



City of Lake Geneva, 626 Geneva St, Lake Geneva, WI 53147- 262.248.3673- www.cityoflakegeneva.com

**CITY OF LAKE GENEVA
626 GENEVA STREET
LAKE GENEVA, WI**

**PLAN COMMISSION MEETING
MONDAY, SEPTEMBER 19, 2022 - 6:00 PM
COUNCIL CHAMBERS, CITY HALL**

CITY HALL WILL BE OPEN TO THE PUBLIC DURING ALL MEETINGS.

THE CITY OF LAKE GENEVA IS HOLDING ALL MEETINGS VIRTUALLY AS WELL AS IN PERSON. IF YOU WISH TO LISTEN OR WATCH THE MEETING YOU MAY DO SO BY USING THE FOLLOWING:

1. Links to the City of Lake Geneva's live video stream can be found at <https://wi-lakegeneva.civicplus.com/319/City-Meetings-Video-Stream>
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 3. Listen to audio via phone: (602) 333-2017 (Long distance rates may apply) (888) 204-5987 (Toll Free)
- Access Code: 9746153**

AGENDA

1. Meeting called to order by Charlene Klein.
2. Roll Call.
3. Approve Minutes of the August 15, 2022 Plan Commission meeting as distributed.
4. Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will be limited to five (5) minutes.
5. Acknowledgment of Correspondence.
6. Downtown Design Review:
 - a. Application by Chanin Wynstra d.b.a. High Point Nutrition, 253 Center St. Unit 800, for a request to install an on building sign in the Central Business (CB) Downtown Design Overlay Zoning District, Tax Key No. ZOP00282.
7. Review and Recommendation of a proposed Site Plan Review for a request submitted by Aaron Hirschman, d.b.a. Plas – Tech , Avalon Property Inc., 875 Geneva Parkway, to allow site renovations as an initial phase preparations as identified on the documents prepared by Farris, Hanson, and Associates for Tax Key No. ZLGBP00010A.
8. Review and Recommendation of a proposed Extra territorial Review for a proposed land division CSM request submitted by Klanntonlinn, LLC, to create 4 buildable lots as identified on the survey generated by Paul Van Henkelum dated 8/26/2022 Job No. 22302 for Tax Key No.

9. Public Hearing and Recommendation for a Conditional Use Permit for Susan R. Jacobs, 747 & 747 ½ Ann St., Lake Geneva, to allow for the request of Commercial Indoor Lodging land use for the property located at 747 & 747 ½ Ann St., for the property in the Planned Business (PB) zoning district, Tax Key No. ZF00041.

10. Adjournment.

QUORUM OF CITY COUNCIL MEMBERS MAY BE PRESENT

Requests from persons with disabilities, who need assistance in order to participate in this meeting, should be made to the City Clerk's office, in order for appropriate Accommodations.

PLAN COMMISSION MEETING
MONDAY, AUGUST 15, 2022 – 6:00 PM
COUNCIL CHAMBERS, CITY HALL – VIRTUAL MEETING VIA ZOOM/IN PERSON

Mayor Klein called the meeting to order 6:00 p.m.

Roll Call. Present: Mayor Klein, Alderman Mary Jo Fesenmaier, John Gibbs, Kyle Cary, James Marquardt. Absent (Excused) Joel Hoiland, Cindy Forster Fueredi. Also Present: City Planner Mich, City Planner Kruesel, City Attorney Draper, City Administrator Nord, Building & Zoning Administrator Walling, Building & Zoning Administrative Assistant Follensbee.

Approve Minutes of the July 18, 2022 Plan Commission Meeting as distributed.

Gibbs/Cary motion to approve. Motion carried unanimously.

Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will be limited to 5 minutes. None

Acknowledgement of Correspondence. None.

Downtown Design Review:

Application by Venture Investments Partners LLP, 775 Southwind Dr. for a request to paint the exterior of 719 W. Main St. in the Central Business (CB) Downtown Design Overlay Zoning District, Tax Key No. ZOP00277.

Roger Wolff, 775 Southwind Drive, presented his request to paint the first floor of his building the same color as the second floor.

Klein/Fesenmaier motion to approve painting the exterior of the building and include all staff recommendations.

Roll Call: Klein, Fesenmaier, Gibbs, Cary, and Marquardt “yes.” Motion carried unanimously. 5-0.

Review and Recommendation of a proposed Site Plan Review for a request submitted by Aaron Hirschman, d.b.a. Plas – Tech, Avalon Property Inc., 875 Geneva Parkway, to allow site renovations as an initial phase preparations as identified on the documents prepared by Farris, Hanson, and Associates, for Tax Key No. ZLGBP00010A.

Peter Juergens, 2689 Sunset Blvd, Lake Geneva, representing the applicant, gave an overview of the project. Zoning Administrator Walling said this project has a couple phases but the review tonight addresses parking. City Planner Kruesel provided the initial staff review comments, explaining the site plan review can take place separately from the other items in the proposed Comprehensive Plan Amendment and will not be impacted by the other applications. This parcel is zoned Planned Business Park, PBP, and will be review under those specifications in the zoning code. Kruesel explained the site plan has two sections of proposed parking and stated there are a few areas of non-compliance in terms of the specifications of the PBP zoning: pavement set-backs and information lacking on overall minimum landscape surface ratio which is 30% for the site. The pavement setback requirement from Geneva Pkwy is 20 feet and the proposed parking on the west side of building requires 10 feet per the zoning code. To calculate the landscape surface ratio, more information is needed regarding pervious vs. impervious surface on the site plan. Juergens said he was told the setback from the west side of the building was 5 feet off the lot line and the setback was 10 feet off the roadway. Kruesel said the staff did share the information stated above with the applicant, hoping this issue would be resolved by this meeting, but the zoning district does require these pavement setbacks. Kruesel stated Site Plan modifications shall comply with the requirements listed in the zoning district, ordinance section 98-105(j). Requirements to note include: Improvements shall maintain a minimum pavement setback of ten feet from the side property line and twenty feet from the front property line (98-105(j)(4)(b) Nonresidential Bulk Requirements); A minimum Landscape Surface Ratio (LSR) of 30% shall be maintained in the PBP zoning district (98-105(j)(4)(a) Nonresidential Intensity Requirements); Improvements shall comply with stormwater requirements as noted by the City Engineer.

Alderman Fesenmaier asked if the site plan can be revised in a week for Council asked if the proposal should be continued. Juergens was confused about the suggested requirements which differs from the information given to him originally, and now will cause other issues. City Engineer Rauch said the grading plan should reflect the revised site plan

1 of 4

setbacks per the City Planner and the stormwater would be draining to the north as it is now and in the direction of the proposed detention facility in the future. Commissioner Gibbs inquired about the confusion with this application and asked Juergens how this came about. Juergens said this plan was designed according to the setbacks given to the applicant at the beginning of the project and appear to have changed. Walling referred this item back to the City Planners. City Planner Mich said Planner Kruesel presented the correct setbacks for the zoning district and stated the misunderstanding could have occurred when the applicant brought forward the new phase of the project earlier as a pre-phase and it is possible they missed the zoning district of the project. Juergens said with the information presented tonight, the applicant has no choice but to table this application for now. Draper stated regardless of the decision, the Plan Commission makes the final determination on Site Plan Reviews so this application does not go to the City Council.

Fesenmaier/Cary motion to continue this application.

Roll Call: Klein, Fesenmaier, Gibbs, Cary, and Marquardt “yes.” Motion carried unanimously. 5-0.

Public Hearing and Recommendation for a Conditional Use Permit for Madelyna Kelly, 6807 State Rd 36, Lake Geneva, to allow for the request of Indoor Commercial Entertainment land use for the property located at 253 Center St., unit #900, for the property located in the Central Business (CB) zoning district, Tax Key No. ZOP00282.

Madelyna Kelly & William Gabor-Pullen, tenants at 253 Center Street #900, presented their request and distributed revisions to the layout and the safety plan. Kelly explained the axe throwing venue which includes 7 throwing lanes, six people per lane, serving beer & wine, and appetizers. Kelly said each customer will receive safety training and will book online. Klein clarified the Plan Commission will approve the Conditional Use Permit only, not the wine and beer license which will go to FLR. Cary asked when the venue would open. Kelly said October or November. Fesenmaier asked if they would allow walk-ins. Kelly said at first she will rely on bookings so the venue can be properly staffed and later allow walk-ins. Fesenmaier asked about the hours of operation and if there is a back door. Kelly said there is a back door in the unit and said she could add the hours of operation with walk-in hours. Fesenmaier asked about the food being served and if permits were needed. Kelly said a ventless fryer will be used to heat up food. Walling explained there is equipment available which does not require the Class A kitchen hood and he doesn't believe they will need a full kitchen.

Speaker #1: Thomas Pullen, resident of Lake Geneva & father of William, shared his thoughts in favor of this business.

Klein/Gibbs motion to close the Public Hearing. Motion carried unanimously. 5-0.

Klein asked for the adjustment of hours. Cary suggested online reservations & walk-ins.

Cary/Gibbs motion to approve the proposed Conditional Use Permit to allow an Indoor Commercial Entertainment land use to include finalized hours of operation with walk-in flexibility and include all staff recommendations and fact finding in the affirmative.

Roll Call: Klein, Fesenmaier, Gibbs, Cary, and Marquardt “yes.” Motion carried unanimously. 5-0.

Fesenmaier/Cary motion to amend the proposed Conditional Use Permit to add a 1 year review.

Roll Call: Klein, Fesenmaier, Gibbs, Cary, and Marquardt “yes.” Motion carried unanimously. 5-0.

Public Hearing and Recommendation to amend the Conditional Use Permit for Lowell Custom Homes, 401 Geneva National Ave., to allow the installation of an outdoor swimming pool for the home located at 886 Maytag Rd., which is located in the Estate Residential – 1 (ER-1) zoning district, Tax Key No. ZCE00019.

Todd Cauffman, Lowell Custom Homes, representing the applicants, presented the request to install an in-ground swimming pool, using the SR-4 setbacks, with the installation of a rain garden to catch the ground water on the property. Cary asked if the pool will have a fence. Walling said yes, a fence is required by the National Pool Barrier Code for all pools. Fesenmaier asked if the DNR Technical Standards 1009 will be followed for rain gardens & maintenance. Cauffman said the DNR Standards will be followed. Fesenmaier asked about drainage of the pool being so close to the lake. Walling explained the pool water will go through the rain garden and into a natural drain swale which flows to an operational catch basin.

Klein/Cary motion to close the Public Hearing. Motion carried unanimously. 5-0.

Cary/Gibbs motion to approve the proposed Conditional Use Permit to allow the installation of an outdoor swimming pool and include all staff recommendations and fact finding in the affirmative.

Roll Call: Klein, Fesenmaier, Gibbs, Cary, and Marquardt “yes.” Motion carried unanimously. 5-0.

Public Hearing and Recommendation on Ordinance Amendments regarding Murals to Chapter 98: Zoning which would affect Section 98-034 – Definitions, Section 98-725- Murals, Section 98-913 Downtown Design Overlay Zoning District of the zoning ordinance.

Planner Mich provided an overview for the proposed Ordinance Amendments, stating the proposed amendments would remove any zoning barriers to establishing a Downtown Mural Program by the BID and provides a regular framework for any mural proposed in the City. First Amendment rights are at play with this topic so the City cannot regulate specific content so the City should stay away from specific color choices, design choices, and messages. However, the City can regulate the location, configuration, size of mural, maintenance, and how the mural is installed.

The BID’s Mural platform is an optional program which is supported by the BID and allows the BID to have more design control within the program. Any mural not going through this program in the downtown or otherwise would not have the control of the BID. Murals would be exempt from the Downtown Design rules on limiting colors. The amendments also state where a mural can be placed & where it is prohibited; brick walls cannot be painted and must have a rigid board attached to the brick wall with the mural; limits the size to 50% of the wall area for the mural; and maintenance & removal of mural. All murals will go through the Site Plan Review process with the Plan Commission to address any non-content related adjustments needed. Draper suggested clarification for Section 98-913 subsection (9)(b) 10. Building and structure exterior colors, by retaining a. through d. and omitting e. Fesenmaier questioned the restriction for using 50% of the wall for the mural, stating the BID would probably want to use 100% of the wall for murals. Walling explained this restriction of 50% was determined through the discussion of the Plan Commission at the last meeting.

