. 3 OF 3

Zyup00190

681123



CONDITIONAL USE PERMIT
RESOLUTION

Document Number

Document Title

Recorded

JUNE 30, 2006 AT 02:32PM

CONNIE J WOOLEVER

REGISTER OF DEEDS

WALWORTH COUNTY, WI

Fee Amount: \$19.00

Recording Area

Name and Return Address

City of Lake Geneva

626 Geneva Street

Lake Geneva, WI 53147

19.00

ZYUP000190

Parcel Identification Number (PIN)

This information must be completed by submitter: document title, name & return address, and PIN (if required). Other information such as the granting clause, legal description, etc. may be placed on this first page of the document or may be placed on additional pages of the document. Note: Use of this cover page adds one page to your document and \$2.00 to the recording fee. Wisconsin Statutes, 59.5127.

WRDA 2/96

**CITY OF LAKE GENEVA
RESOLUTION 06-R28**

A Resolution authorizing issuance of a Conditional Use Permit to disturb and mitigate in excess of 30% of a woodland area in order to provide sufficient storm water detention for proposed residential subdivision off of Curtis Street in the City of Lake Geneva, Wisconsin

WHEREAS, the City Plan Commission has considered the application of MRM Land Refinement, and

WHEREAS, the City Plan Commission held a Public Hearing thereon pursuant to proper notice given and has made the following finding:

1. That the premises for which application for conditional use is on Exhibit "A", attached hereto, and made a part hereof by this reference.
2. That the conditional use permit was recommended for approval by the City Plan Commission at its regular City Plan Commission Meeting held on April 17, 2006.

NOW, THEREFORE, BE IT RESOLVED, that the Zoning Administrator be, and is hereby authorized, to issue a Conditional Use Permit to MRM Land Refinement to disturb and mitigate in excess of 30% of a woodland area in order to provide sufficient storm water detention for its proposed residential subdivision located off Curtis Street, Lake Geneva, Walworth County, Wisconsin, and known as "The Highlands of Lake Geneva"; and

BE IT FURTHER RESOLVED, that approval of the said Conditional Use Permit is made subject to the following terms and conditions which must be implemented by MRM Land Refinement, its successors and assigns, as part of the development of The Highlands of Lake Geneva, Subdivision, to wit:

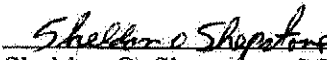
1. An earthen berm, at least three (3') feet in elevation from the existing grades, shall be constructed along the ten foot (10') wide "Annexation Strip" bordering Lots 39, 40, 41, 42 and 43 as shown as the Final Plat of The Highlands of Lake Geneva.
2. A screening of upright Juniper bushes (three per lot) shall be installed along that part of the berm bordering Lots 39, 40, 41, 42 and 43, at the sole cost of MRM Land Refinement, or its successors or assigns (the "Owner").
3. The "Annexation Strips" shown as unplatted ten foot (10') wide land parcels on the Final Plat of the Highlands of Lake Geneva shall be conveyed by the Owner to the City of Lake Geneva, at no cost to the City. It is anticipated that, at a future time to be determined in the sole discretion of the City, these Annexation Strips will be conveyed by the City to the Owners of the lots in The Highlands of Lake Geneva to which they are adjacent; provided, however, that the northerly four feet (4') of that part of the Annexation Strip bordering the north lot lines of lots 39, 40, 41, 42 and 43 of The Highlands of Lake Geneva subdivision, will be conveyed to the property owner to the north of said lots (currently known as "The Twins on Curtis").



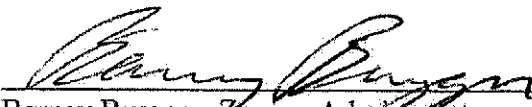
4. So long as the Annexation Strip is owned by the City, the owners of Lots 39, 40, 41, 42, and 43 of The Highlands of Lake Geneva shall, at their cost, maintain that portion of the Juniper screening located adjacent to their respective lots.

BE IT FURTHER RESOLVED, that issuance of an Occupancy Permit for the residence to be constructed on Lots 39, 40, 41, 42, and 43 shall constitute confirmation that the berm and Juniper screening have been properly installed in accordance with the requirements of this Conditional Use Permit.