Speaker #1: Alethea Salgado, 146 Broad Street, representing the Business Improvement District (BID), shared her thoughts in favor of the proposed changes to the ordinance for the murals and would also like the option to use of 100% wall area in the Downtown Overlay mentioned by Fesenmaier.

Speaker #2: Tammie Carstensen, Harbor Shores, 300 Wrigley Drive, thanked the Plan Commission for supporting this BID Mural Program.

Klein/Gibbs motion to close the Public Hearing. Motion carried unanimously. 5-0.

Cary thanked the BID for bringing this topic forward.

Fesenmaier/Cary motion to approve the proposed Ordinance Amendments regarding Murals to include Section 98-034 – Definitions; Section 98-725 – Murals, with a language change in (4)(e) with the exception of murals in the Central Business zoning district; Section 98-913 Downtown Design Overlay Zoning District, omitting (9)(b) 10. e. and include all staff recommendations and fact finding in the affirmative.

Roll Call: Klein, Fesenmaier, Gibbs, Cary, and Marquardt “yes.” Motion carried unanimously. 5-0.

Applications for Amendment to the Comprehensive Plan Conceptual discussion only:

Aaron Hirschmann, Plas-tech Engineering, with a request to amend the Future Land Use Map from Planned Office and Planned Business to Planned Industrial for the property located at 875 Geneva Pkwy, Tax Key No. ZYUP 00157, ZYUP 00158 and N LY 3100002

Planner Mich provided an overview of the Plas-tech expansion, stating the land north of their property is currently zoned Planned Business (PB) and the narrow strip on east side of the business, for annexation, is currently zoned Planned Office (PO). The proposed amendment asks for modifications to the future land use map for both properties to be shown as Planned Industrial (PI) which is consistent with the Plas-tech property and would allow the expansion plan after the Comprehensive Plan Amendment & Zoning Change processes.

City Planning Consultant with a request to correct the legend of the Future Land Use Map

Mich said this amendment is to correct the language in the Future Land Use Map legend to use the term Mixed Residential instead of Multi-Family Residential.

City Planning Consultant with a request to add Planned Business Park (PBP) as an appropriate zoning district to implement the Planned Industrial future land use category

Draper asked what was changing since the Future Land Use Map shows the Business Park as Planned Industrial land use. Mich said the Planned Business Park was added to the Code later but the Planned Business Park zoning district is not referenced in the Comprehensive Plan so it would be a text change to the Comprehensive Plan.

Comprehensive Plan Implementation

Walling said the Comprehensive Plan Implementation items were developed by past Plan Commission members and the budget allows for \$25,000 which shall be determined by the current Plan Commission. Walling said some items need to be addressed to comply with the latest laws such as Adopt Subdivision Code Amendments and Update Sign Ordinance. Walling also suggested the City should adopt an Official Map and initiate Greenbelt Conversation. Fesenmaier favors Sustainability Initiatives & Updating Parkland Dedication Ordinance. After discussion, Fesenmaier identified adopting Subdivision Code Amendments, Sustainability Initiatives, adopting Official Map & Updating the Sign Ordinance as the front runners for Implementation items.

Adjournment. Klein/Cary motion to adjourn at 7:30 p.m. Motion carried unanimously.

/s/ Brenda Follensbee, Building & Zoning Administrative Assistant

THESE ARE NOT OFFICIAL MINUTES UNTIL APPROVED BY THE PLAN COMMISSION

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: September 19, 2022

Agenda Item: 6a

Applicant:

High Point Nutrition
1212 Williams St.
Lake Geneva

Request:

253 Center St. suite 800
Downtown Design Review signage review in
the Central Business (CB) zoning district
Tax Key No. ZOP00282

Description:

The applicant is submitting an application for Downtown Design Review on the request to allow signage to the exterior of the building located at 253 Center St. in the Central Business (CB) zoning district, Tax Key No. ZOP00282.

The City reviews all exterior alteration in the CB zoning district to confirm that they conform to the Downtown Design standards, particularly quantity, size, and color requirements.

Staff Recommendations:

Staff recommends *approval* of the Alteration and installation request as submitted.



City of Lake Geneva
Building and Zoning
626 Geneva Street
Lake Geneva, WI 53147

APPLICATION FOR DOWNTOWN DESIGN REVIEW

Site Address & Parcel No.:

253 Center Street Suite 800 Lake Geneva, WI 53147

20P00282

Name & Address of Current Building Owner:

Ted Arvanitis

1644 N. Milwaukee Ave Suite 200

Prospect Heights, IL 60070

Telephone Number of Current Building Owner: 847-520-4200 x 104

Email Address: tarvanitis@pabcormanagement.com

Owner Signature: _____

Name & Address of Applicant:

High Point Nutrition

1212 Williams St

Lake Geneva, WI 53147

Telephone Number of Applicant: (262) 729-2080

Email Address: highpointnutritionlg@gmail.com

Proposed Design Change:

Change front signage from shoe repair to High Point. Colors will be black and white.

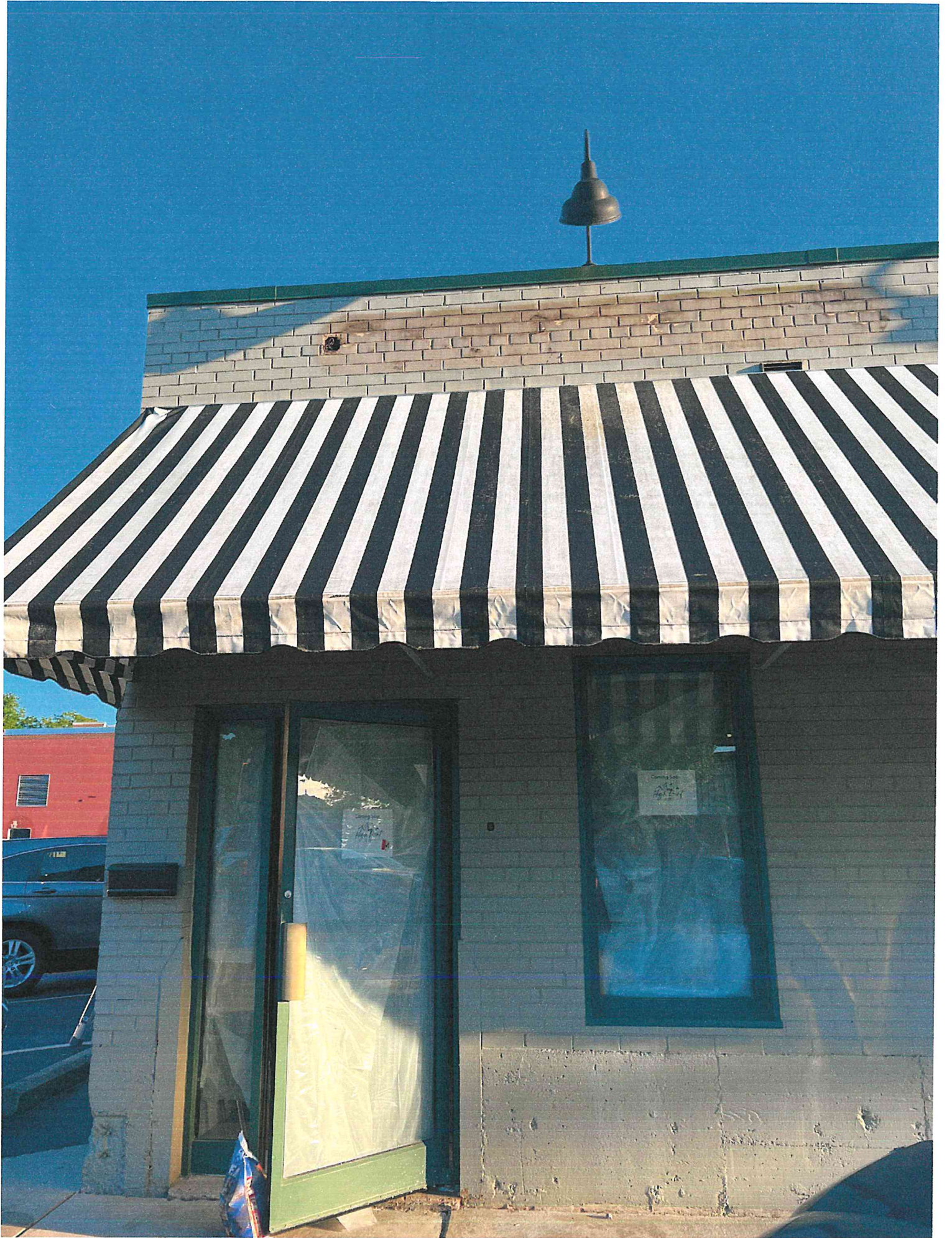
Zoning District: _____

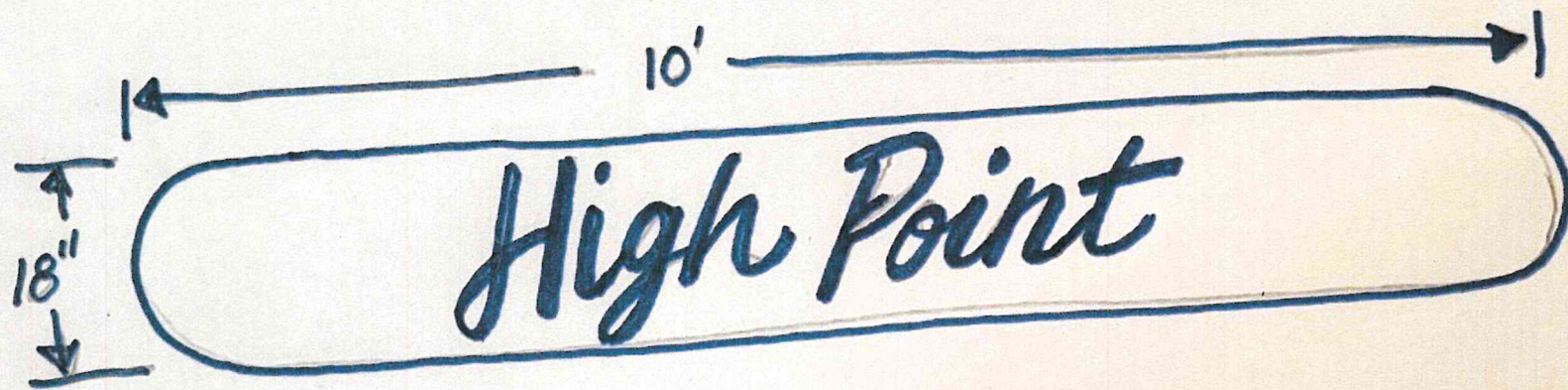
Names & Address of Architect, Engineer, and/or Contractor of Project:

Description of Project:

Date: 8/12/2022

Signature of Applicant: _____





STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: September 19, 2022

Agenda Item #7

Applicant:

Aaron Hirschman
d.b.a Plas-Tech
Avalon Property Inc.
875 Geneva Parkway
Lake Geneva, WI

Request:

875 Geneva Parkway
Site Plan Review for initial phase of site
renovations

Description:

The applicant has requested site plan approval of improvements to the Plas-Tech property at 875 Geneva Parkway. A number of applications involving the Plas-Tech property have been submitted to the City in recent months. This includes an annexation, certified survey map, and comprehensive plan amendment request. However, this particular site plan approval request, as proposed, is a separate item from the above, and action on the site plan review would have no bearing or impact on the other applications. This

This site plan review request involves construction of eight new parking stalls at the south end of the site in front of the building and 29 new parking stalls to the west of the building. Any site plan modification requires site plan approval. The property is zoned PBP (Planned Business Park). Site plan modifications shall comply with the requirements listed in the zoning district, ordinance section 98-105(j).

The applicant has planned for additional site improvements to the north of the existing building. While these plans are not part of the current site plan submittal, the applicant has been advised that all improvements, such as detailed site grading, should be well planned to ensure that future phases tie into the overall site design.

At the previous Plan Commission meeting, staff noted that the minimum pavement setback of 10 feet from the side property line and 20 feet from the front property line was not met; staff also requested confirmation that the minimum Landscape Surface Ratio (LSR) of 30% had been met. These issues have been addressed in this revised site plan.

Staff Review:

The proposed site plan complies with the pavement setback requirements and minimum LSR.