Granted by action of the Common Council of the City of Lake Geneva this 8th day of May, 2006

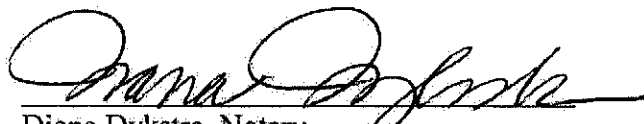

Sheldon O. Shepstone, Mayor

ATTEST:


Barney Brugger, Zoning Administrator

STATE OF WISCONSIN)
)SS
WALWORTH COUNTY)

Personally came before me this 29 day of June, 2006, the above named Sheldon Shepstone, Mayor and Barney Brugger, Zoning Administrator, to me known to be the persons who executed the foregoing instrument and acknowledged the same.


Diana Dykstra, Notary
My Commission expires: 6-10-10

ACCEPTANCE OF TERMS AND CONDITIONS BY PERMITEE

I, Michael P. Reschke, Partner, MRM Land Refinement, an Illinois general partnership, do hereby accept the terms and conditions set forth in this Permit, and realize that non-adherence to the terms and conditions as stated hereon may result in the revocation of this Permit by the City of Lake Geneva.

Dated this 30th day of June, 2006.

Owner:

MRM Land Refinement, an Illinois general partnership

By: *Michael R. Reschke*
 Print Name and Title: Michael R. Reschke, Partner

ILLINOIS
 STATE OF ~~WISCONSIN~~)
~~MC HENRY~~)SS
~~WALWORTH COUNTY~~)

Personally came before me this 30th day of June, 2006 the above named Michael R. Reschke to me known to be the Partner who executed the foregoing instrument and acknowledged the same, as the authorized act of MRM Land Refinement, an Illinois general partnership.

Print Name: TAMI L. CARLSON

Tami L. Carlson
 Signature



Notary Pubic, State of ~~Wisconsin~~ ^{ILLINOIS}
 My Commission Expires: 3/3/08

This instrument was drafted by:
 Diana Dykstra, City Clerk
 Lake Geneva WI



The land referred to in the Commitment is described as follows:

A parcel of land located in the Southwest 1/4 of Section 31, T 2 N, R 18 E, of Walworth County, Wisconsin, described as follows, to-wit: Commencing at the West 1/4 Section corner of said Section; thence East along the East-West 1/4 Section line 660 feet to the place of beginning; thence South 330 feet; thence West 660 feet, to the West line of said Section, thence South 213 feet; thence East 660 feet; thence South 198 feet; thence West 314 feet more or less to the North-east corner of land deeded to Lester Henry; thence South 80 feet; thence West 16 feet more or less to the Northeast corner of the unrecorded plat of Sky High Addition; thence South along the East line of said Addition 252.42 feet; thence East 165 feet; thence South parallel to the East line of said unrecorded addition 247.5 feet to the South line of the North 1/2 of said Southwest 1/4; thence East along said South line 642.5 feet more or less to the Southwest corner of Lake Geneva Golf Hills Subdivision First Addition; thence North along the West line of said Addition 1320.8 feet to the North line of said Southwest 1/4; thence West along said North line 477.5 feet to the place of beginning.

Tax Key No. ZYUP000190

RESOLUTION OF THE PLAN COMMISSION			
Resolution recommending to the Common Council authorizing the transfer of property located in the Highlands of Lake Geneva, Tax Key No. ZYUP 00190 to adjacent property owners as required by Condition #3 of Conditional Use Permit Resolution 06-R28.			
Committee:	N/A		
Fiscal Impact:	N/A		
File Number:	PC-2026-043	Date:	August 17, 2026

WHEREAS, the City of Lake Plan Commission has reviewed Conditional Use Permit Resolution 06-R28; and

WHEREAS, Condition #3 of Conditional Use Permit Resolution 06-R28 states the following:

“The ‘Annexation Strips’ shown as unplatted ten foot (10’) wide land parcels on the Final Plat of the Highlands of Lake Geneva shall be conveyed by the Owner to the City of Lake Geneva, at no cost to the City. It is anticipated that, at a future time to be determined in the sole discretion of the City, these Annexation Strips will be conveyed by the City to the Owners of the lots in The Highlands of Lake Geneva to which they are adjacent; provided, however, that the northerly four feet (4’) of that part of the Annexation Strip bordering the north lot lines of lots 39, 40, 41, 42, and 43 of the Highlands of Lake Geneva subdivision, will be conveyed to the property owner to the north of said lots (currently known as ‘The Twins on Curtis’)”; and

WHEREAS, the City of Lake Geneva as a governmental entity in the State of Wisconsin desires to transfer said property on behalf of the public.