To enable a clear review, staff also requests a site plan that removes extraneous information such as utilities and grading onto a separate plan sheet and include a sheet that labels the property lines and

dimensions the setback distance to the property lines. All parking stalls shall meet minimum standard dimensions and drive aisle width shall also comply with the code.

Additionally, all improvements must comply with stormwater requirements as noted by the City Engineer

Staff Recommendation:

Staff recommends Site Plan Approval of the proposed initial phase of Plas-Tech site improvements at 875 Geneva Pkwy, specifically for parking lot expansions on the south and west sides of the property as proposed, and with the following conditions of approval:

1. Subject to any requirements or comments by the City Engineer.

Suggested Motions:

- *Approve: I recommend approval of the proposed Site Plan Approval for Aaron Hirschman, d.b.a Plas-Tech, 875 Geneva Parkway, Lake Geneva, WI 53147 for the proposed initial phase of site plan improvements at the property located at 875 Geneva Parkway, with the conditions recommended by staff.*
- *Deny: I recommend denial of the proposed Site Plan Approval for Aaron Hirschman, d.b.a Plas-Tech, 875 Geneva Parkway, Lake Geneva, WI 53147 for the proposed initial phase of site plan improvements at the property located at 875 Geneva Parkway, because [provide rationale for denial].*

*Jackie Mich, AICP
City Planning Consultant
Vandewalle & Associates*

Memo to City of Lake Geneva

To: Fred Walling, Zoning Administrator **Date:** September 14, 2022

From: Naomi Rauch, P.E.
262-758-6032

CC: Pete Juergens
Warren Hansen, P.E. – Farris Hansen and Associates
Dave Nord – City Administrator
Brenda Follensbee – Building and Zoning Administrative Assistant
Tom Earle – Director of Public Works
Josh Gajewski – Utility Director
Greg Governatori P.E. – Kapur & Associates, Inc.

Subject: PHASING PLAN REVIEW – Plas-Tech Initial Phase 1 – Grading and Paving of Parking stalls
Kapur Project No. 20.0163 Phase 03 – Approval Recommended

BACKGROUND AND REQUEST:

A phasing sequence plan was submitted for engineering review. The proposed improvements include grading and paving of an additional 29 parking stalls along the west lot line (4050 sq.ft.) and 8 parking stalls along Geneva Parkway (5840 sq.ft.) for a total of 9,890 sq.ft. of new impervious surface. The initial phase is noted on the plan referenced below in ORANGE.

The following plan and calculations were submitted for review:

- **Site, Grading, and Drainage Plan initial Phases 1,& 2 Plas-tech Engineering**, prepared by **Farris Hansen & Associates**, annotated to show phasing, sheets 1-3 of 11, dated July 09, 2020, last revised May 20, 2022. (**PHASING ONLY – IMPROVEMENTS SHOWN ON REVISED PLANS**)
- **Site, Grading, and Drainage Plan Phases 1 & 2 Plas-Tech Engineering**, prepared by Farris Hansen & Associates, dated July 9, 2020 last revised September 12, 2022.
- **Plas Tech / Avalon Properties LLC Phasing Sequence Schedule**, one sheet.

Comments:

Initial Phase 1 is part of a larger improvement plan as noted on the submitted materials. Kapur has reviewed and provided comments on the overall concept including phasing, stormwater management requirements, grading, and utilities. Based on our review of the submitted materials we recommend approval of the Initial Phase 1 improvements **ONLY** subject to the following conditions:

General

1. Stormwater runoff from proposed new impervious surfaces shall be directed to the north and away from adjacent lots.



2. No grading shall be allowed on the adjacent properties without prior written approval from property owners. Please note that the ORANGE limits inadvertently extend onto the adjacent property at the NW corner. In meeting the setback requirements as noted by the planner and utilizing the existing swale at the NW corner, we anticipate grading in this location will not be necessary to direct stormwater to the north.
3. All improvements in the ORANGE initial Phase 1 must remain on Parcel ZLGBP00010A.
4. The proposed improvements in initial Phase 1 (9,890 sq.ft of impervious) shall be counted toward the stormwater management applicability threshold of 0.5 acres (21, 780 SF) of new impervious for future stormwater management release rate and water quality requirements of the overall improvements. The overall concept plan shows the location of a future stormwater management facility, currently under review, that must be constructed at the time the impervious threshold is met.

The plans have been reviewed for conformance with generally accepted engineering practices and City of Lake Geneva policies. Although the material has been reviewed, the applicant is ultimately responsible for the thoroughness and accuracy of the plans and supplemental data and for compliance with state, county, and other local ordinances and procedures.

Please contact me if you have any questions or comments pertaining to this project.

APPLICATION FOR SITE PLAN REVIEW

City of Lake Geneva

Site Address/Parcel No. and full Legal Description required (attach separate sheet if necessary):

875 Geneva PARKWAY North
Lake Geneva WI 53147

Name and Address of Current Owner: Avalon Properties LLC

875 Geneva Parkway North, Lake Geneva WI 53147

Telephone No. with area code & Email of Current Owner: 262-206-2190

aaron@plusTechEngineering.com

Owner Signature: Aaron Hochman

Name and Address of Applicant:

Peter Juergens
N3689 Sunset Blvd. Lake Geneva WI 53147

Telephone No. with area code & Email of Applicant: 414-588-2909

peter.juergens05@gmail.com

Proposed Use: Add additional Parking

and Review Over All Site Plan
for Conceptual Approval

Zoning District in which land is located: _____

Names and Addresses of architect, professional engineer and contractor of project:

Farris, Hansen & ASSO 7 Ridgeway CT. Elkhorn WI
Geneva Bay Design N3689 Sunset Blvd Lake Geneva

Short statement describing activities to take place on site:

Add 29 Parking Stalls Along West Lot Line
Add 18 Parking Stalls at Street - South Lot Line

Review Site plan for Two phase of Future
Development

Site Plan Review Fee: \$400.00, payable upon filing application

8-3-22
Date

[Signature]
Signature of Applicant

SITE, GRADING, AND DRAINAGE PLAN
PHASES 1 & 2 PLAS-TECH ENGINEERING

PART OF THE NW 1/4 OF THE SE 1/4 AND THE SW 1/4 OF THE NE 1/4 OF SECTION 31, TOWN 2 NORTH,
RANGE 18 EAST, CITY OF LAKE GENEVA AND TOWN OF LYONS, WALWORTH COUNTY, WISCONSIN



PLAS-TECH ENGINEERING
SITE, GRADING, & DRAINAGE PLAN

875 GENEVA PARKWAY
LAKE GENEVA, WI 53147

COVER SHEET

FARRIS, HANSEN & ASSOCIATES, INC.

ENGINEERING - ARCHITECTURE - SURVEYING

7 RIDGWAY COURT P.O. BOX 437
ELKHORN, WISCONSIN 53121

OFFICE: (262) 723-2098 FAX: (262) 723-5886

REVISIONS

FINAL FOR
SITE SUBMITTAL
07/01/2020

09/16/2021 - TS
ADVANCE

09/23/2021 - TS
ADVANCE

10/01/2021 - TS
ADVANCE

10/12/2021 - TS
ADVANCE

12/09/2021 - TS
ADVANCE

12/20/2021 - TS
REVISE PHASE 3 BLD

12/28/2021
ISSUED FOR BIDDING

01/25/2022
REVISE CURB

04/20/2022 - TS
ADVANCE

5/10/2022 - TS
ADVANCE

PROJECT NO.

10095

DATE

07/09/2020

SHEET NO.

1 OF 11

SOIL BORING DATA

SB #1- 0'-12" TOP SOIL 12"-48" SANDY CLAY 48"-96" SAND (WATER @ 48") GROUND WATER ELEV. 866	SB #6- 0'-24" TOP SOIL 24"-60" BLUE SANDY CLAY (WATER AT @ 60") GROUND WATER ELEV. 866
SB #2- 0'-12" TOP SOIL 12"-96" SANDY CLAY (NO WATER)	SB #7- 0'-24" TOP SOIL (STANDING WATER ON SURFACE) 24"-60" BLUE CLAY 60"-96" SANDY CLAY (NO WATER)
SB #3- 0'-24" TOP SOIL 24"-60" BLUE CLAY 60"-96" HARD SANDY CLAY (NO WATER)	SB #8- 0'-12" TOP SOIL 12"-60" BLUE CLAY 60"-96" SANDY CLAY (NO WATER)
SB #4- 0'-12" TOP SOIL 12"-48" BLUE CLAY 48"-96" SANDY	SB #9- 0'-18" TOP SOIL 18"-48" BLUE CLAY 48"-96" SANDY CLAY (NO WATER)
SB #5- 0'-24" TOP SOIL 12"-48" BLUE CLAY 48"-96" SANDY CLAY (NO WATER)	SB #10- 0'-12" TOP SOIL 12"-UNSPECIFIED BROWN SANDY CLAY BELOW WET SAND

1. OBTAIN REQUIRED NR 216 PERMIT FROM WISCONSIN DEPARTMENT OF NATURAL RESOURCES BEFORE START OF ANY LAND DISTURBING ACTIVITY ON SITE.
 2. HOLD PRE-CON TO ADDRESS ANY ISSUES WITH PLAN AND SEQUENCE.
 3. INSTALL ALL APPROPRIATE EROSION CONTROL MEASURES ON SITE INCLUDING TEMPORARY SILT FENCE, STONE TRACKING PAD PER WNR TECHNICAL STANDARDS.
 4. STORM WATER BASIN SHALL BE PARTIALLY DUG AND USED AS A TEMPORARY SEDIMENT TRAP. TEMPORARY SWALES FROM SITE GRADING AREAS SHALL BE CREATED TO DIVERT RUNOFF WATERS AS POSSIBLE TO THE TRAP DURING EXCAVATION AND GRADING.
 5. CLEAR AND REMOVE VEGETATION OVER SITE GRADING AREAS, IF ANY (SEE SPECIFICATIONS).
 6. STRIP TOPSOIL FROM ACCESS ROAD AND IN PLANNED WORK AREA OF THE SITE AND STOCKPILE WHERE SHOWN ON PLAN OR AS WHERE FIELD ADJUSTED. INSTALL TEMPORARY SILT FENCE AROUND ENTIRE PERIMETER OF STOCKPILE PER WNR TECHNICAL STANDARDS. SOIL LEFT UNDISTURBED FOR 14 DAYS MUST BE SEED AND STABILIZED.
 7. STABILIZE ALL OTHER EXPOSED SOIL AREAS OUTSIDE OF WORK AREAS OF ROADWAYS/BUILDING WITH TOPSOIL, PROPER SEEDING AND EROSION MATTING PER WNR TECHNICAL STANDARDS.
 8. PROVIDE FILL AND COMPACTION OF BASE MATERIALS FOR BUILDING AREAS FOLLOWED WITH FOUNDATION EXCAVATIONS IN A MANNER SUITABLE TO THE OWNERS NEED. ALL PADS TO BE GRADED AND FILLED TO SUBGRADE. (PHASE 1 ONLY)
 9. ROUGH GRADE PROPOSED DRIVES.
 10. FINE GRADE DRIVE SUBGRADES.
 11. INSTALL GRAVEL BASE COURSE. DRIVES ARE TO REMAIN GRAVELED FOR INITIAL ACCESS TO BUILDINGS.
 12. COMPLETE EXCAVATION OF STORM WATER BASIN. STABILIZE AS GRADES ARE FINALIZED.
 13. CONSTRUCT CONCRETE FOOTINGS, FOUNDATIONS, AND FLATWORK AS SHOWN ON THE PLANS.
 14. ERECTION OF TANKAGE AND BUILDINGS.
 15. RESTORE ALL REMAINING DISTURBED AREAS BY SEEDING WITH MULCH OR MATTING AS SHOWN.
 16. IF SEDIMENT HAS ACCUMULATED WITHIN BASIN DURING CONSTRUCTION IT SHALL BE REMOVED.
 17. REMOVE ALL TEMPORARY EROSION CONTROL MEASURES UPON FINAL STABILIZATION OF DISTURBED SURFACES ONLY AFTER VEGETATION HAS 70% GROW-IN COVERAGE.
- NOTE: ANY CHANGES TO OR VARIANCE OF SITE PLAN AND/OR CONSTRUCTION SEQUENCE DUE TO CONSTRUCTION MEANS AND METHODS SHOULD BE APPROVED BY THE ENGINEER AND OWNER PRIOR TO IMPLEMENTATION. THE ENGINEER SHALL NOTIFY THE DEPARTMENT OF NATURAL RESOURCES OF ANY CHANGES TO THE PLANS AT LEAST 5 DAYS PRIOR TO FIELD IMPLEMENTATION. IT IS ANTICIPATED THAT WORK FOR WILL NOT START UNTIL SUMMER 2020 ACTUAL TIME LINES FOR VARIOUS WORK MAY VARY DEPENDING ON OWNERS OPERATIONS BUT EROSION CONTROL IS TO BE CONTINUOUSLY MAINTAINED.