NOW, THEREFORE, BE IT RESOLVED, that the Plan Commission of the City of Lake Geneva, Walworth County, Wisconsin, hereby recommends the transfer, by quit claim deed, of the “Annexation Strips” as depicted on the Final Plat of the Highlands of Lake Geneva Subdivision, Tax Key No. ZYUP 00190, in compliance with Conditional Use Resolution 06-R28 and as shown in attached Exhibit A.

Recommended by action of the Plan Commission of the City of Lake Geneva this 17st day of August, 2026.

PC Action: ☐ **Adopted** ☐ **Failed** **Vote** _____
Mayoral Action: ☐ **Accept** ☐ **Veto**

 Todd Krause, Plan Commission Chair Date

Attest:

 Amanda Rotondi, Building & Zoning Clerk Date



Staff Report

City of Lake Geneva Plan Commission

Meeting Date: August 17, 2026

Applicant:

City of Lake Geneva

Request:

Adoption of 2026 Comprehensive
Plan Amendment Public
Participation Plan

The City adopted the updated Comprehensive Plan on March 9, 2020. As a dynamic community facing a myriad of growth issues, the City regularly receives requests for Plan amendments before the next ten-year update in 2030. To provide a manageable, predictable, and cost-effective process, the City has established a single plan amendment cycle every year.

Several Wisconsin communities use an annual plan review and amendment process cycle to ensure these evaluations and adjustments are handled in a predictable and efficient manner. The City Clerk will accept applications for Plan amendments from **September 1, 2026 through September 30, 2026**. Applications will be reviewed by the Plan Commission at its October meeting.

The procedures to adopt or amend a Comprehensive Plan are defined under Section 66.1001(4), Wisconsin Statutes. The City process needs to follow these requirements. The timeline on the following page presents a proposed process to allow for plan amendment requests, consider amendments, and go through the adoption procedures in compliance with the State Statutes.

This approach features a combined meeting of the Plan Commission and Common Council.

During the meeting:

1. Common Council holds a Public Hearing on the requested Plan amendments; and
2. Plan Commission considers Plan amendment requests and public testimony, and then adopts a resolution making a specific recommendation on each of the requested Plan amendments to the Common Council.

At a subsequent meeting of the Common Council, the Council will consider the Plan Commission's recommendations, vote on motions for each requested Plan amendment, and finally, adopt an ordinance to officially adopt the Plan amendments per their individually voted motions.

This combined meeting approach allows for the Plan Commission and Council to hear the same public testimony, prior to the Plan Commission's recommendation, and the Council's actions.

City of Lake Geneva 2026 Annual Comprehensive Plan Amendment Process

Activity						
City Announces the Opening of the Plan Amendment Process	August 25, 2026					
City Clerk Accepts Plan Amendment Applications	September 1, 2026 through September 30, 2026					
Plan Commission Recommends Adoption of the Public Participation Plan		August 17, 2026				
Common Council Adopts Public Participation Plan		August 24, 2026				
Plan Commission Reviews Plan Amendment Applications and Recommends Setting Public Hearing and Amendment Approvals by Council			October 19, 2026			
Council Sets Public Hearing date (applications frozen)			October 26, 2026			
City Clerk Distributes Requested Plan Amendments to Surrounding and Overlapping Jurisdictions			November 1, 2026			
Public Review Period				November 1, 2026- November 30, 2026		
Committee of the Whole review of Amendment requests				November 2, 2026		
Joint Meeting: 1. Council Holds Public Hearing 2. Plan Commission Adopts Resolution Recommending Plan Amendments					December 21, 2026	
Council Adopts Ordinance on Recommended Plan Amendments					January 11, 2027	
City Clerk Distributes Amended Plan to Surrounding and Overlapping Jurisdictions					After Adoption	

PUBLIC PARTICIPATION STRATEGY AND PROCEDURES FOR BOTH THE REGULAR AND UNIQUE CONSIDERATION OF 2026 AMENDMENTS TO CITY OF LAKE GENEVA COMPREHENSIVE PLAN

Introduction

A key required component of Section 66.1001 of Wisconsin Statutes—the State’s comprehensive planning legislation—is actively involving community stakeholders as each local comprehensive plan is being developed, updated, or amended. Public participation helps to ensure that the resulting comprehensive plan accurately reflects the vision, goals, and values of citizens of the community.