NOTE: PREVIOUS PLANS HAD 3 PHASES WHICH HAVE BEEN REPHASED INTO 2 PHASE. PHASES 1 & 2 WERE COMBINED INTO PHASE 1 AND PHASE 3 IS NOW PHASE 2

— WORK ORDERED BY —
GENEVA BAY CONSTRUCTION
N2689 SUNSET BOULEVARD
LAKE GENEVA, WI 53147

SITE SUMMARY

TOTAL AREA=250.712 (5.76 ACRES)

TOTAL BUILDING AREA

EXISTING= 21,300 SQ.FT.
PROPOSED (PHASE 1)= 45,805 SQ.FT.
PROPOSED (PHASE 2)= 75,205 SQ.FT.

TOTAL GREEN SPACE

EXISTING= 183,713 SQ.FT.
PROPOSED (PHASE 1)= 140,671 SQ.FT. (INCLUDES EXISTING)
PROPOSED (PHASE 2)= 85,593 SQ.FT. (INCLUDES EXISTING AND PHASE 1)

TOTAL IMPERVIOUS AREA

EXISTING= 45,699 SQ.FT.
PROPOSED (PHASE 1)= 110,041 SQ.FT. (INCLUDES EXISTING)
PROPOSED (PHASE 2)= 165,119 SQ.FT. (INCLUDES EXISTING AND PHASE 1)

TOTAL PROPOSED PARKING

66 CARS (PHASE 1) WITH EXISTING BUILDING
(GRAVEL PARKING FOR EXTRA 28 CARS IF NEEDED OFF LOOPED ROAD)

SHEET 1 - COVER SHEET

SHEET 2 - SITE, GRADING, DRAINAGE, & EROSION CONTROL PLAN SOUTH HALF

SHEET 3 - SITE, GRADING, DRAINAGE, & EROSION CONTROL PLAN NORTH HALF

SHEET 4 - EXTERIOR ELEVATIONS

SHEET 5 - FIRST FLOOR PLAN

SHEET 6 - FOUNDATION PLAN

SHEET 7 - SECTIONS COLUMN FOOTING SCHEDULE

SHEET 8 - SECTIONS ANCHOR BOLT DETAILS WALL TYPES

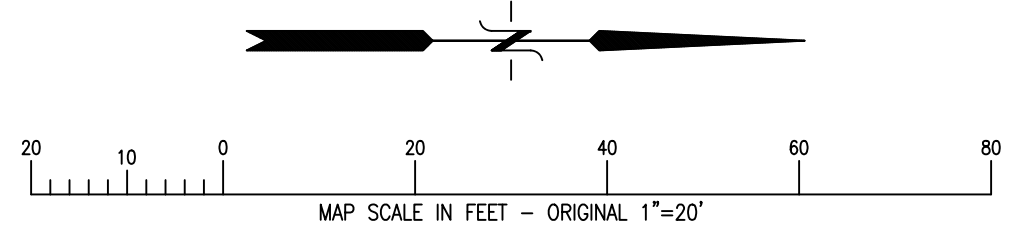
SHEET 9 - SECTIONS CONCRETE DETAILS HANDICAP DETAILS

SHEET 10 - SECTIONS GENERAL SPECIFICATIONS

SHEET 11 - SECTIONS GENERAL SPECIFICATIONS

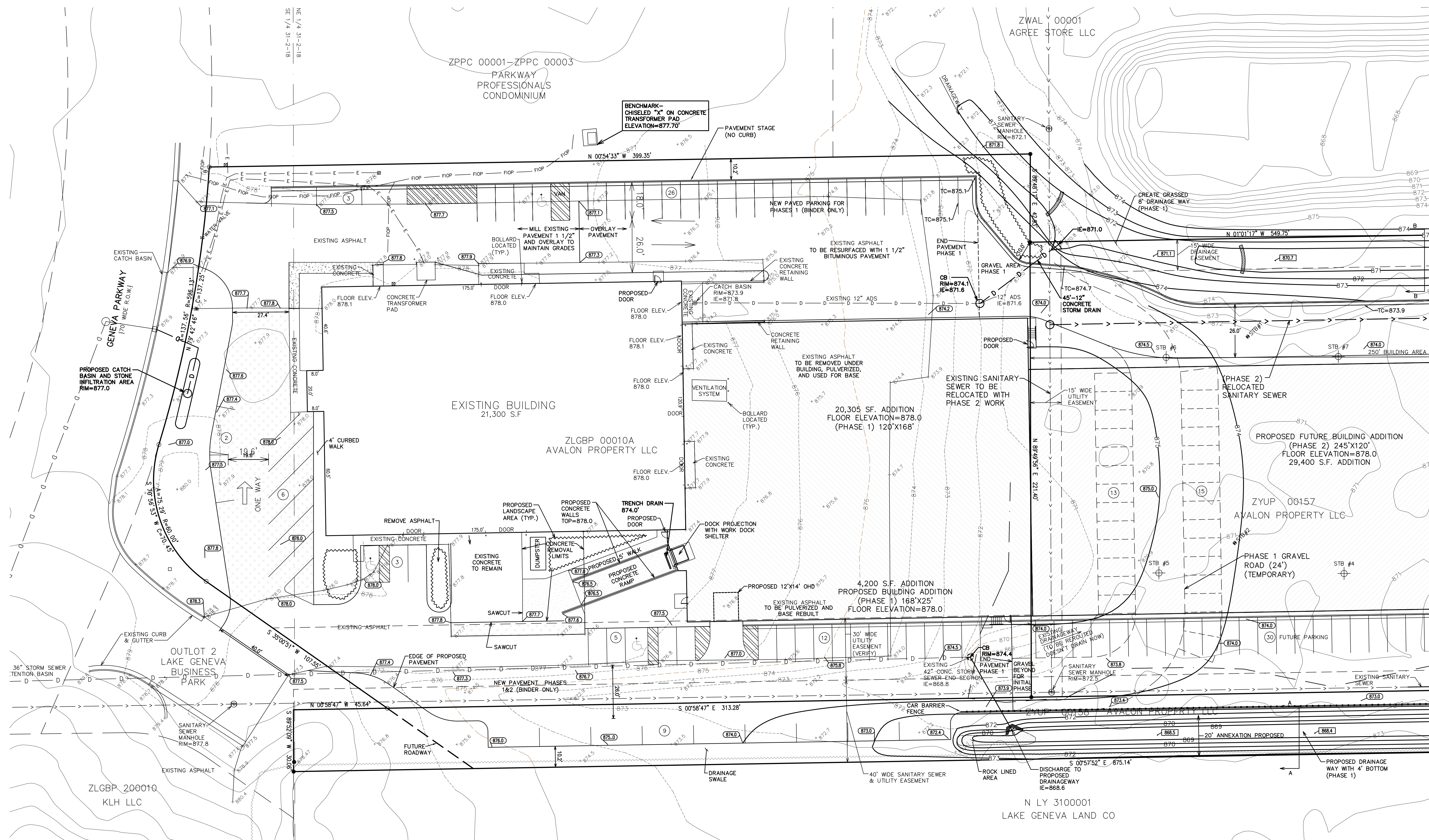
INDEX OF SHEETS

SEQUENCE OF CONSTRUCTION



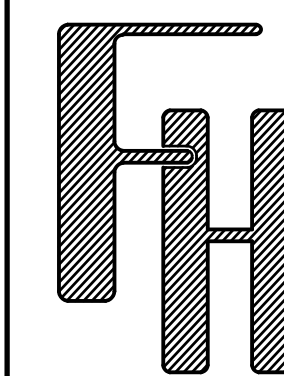
NOTE: WETLANDS FLAGGED AND
DELINEATED BY HEARTLAND ECOLOGICAL
GROUP INC. APRIL 15, 2020

- LEGEND
- O = FOUND IRON PIPE STAKE
 - = FOUND IRON REBAR STAKE
 - = UTILITY BOX LOCATED
 - {XXX} = RECORDED AS
 - = TELEPHONE BOX LOCATED
 - = ELECTRIC BOX LOCATED
 - = CABLE BOX LOCATED
 - ⊕ = FIBER OPTICS WARNING POST LOCATED
 - FIOF — = FLAGGED FIBER OPTICS LINE LOCATED
 - E — = FLAGGED ELECTRIC LINE LOCATED
 - ▨ = NEW PAVEMENT AREA
 - ▨ = EXISTING PAVEMENT
 - XXX = PROPOSED FINISHED PAVEMENT GRADE
 - XXX = PROPOSED FINISHED SPOT GRADE



NOTE: DETAILS AND SPECIFICATIONS FOR SITE WORK TO BE ADDED AT A FUTURE DATE ON
A SEPARATE PLAN SET WITH LANDSCAPING AND ADDITIONAL DRAINAGE PLANS.

NEW PAVEMENT AREAS ARE TO HAVE 12" CRUSHED GRAVEL AND 4" BITUMINOUS
PAVEMENT FOR TRUCKING AND ACCESS ROADWAYS. PARKING AREAS SHOWN SHALL
HAVE A MINIMUM OF 10" CRUSHED GRAVEL AND 3 1/2" BITUMINOUS PAVEMENT



PLAS-TECH ENGINEERING
SITE, GRADING, & DRAINAGE PLAN

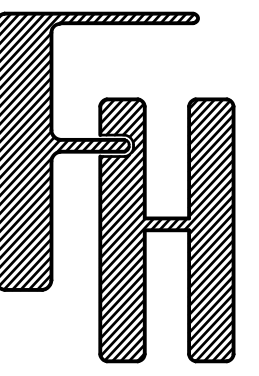
875 GENEVA PARKWAY
LAKE GENEVA, WI 53147

SITE, GRADING, & DRAINAGE
PLAN
SOUTH HALF

FARRIS, HANSEN & ASSOCIATES, INC.
ENGINEERING - ARCHITECTURE - SURVEYING
7 RIDGWAY COURT P.O. BOX 437
ELKHORN, WISCONSIN 53121
OFFICE: (262) 723-2098 FAX: (262) 723-5886

REVISIONS	
09/12/2022 - TS ADVANCE	FINAL FOR SITE SUBMITTAL 07/01/2020
09/16/2021 - TS ADVANCE	
09/23/2021 - TS ADVANCE	
10/01/2021 - TS ADVANCE	
10/12/2021 - TS ADVANCE	
12/09/2021 - TS ADVANCE	
12/20/2021 - TS REVISE PHASE 3 BLD	
12/28/2021 ISSUED FOR BIDDING	
01/26/2022 REVISE CURB	
04/20/2022 - TS ADVANCE	
5/30/2022 - TS ADVANCE	

PROJECT NO.	10095
DATE	07/09/2020
SHEET NO.	2 OF 11



PLAS-TECH ENGINEERING
SITE, GRADING, & DRAINAGE PLAN

SITE, GRADING, & DRAINAGE
PLAN
NORTH HALF

FARRIS, HANSEN & ASSOCIATES, INC.
ENGINEERING - ARCHITECTURE - SURVEYING
7 RIDGWAY COURT P.O. BOX 437
ELKHORN, WISCONSIN 53121
OFFICE: (262) 723-2098 FAX: (262) 723-5886

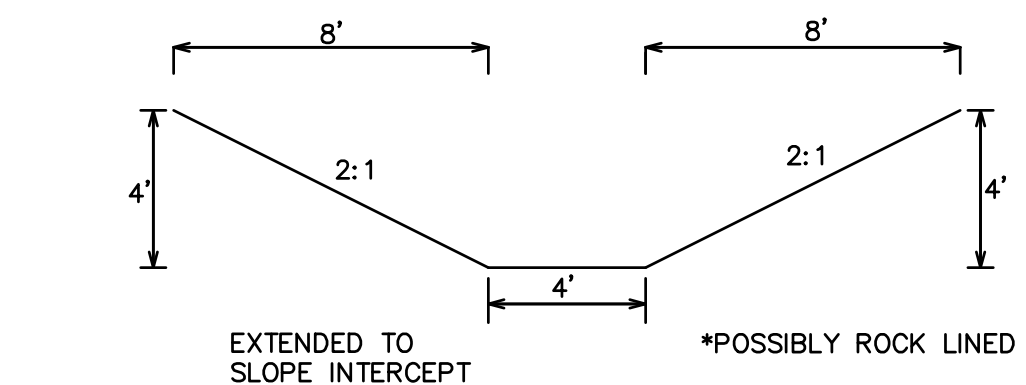
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FINAL FOR
SITE SUBMITTAL
07/01/2020
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09/23/2021 - TS
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ADVANCE
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01/26/2022
REVISE CURB
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ADVANCE
07/01/2022 - TS
ADVANCE

PROJECT NO.
10095
DATE
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3 OF 11

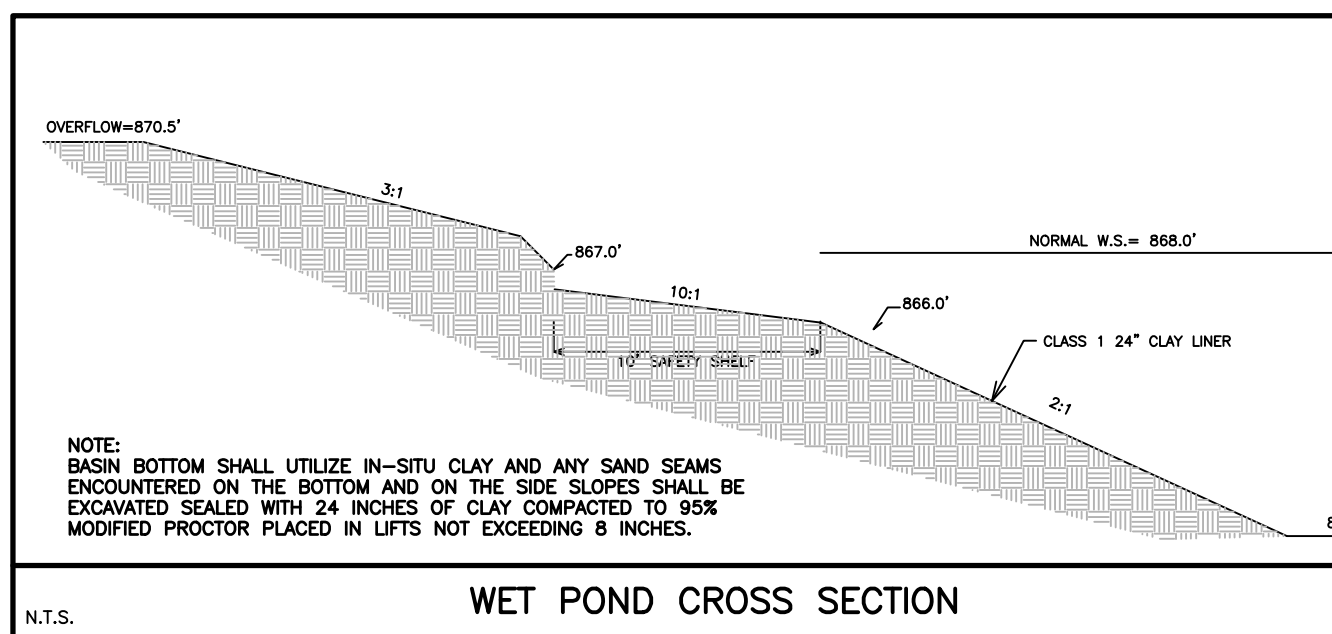
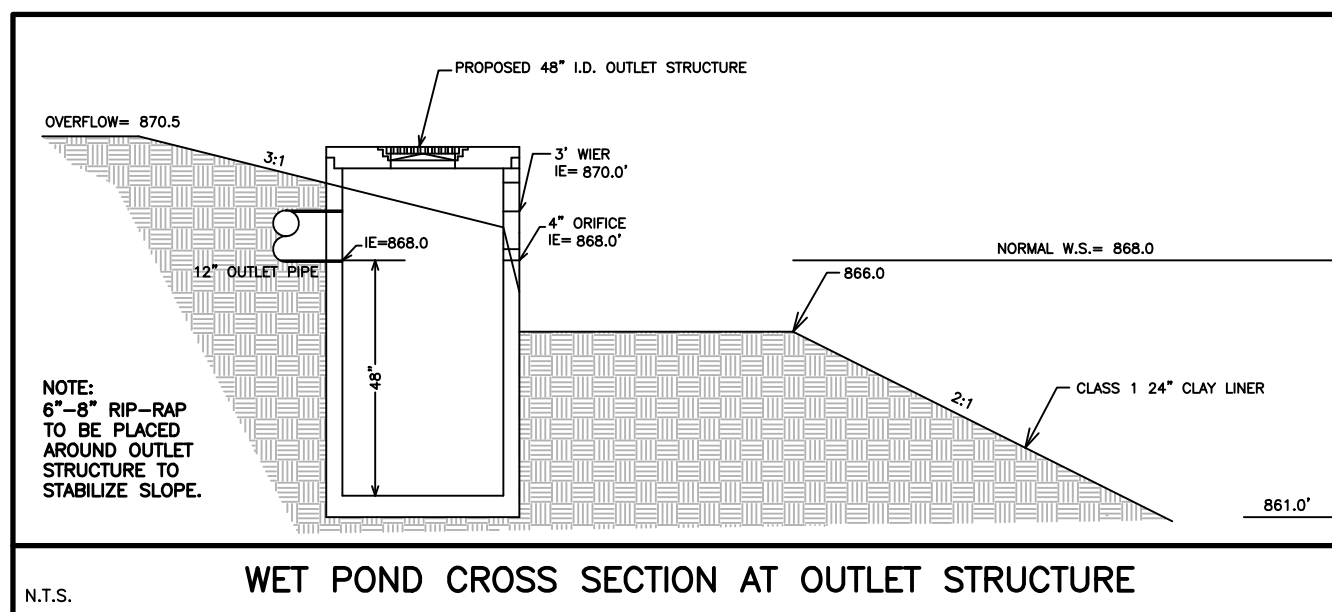
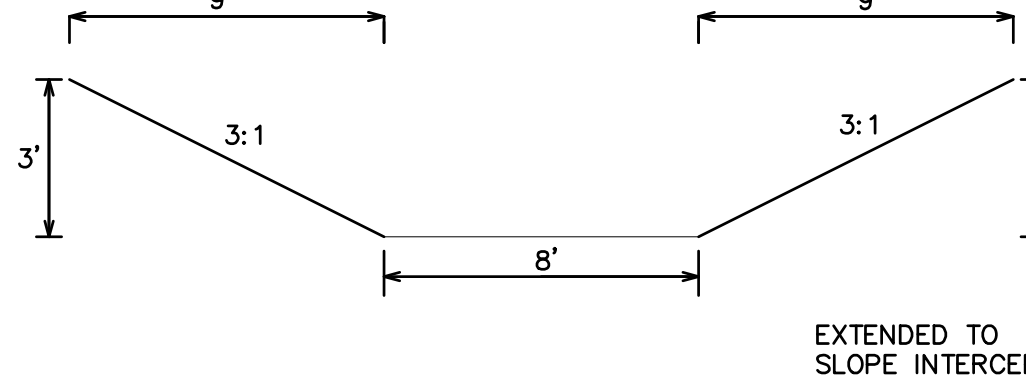
SOIL BORING DATA

SB #1- 0'-12" TOP SOIL 12'-48" SANDY CLAY 48'-96" SAND (WATER @ 48') GROUND WATER ELEV. 866	SB #6- 0'-24" TOP SOIL 24'-60" BLUE SANDY CLAY (WATER AT @ 60') GROUND WATER ELEV. 866
SB #2- 0'-12" TOP SOIL 12'-96" SANDY CLAY (NO WATER)	SB #7- 0'-24" TOP SOIL (STANDING WATER ON SURFACE) 24'-60" BLUE CLAY 60'-96" SANDY CLAY (NO WATER)
SB #3- 0'-24" TOP SOIL 24'-60" BLUE CLAY 60'-96" HARD SANDY CLAY (NO WATER)	SB #8- 0'-12" TOP SOIL 12'-96" BLUE CLAY 60'-96" SANDY CLAY (NO WATER)
SB #4- 0'-12" TOP SOIL 12'-48" BLUE CLAY 48'-96" SANDY	SB #9- 0'-18" TOP SOIL 18'-48" BLUE CLAY 48'-96" SANDY CLAY (NO WATER)
SB #5- 0'-24" TOP SOIL 24'-48" BLUE CLAY 48'-96" SANDY CLAY (NO WATER)	SB #10- 0'-12" TOP SOIL 12'-72" BROWN SANDY CLAY GROUND WATER ELEV. 866.0

EAST SIDE 4" DRAINAGE WAY SECTION A

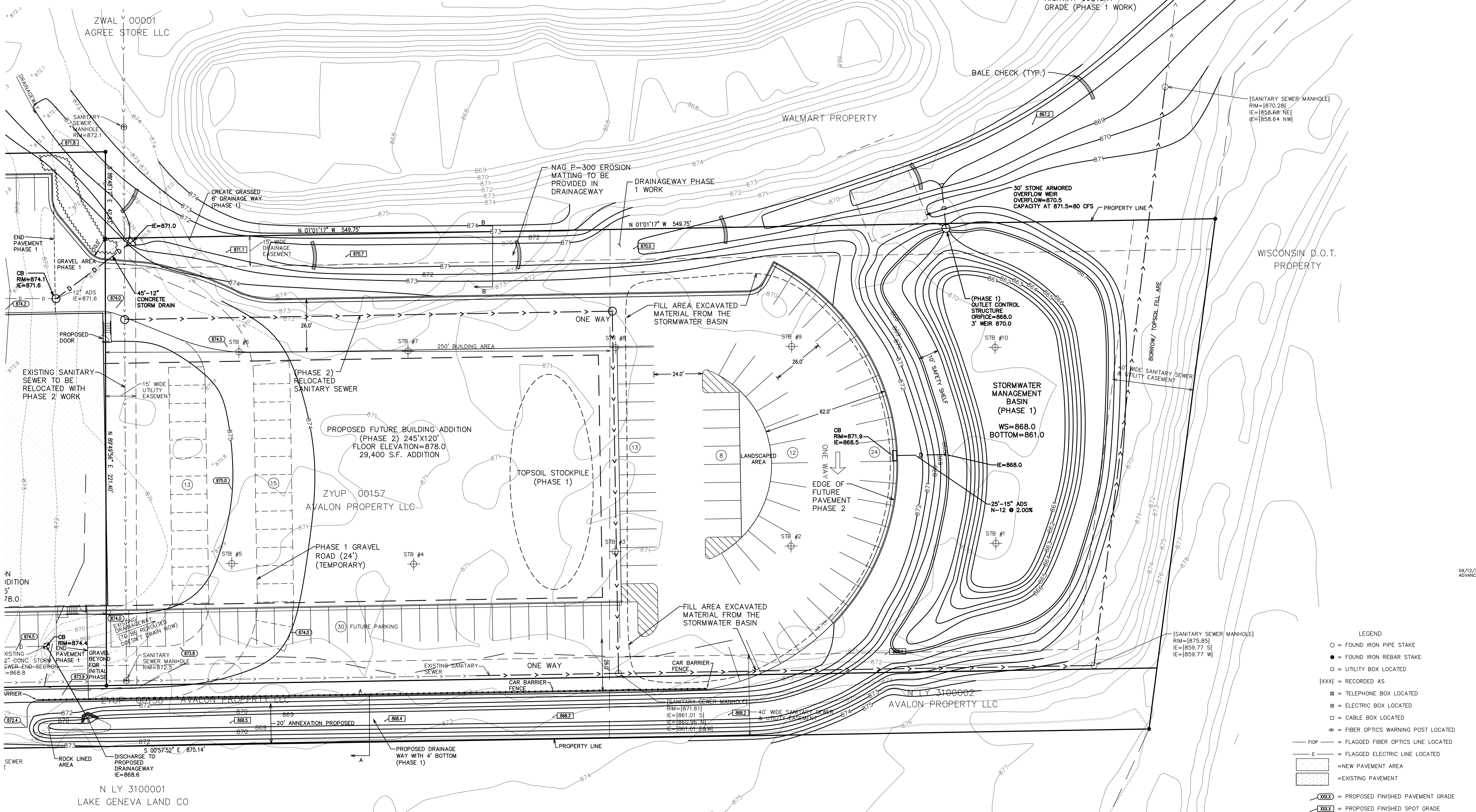


WEST SIDE 8" DRAINAGE WAY SECTION B



NOTE: PHASE 1 WILL ESTABLISH THE EAST SIDE DRAINAGE WAY/ SWALE AND THE STORMWATER BASIN, OUTLET CONTROL INCLUDING OFF SITE DRAINAGE WAY WORK TO BE DONE IN PHASE 1 ALSO