Section 66.1001(4)(a) of Wisconsin Statutes requires the City of Lake Geneva to adopt, by resolution, written procedures designed to foster public participation at every stage in the preparation or subsequent amendment of its comprehensive plan. The written procedures must provide for wide distribution of the comprehensive plan, an opportunity for the public to submit written comments on the plan, and provisions for local response to such comments.

This document meets this statutory requirement. It serves as the procedures that will be used to consider and potentially adopt amendments to the City of Lake Geneva Comprehensive Plan under both a regular Plan review process, as well as in the instance of responding to a unique Plan amendment circumstance.

Major Goals of Public Participation Strategy

- Provide opportunities for people to participate in processes to consider and adopt amendments to the City’s comprehensive plan.
- Adopt plan amendments that reflect the ideas, desires, and objectives of most residents and property owners.
- Meet both the letter and spirit of Wisconsin’s comprehensive plan legislation.
- Use the City’s Plan Commission as a foundation for guiding the plan amendment process.
- Recognize that the goals expressed above must be balanced with the need to complete the comprehensive plan amendments within a reasonable timeframe.

Selected Public Participation Techniques

The City will, at a minimum, use the following techniques to obtain public input during the plan amendment process:

- Assure that all Plan Commission and City Council meetings to consider and adopt amendments are open to the public, and are noticed as required by state open meeting regulations.
- Provide an opportunity at each public meeting held on the plan amendments for public comment. Some meetings will be designed to encourage wide participation from the public. Other meetings are intended to be work sessions for the Plan Commission, City Council, or some combination. The public comment period will be provided at either the beginning or end of each public meeting, or at one or more other parts of the meeting at the discretion of the Plan Commission or City Council. This will allow the Commission or Council to concentrate on completing tasks without interruption, while still allowing the public an appropriate chance to observe and comment.

- Hold at least one formal public hearing on the proposed comprehensive plan amendments and the adopting ordinance prior to adoption. All members of the public will have an opportunity to present testimony and offer comments at the public hearing. The public hearing will be noticed and held per the requirements of Wisconsin Statutes, Section 66.1001.

The City may choose to provide additional public participation opportunities above and beyond the minimum opportunities described above.

Opportunities for Comments/Responses on Draft Comprehensive Plan Amendments

The City will have available copies of draft plan amendment materials at City Hall during normal business hours. The City will also provide copies of the draft and final plan amendments to adjacent and overlapping governments and non-metallic mineral interests as required by statute and to members of the participating public as requested. The City may charge for public copies an amount equal to the costs of time and materials to produce such copies.

Public comments will be solicited and responded to at every stage of the plan amendment process. Written comments on the comprehensive plan amendments may also be delivered, mailed, or emailed to the City Clerk. The City will respond to written comments via mail, email, telephone, meeting, and/or through consideration of appropriate changes to the comprehensive plan, or to the proposed amendments to the comprehensive plan.

RESOLUTION OF THE PLAN COMMISSION			
Resolution recommending the adoption of the public participation procedures for both the regular and unique consideration of 2026 amendments to the City of Lake Geneva Comprehensive Plan.			
Committee:	N/A		
Fiscal Impact:	N/A		
File Number:	PC-2026-044	Date:	August 17, 2026

WHEREAS, the City Plan Commission has considered the application for the adoption of the public participation procedures for both the regular and unique consideration of 2026 amendments to the City of Lake Geneva Comprehensive Plan;

WHEREAS, The City Plan Commission held a regular meeting thereon pursuant to proper notice given on August 17, 2026.

NOW, THEREFORE, BE IT RESOLVED, that the Plan Commission of the City of Lake Geneva hereby recommends to the Common Council the adoption of the attached “Public Participation Strategy and Procedures for Both the Regular and Unique Consideration of Amendments to City of Lake Geneva Comprehensive Plan” as required under §66.1001(4)(a), Wisconsin Statutes.

Recommended to the Common Council of the City of Lake Geneva this 17th day of August 2026.

PC Action:

☐ Adopted
 ☐ Failed

Vote _____

Mayoral Action:

☐ Accept
 ☐ Veto

Todd Krause, Plan Commission Chair

Date

Attest:

Amanda Rotondi, Building and Zoning Clerk

Date