NOTE: WETLANDS FLAGGED AND DELINEATED BY HEARTLAND ECOLOGICAL GROUP INC. APRIL 15, 2020 (MITIGATED BY APPROVED ARTIFICIAL WETLAND DETERMINATION)



- LEGEND
- = FOUND IRON PIPE STAKE
 - = FOUND IRON REBAR STAKE
 - = UTILITY BOX LOCATED
 - {XXX} = RECORDED AS
 - ⊠ = TELEPHONE BOX LOCATED
 - ⊞ = ELECTRIC BOX LOCATED
 - ⊡ = CABLE BOX LOCATED
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 - FOP — = FLAGGED FIBER OPTICS LINE LOCATED
 - E — = FLAGGED ELECTRIC LINE LOCATED
 - NEW PAVEMENT AREA
 - EXISTING PAVEMENT
 - XXX = PROPOSED FINISHED PAVEMENT GRADE
 - XXX = PROPOSED FINISHED SPOT GRADE

PLAS TECH / AVALON PROPERTY LLC PHASING SEQUENCE SCHEDULE

A. Initial Phase: (Orange)

(To be completed ASAP)

1. Install silt fence, west lot line / south at Geneva Parkway
2. Install berm at northwest lot corner to capture parking lot water
3. Evacuate and pave 29 parking stalls, west lot line (approximately 4050 square feet), and 18 parking stalls along Geneva Parkway (approximately 6530 square feet) – Total land disturbance = 10,580 square feet

B. Phase I: (Blue)

1. Obtain temporary grading easement from Wal-Mart
2. Obtain new sewer lateral easement to relocation (in future) from Wal-Mart
3. Obtain Approval from Wal-Mart for Phase I and Phase II Concept Plans
4. Complete annexation process for eastern land
5. Record new CSM to create one parcel of land vs four
6. Obtain SEWRPC removal from wetland map
7. Obtain comprehensive plan review approval

Note: upon satisfactory completion of 1-7 above, we will then begin construction of #8, #9, #10

8. Build storm water basin, including all outlet structures (later Fall/Winter 2022)
9. Grade Wal-Mart drainage way (later Fall/Winter 2022/2023)
10. Grade eastern drainage way (later Fall/Winter 2022/2023)

C. Phase I: (Green)

11. Upon completion of blue areas, we will begin building construction (Spring 2023)
 - A. Remove asphalt, as necessary
 - B. Grade and fill building site, as necessary
 - C. Install temporary gravel loop to north
 - D. Fill future parking lot along east side of lot

PART OF THE NW 1/4 OF THE SE 1/4 AND THE SW 1/4 OF THE NE 1/4 OF SECTION 31, TOWN 2 NORTH, RANGE 18 EAST, CITY OF LAKE GENEVA AND TOWN OF LYONS, WALWORTH COUNTY, WISCONSIN

PLAS-TECH ENGINEERING
SITE, GRADING, & DRAINAGE PLAN

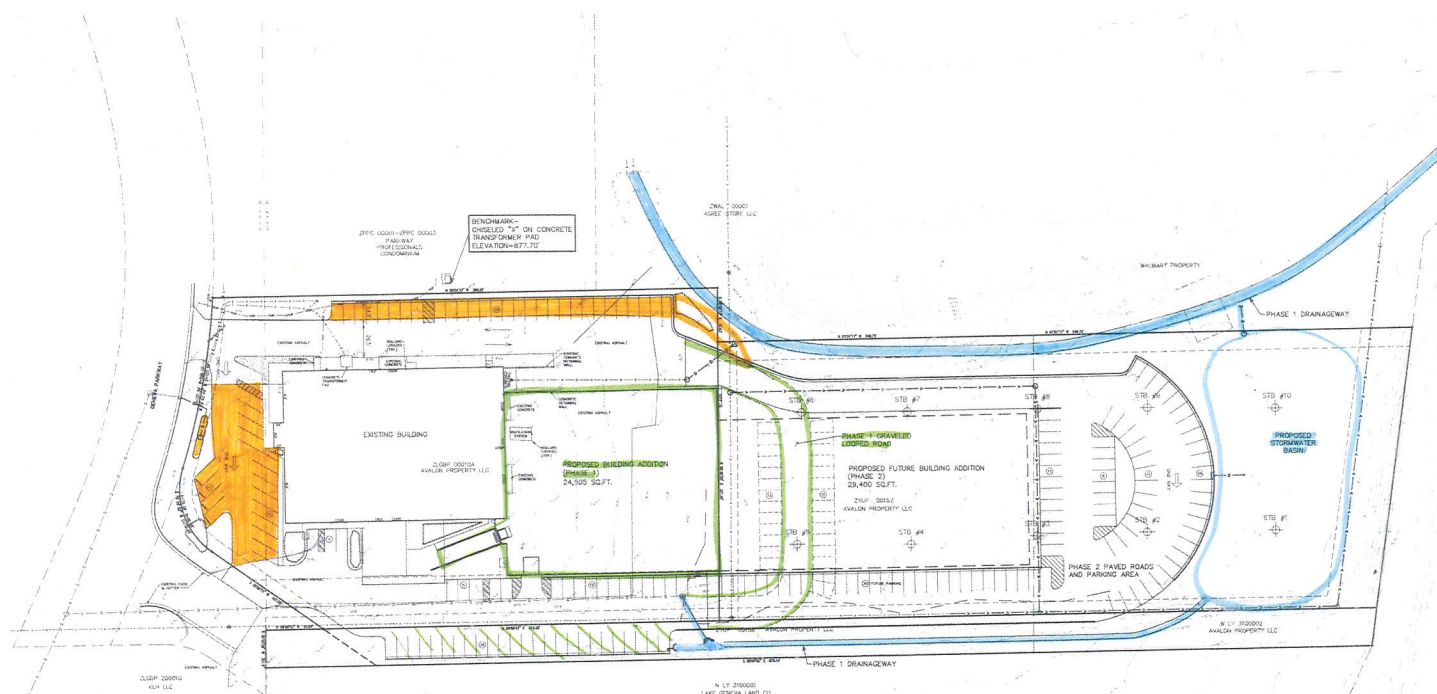
875 GENEVA PARKWAY
LAKE GENEVA, WI 53147

1111

HARRIS, HANSEN & ASSOCIATES, INC.
ENGINEERING — ARCHITECTURE — SURVEYING
7 RIDGWAY COURT P.O. BOX 437
ELKHORN, WISCONSIN 53121

	REVISIONS
06/03/2021 - TS ADVANCE	FINAL FOR 1011 SUBMITAL 07/21/2021
09/16/2021 - TS ADVANCE	
04/23/2021 - TS ADVANCE	
10/01/2021 - TS ADVANCE	
10/13/2021 - TS ADVANCE	
12/08/2021 - TS ADVANCE	
12/20/2021 TS REUSE PHASE 3 BLD	
12/28/2021 ISSUED FOR BIDDING	

PROJECT NO.	10095
DATE	07/09/2020
SHEET NO.	1 OF 11

[illegible]

- [illegible]

NOTE: ANY CHANGES TO OR VIOLANCE OF SITE PLAN AND/OR CONSTRUCTION SEQUENCE DUE TO CONSTRUCTION MEANS AND METHODS SHOULD BE APPROVED BY THE ENGINEER AND OWNER PRIOR TO IMPLEMENTATION. THE ENGINEER SHALL NOTIFY THE DEPARTMENT OF NATURAL RESOURCES OF ANY CHANGES TO THE PLAN AT LEAST 5 DAYS PRIOR TO FIELD IMPLEMENTATION. IT IS ANTICIPATED THAT WORK FOR WET START WILL NOT START UNTIL SUMMER 2020 ACTUAL TIME LINES FOR VARIOUS WORK MAY VARY DEPENDING ON OWNER'S OPERATIONS BUT EROSION CONTROL IS TO BE

NOTE: PREVIOUS PLANS HAD 3 PHASES WHICH HAVE BEEN REPHASED INTO 2 PHASE. PHASES 1 & 2 WERE COMBINED INTO PHASE 1 AND PHASE 3 IS NOW PHASE 2

- WORK ORDERED BY -
GENEVA BAY CONSTRUCTION
N2689 SUNSET BOULEVARD
LAKE GENEVA, WI 53147

TOTAL AREA=250,712 (5.76 ACRES)

TOTAL BUILDING AREA
EXISTING= 21,300 SQ.FT.
PROPOSED (PHASE 1)= 45,805 SQ.FT.
PROPOSED (PHASE 2)= 75,205 SQ.FT.

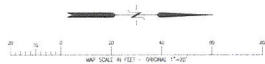
TOTAL GREEN SPACE
EXISTING= 183,713 SQ.FT.
PROPOSED (PHASE 1)= 138,057 SQ.FT. (INCLUDES EXISTING)
PROPOSED (PHASE 2)= 80,979 SQ.FT. (INCLUDES EXISTING AND PHASE 1)

TOTAL IMPERVIOUS AREA
EXISTING= 45,699 SQ.FT.
PROPOSED (PHASE 1)= 116,855 SQ.FT. (INCLUDES EXISTING)
PROPOSED (PHASE 2)= 119,713 SQ.FT. (INCLUDES EXISTING AND PHASE 1)

TOTAL PROPOSED PARKING
92 CARS (PHASE 1) + 25 CARS BUILDING
TOTAL PARKING= 117 CARS CARS IF NEEDED OFF LOOPED ROAD)

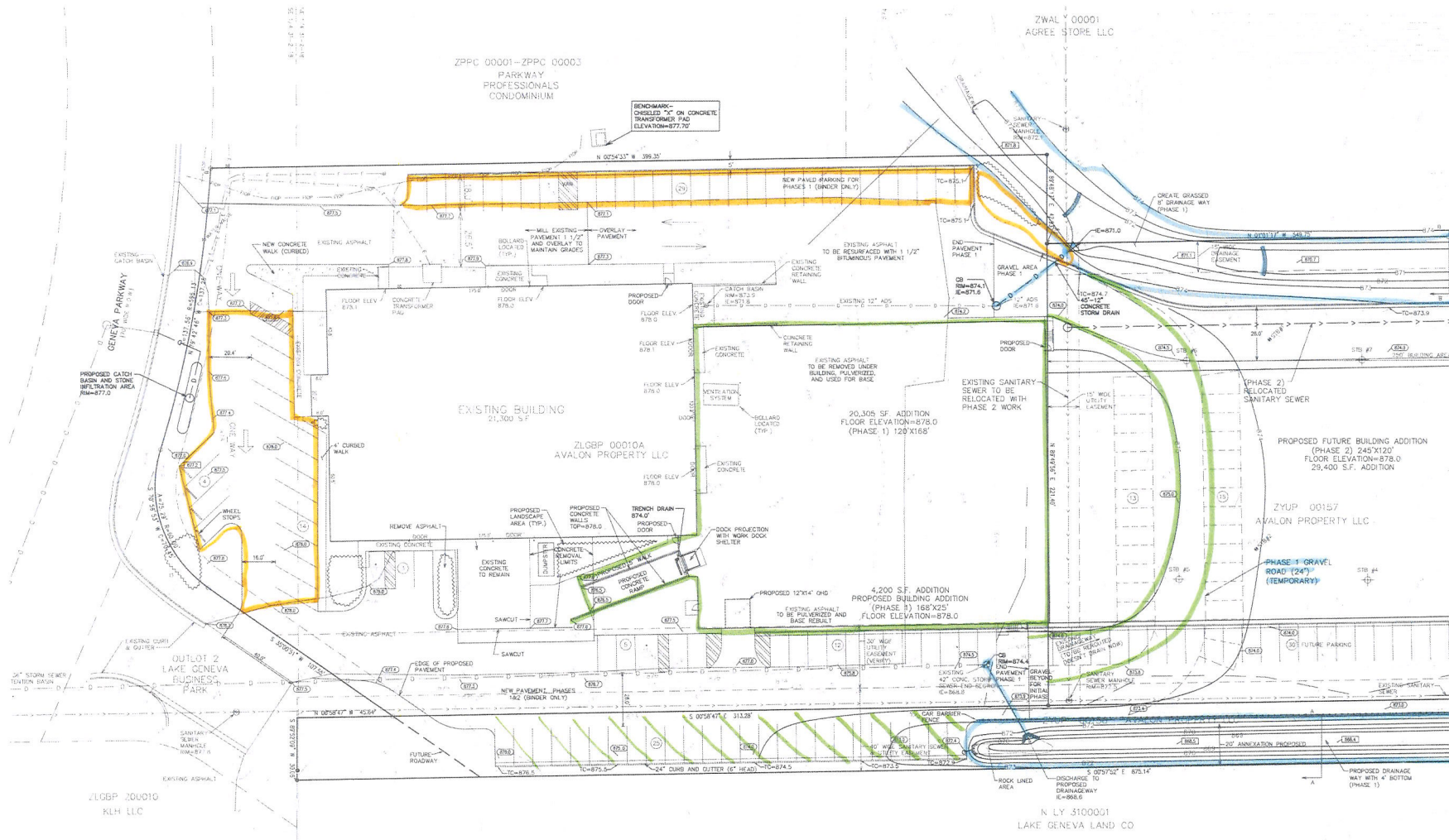
SEQUENCE OF CONSTRUCTION

- | | |
|-----------------|---|
| SHEET 1 | COVER SHEET |
| SHEET 2 | SITE, GRADING, DRAINAGE, & EROSION
CONTROL PLAN SOUTH HALF |
| SHEET 3 | SITE, GRADING, DRAINAGE, & EROSION
CONTROL PLAN NORTH HALF |
| SHEET 4 | EXTERIOR ELEVATIONS |
| SHEET 5 | FIRST FLOOR PLAN |
| SHEET 6 | FOUNDATION PLAN |
| SHEET 7 | SECTIONS
COLUMN FOOTING SCHEDULE |
| SHEET 8 | SECTIONS
ANCHOR BOLT DETAILS
WALL TYPES |
| SHEET 9 | SECTIONS
CONCRETE DETAILS
HANDICAP DETAILS |
| SHEET 10 | SECTIONS
GENERAL SPECIFICATIONS |
| SHEET 11 | SECTIONS
GENERAL SPECIFICATIONS |
| INDEX OF SHEETS | |



NOTE: WETLANDS FLAGGED AND
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GROUP INC. APRIL 15, 2020

- LEGEND
- = FOUND IRON PIPE STAKE
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 - (E)--- = FLAGGED FIBER OPTIC LINE LOCATED
 - (E)--- = FLAGGED ELECTRIC LINE LOCATED
 - (P)--- = NEW PAVEMENT AREA
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A SEPARATE PLAN SET WITH LANDSCAPING AND ADDITIONAL DRAINAGE PLANS.

NEW PAVEMENT AREAS ARE TO HAVE 12" CRUSHED GRAVEL AND 4" BITUMINOUS
PAVEMENT FOR TRUCKING AND ACCESS ROADS. PARKING AREAS SHOWN SHALL
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PLAS-TECH ENGINEERING
SITE, GRADING, & DRAINAGE PLAN

SITE, GRADING, & DRAINAGE
PLAN
SOUTH HALF

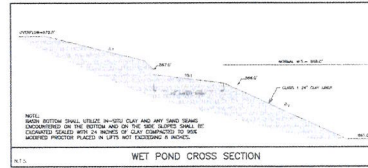
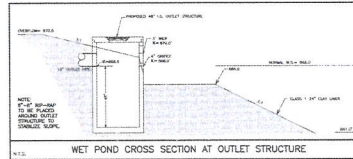
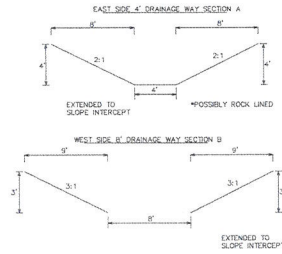
FARRIS, HANSEN & ASSOCIATES, INC.
ENGINEERING - ARCHITECTURE - SURVEYING
7 REDBURY COURT P.O. BOX 437
LUDWIG, WISCONSIN 53121
OFFICE (262) 723-2228 FAX (262) 723-5855

DATE	REVISION
01/15/2021	1.0
02/15/2021	2.0
03/15/2021	3.0
04/15/2021	4.0
05/15/2021	5.0
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PROJECT NO.
10095
DATE
07/09/2020
SHEET NO.
2 OF 11

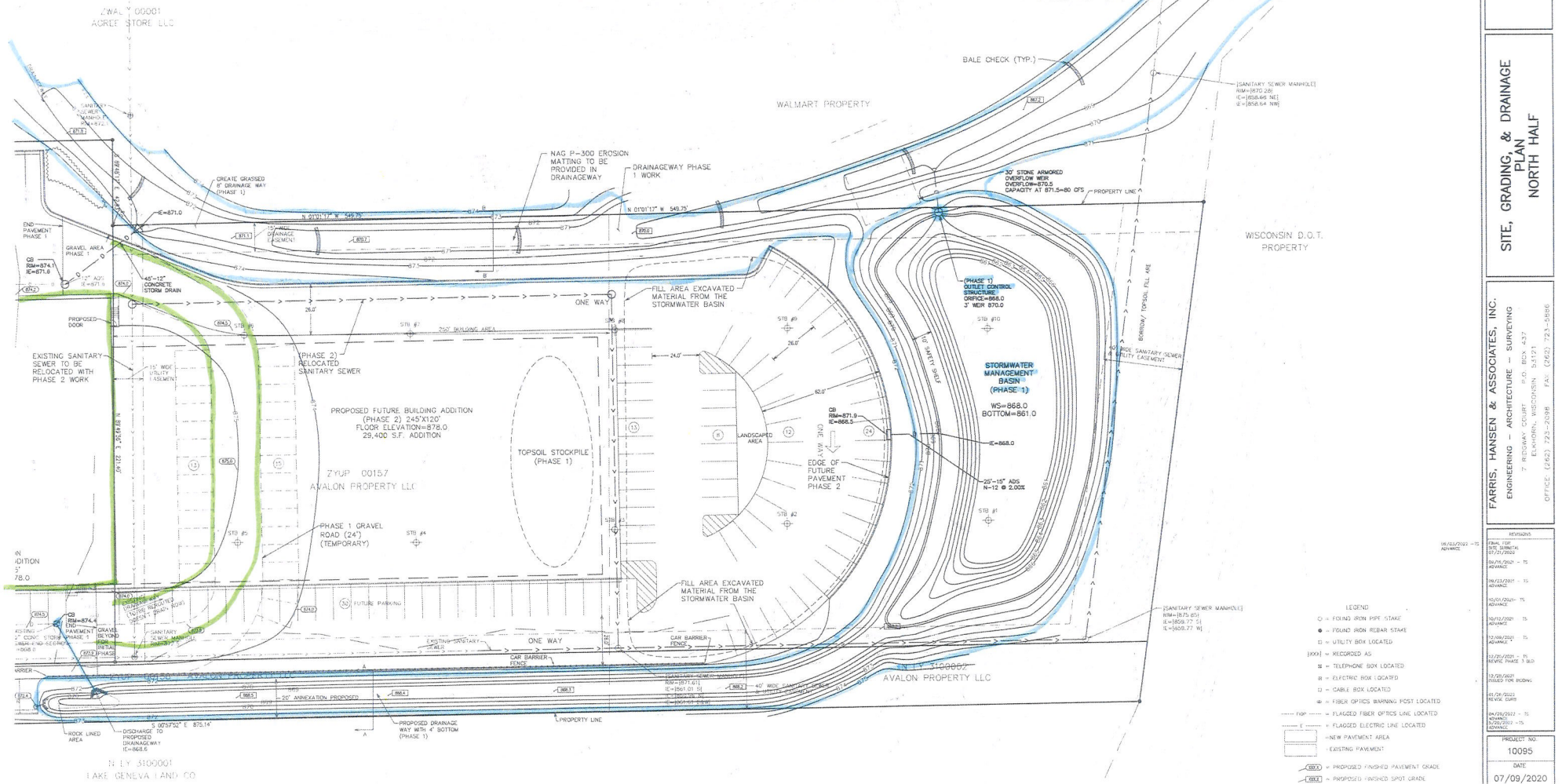
SOIL BORING DATA

SB #1- 0'-12" TOP SOIL 12"-48" SANDY CLAY 48"-60" SAND GROUND WATER ELEV 886	SB #6- 0'-24" TOP SOIL 24"-40" BLUE SANDY CLAY 40"-48" SAND GATEWAY #107 GROUND WATER ELEV 886
SB #2- 0'-12" TOP SOIL 12"-48" SANDY CLAY 48"-60" SAND GROUND WATER ELEV 886	SB #7- 0'-24" TOP SOIL 24"-40" BLUE SANDY CLAY 40"-48" SAND GATEWAY #107 GROUND WATER ELEV 886
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SB #5- 0'-24" TOP SOIL 24"-40" BLUE SANDY CLAY 40"-48" SAND GATEWAY #107 GROUND WATER ELEV 886	SB #10- 0'-12" TOP SOIL 12"-48" SANDY CLAY 48"-60" SAND GROUND WATER ELEV 886



EXISTING DRAINAGE TO HIGHWAY CULVERT CROSSING "50" IE=852.2

EXISTING SWALE TO BE LOWERED +2" TO MEET HIGHWAY CULVERT GRADE (PHASE 1 WORK)



PLUS-TECH ENGINEERING
SITE, GRADING, & DRAINAGE PLAN
875 GENOVA PARKWAY
LAKE GENOA, WI 53147

SITE, GRADING, & DRAINAGE PLAN
NORTH HALF

FARRIS, HANSEN & ASSOCIATES, INC.
ENGINEERING - ARCHITECTURE - SURVEYING
7 BEDFORD COURSEWAY, SUITE 437
OFFICE (262) 725-3338 FAX (262) 723-2886

REVISIONS
1. 07/09/2020 - 15
2. 07/09/2020 - 15
3. 07/09/2020 - 15
4. 07/09/2020 - 15
5. 07/09/2020 - 15
6. 07/09/2020 - 15
7. 07/09/2020 - 15
8. 07/09/2020 - 15
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11. 07/09/2020 - 15
12. 07/09/2020 - 15
13. 07/09/2020 - 15
14. 07/09/2020 - 15
15. 07/09/2020 - 15

PROJECT NO.
10095
DATE
07/09/2020
SHEET NO.
3 OF 11

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date:
September 19, 2022

Agenda Item: 8

Applicant:

Klanntonlinn, LLC
890 Windsor Drive Unit 14
Fontana, WI 53125

Request: Birches Lane CSM review in the
Town of Linn creating 4 buildable lots Tax
Key No. IL900001A3 (NW of Linn Road and
Birches Lane and south of Lackey Lane)

Description:

This request is to approve a Certified Survey Map (CSM) by creating 4 buildable lots located in the Town of Linn on Tax Key No. IL90001A3 with access to Birches Lane (NW of Linn Road and Birches Lane and south of Lackey Lane).

This request is to approve the proposed Certified Survey Map for the property located on Birches Lane the land separation will create 4 buildable lots with this request.

The 4 newly created lots:

1. 325,928 square feet (8.10 acres)
2. 75,664 square feet (1.73 acres)
3. 551,924 square feet (12.67 acres)
4. 282,624 square feet (6.48 acres)

Action by the Plan Commission:

Recommendation to the Common Council on the proposed (CSM)

As part of the consideration of the requested CSM, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CSM review.

Staff Recommendation on the proposed

1. Staff recommends that the Plan Commission recommend *approval* of the Certified Survey Map (CSM): as submitted, subject to Kapur review comments dated September 8, 2022 and approval from Walworth County Land Use Zoning.

Memo to City of Lake Geneva

To: Fred Walling, Zoning Administrator **Date:** September 8, 2022

From: Gary R. Splinter
Naomi Rauch, P.E.
262-758-6032

CC: Paul Van Henkelum – Cardinal Engineering LLC
Ryan Cardinal, P.E. – Cardinal Engineering LLC
Dave Nord – City Administrator
Brenda Follensbee – Building and Zoning Administrative Assistant
Tom Earle – Director of Public Works
Josh Gajewski – Utility Director
Greg Governatori P.E. – Kapur & Associates, Inc.

Subject: CSM REVIEW – Extraterritorial Parcel IL900001A3 (Town of Linn)
NW of Linn Road and Birches Lane and south of Lackey Lane

BACKGROUND AND REQUEST: We have completed a review of a Certified Survey Map prepared by Paul Van Henkelum of Cardinal Engineering, 3 pages, dated 08/26/2022. Our review was conducted to determine compliance with Chapter 236 of the Wisconsin State Statutes, Chapter 66 of the City of Lake Geneva Municipal Code, and good surveying practices. The Certified Survey Map dated August 26th, 2022 was reviewed.

Certified Survey Map Comments:

- *As per 236.20 (2)(k) Please add a dotted or dashed line on the main chords of the circular curve.*
- *As per 236.20 (2)(b) The legend for metal monuments shall indicate the outside diameter, length, and weight per lineal foot.*
- *On the 10th line of the Surveyor's Certificate there is a ";" in the bearing.*
- *On the 18th line of the Surveyor's Certificate the bearing "S27°04'43"W" should be "S21°04'43"W".*

We recommend approval of the Certified Survey Map subject to above surveyor's comments.

Although the material has been reviewed, the surveyor is ultimately responsible for the thoroughness and accuracy of the Certified Survey Map with state statutes and municipal city code.

Please contact me if you have any questions or comments pertaining to this project at (262) 758-6011 or gsplinter@kapurinc.com.

City of Lake Geneva

APPLICATION FOR LAND DIVISION REVIEW

☒ CERTIFIED SURVEY MAP or ☐ SUBDIVISION PLAT

ETZ

\$150

NAME AND ADDRESS OF CURRENT OWNER:

Klann-ton-linn, LLC
890 Windsor Dr, UT 14
Fontana, WI 53125

TELEPHONE NUMBER OF CURRENT OWNER: ()

OWNER SIGNATURE: Kurt Stricker (pau)

EMAIL ADDRESS: kurt@bakery.com

PROJECT ADDRESS Linn Rd Burkes Dr. TAX KEY NUMBER: IL 900001A3

NAME AND ADDRESS OF APPLICANT:

(SAMIS)

TELEPHONE NUMBER OF APPLICANT:

1 (815) 353-8127

EMAIL ADDRESS:

NAME AND ADDRESS OF SURVEYOR:

Paul Van Henkelum
1200 LaSalle
Lake Geneva

TELEPHONE NUMBER OF SURVEYOR:

414 406 3248

SHORT STATEMENT DESCRIBING PURPOSE OF APPLICATION:

ETZ Town of Linn

SUBMITTAL CHECKLIST

- ✓ LOCATION MAP SHOWING LOCATION OF PARCELS TO BE DIVIDED OR PARTIALLY DIVIDED WITH TOWN OR TOWNS, AND PARCELS WITHIN 1,000-FT OF BOUNDARY OF SUBJECT PROPERTY.
- ✓ SKETCH MAP TO APPROXIMATE SCALE SHOWING ENTIRE PARCELS TO BE DIVIDED OR PARTIALLY DIVIDED, AND SHOWING THE APPROXIMATE CONFIGURATION OF PROPOSED LOTS AND ROADS WITHIN THOSE PARCELS.
- CITY OF LAKE GENEVA SIGNATURE BLOCK ON FACE OF CSM OR PLAT, PER STATE STATUTES.
- ✓ PROVIDE 1 FULL SET AND 8 - 11" X 17" COPIES OF CSM OR PLAT PRIOR TO PLACEMENT ON PLAN COMMISSION AGENDA.
- ✓ PROVIDE 1 DIGITAL COPY OF THE FULL APPLICATION PACKET TO THE LAKE GENEVA BUILDING AND ZONING DEPARTMENT AT BZADMIN@CITYOFLAKEGENEVA.COM OR BZCLERK@CITYOFLAKEGENEVA.COM

I AM AWARE THAT THE CITY OF LAKE GENEVA IS ACTIVELY ENGAGED IN THE REVIEW, APPROVAL OR DENIAL OF LAND DIVISIONS WITHIN ITS EXTRATERRITORIAL LAND DIVISION REVIEW AREA.

I UNDERSTAND THAT THE CITY OF LAKE GENEVA LAND DIVISION ORDINANCE REQUIRES THE CITY TO DENY LAND DIVISIONS WHICH CREATE NEW, BUILDABLE PARCELS OR LOTS WITHIN THE EXTRATERRITORIAL AREA WITH OVERALL DENSITY THAT EXCEEDS MORE THAN ONE DWELLING UNIT PER THIRTY-FIVE ACRES UNLESS THE CITY DETERMINES THAT THE LAND DIVISION CONSTITUTES INFILL DEVELOPMENT.

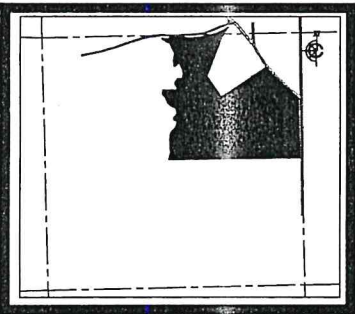
8/26/2022
DATE

Kurt Stricker (PW)
SIGNATURE OF APPLICANT

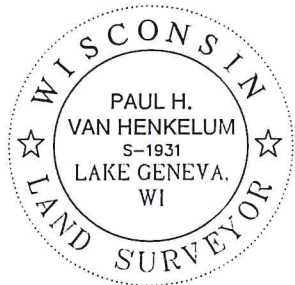
PRELIMINARY

CERTIFIED SURVEY MAP NO. _____

PART OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 AND THE SOUTHEAST 1/4 NORTHEAST 1/4 OF SECTION 9, TOWNSHIP 1 NORTH, RANGE 17 EAST, TOWN OF LINN, WALWORTH COUNTY, WISCONSIN.



SE 1/4 AND PART OF THE SE OF THE NE 1/4 SEC. 9-T1N-R17E
SCALE: 1" = 2,000'

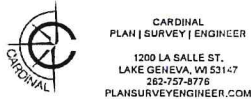
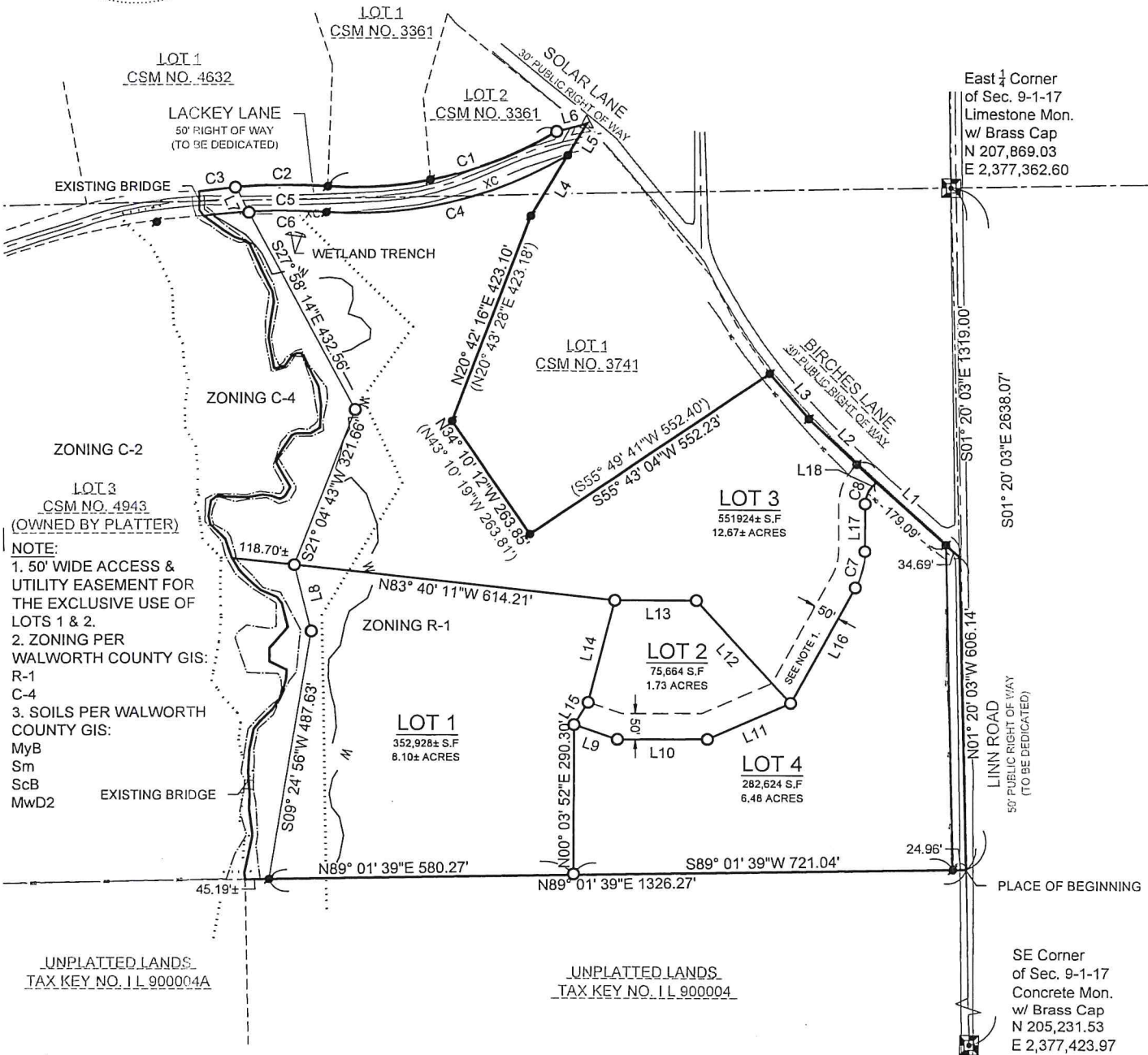
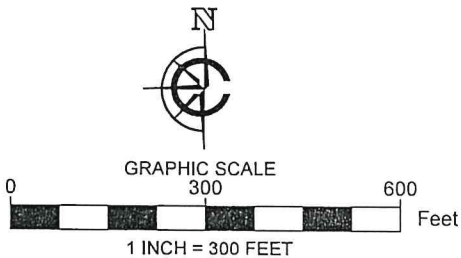


OWNERS/SUBDIVIDERS:
KLANNTOLINN LLC
890 WINDSOR DR UT 14
FONTANA, WI 53125

SURVEYOR:
PAUL H. VAN HENKELUM
CARDINAL ENGINEERING LLC
1200 LA SALLE STREET
LAKE GENEVA, WI 53147
262-757-8776

BASIS OF BEARING:
ALL BEARINGS REFER TO
GRID NORTH OF THE
WISCONSIN STATE PLANE
COORDINATE SYSTEM, SOUTH
ZONE. NAD-83.
BEARING ARE REFERENCED
TO THE EAST LINE OF THE
SOUTHEAST 1/4 OF SECTION 9,
T1N, R17E
RECORDED AS: S01° 20' 03"E

- LEGEND
- FOUND .75" IRON PIPE
 - FOUND .75" IRON ROD
 - SET 1" IRON PIPE
 - △ SET MAGNAIL
 - (xx) RECORDED AS APPROXIMATE OHWM (FOR REFERENCE ONLY)
 - ZONING BOUNDARY
 - xc— EXISTING FENCE LINE
 - w— WETLAND LINE
 - FOUND WALWORTH COUNTY SECTION CORNER



Instrument drafted by Paul H. Van Henkelum,
P.L.S.#1931

SHEET 1 OF 3
DATE 08 / 26/ 2022
JOB No. 22302

PRELIMINARY

CERTIFIED SURVEY MAP NO. _____

PART OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 AND THE SOUTHEAST 1/4 NORTHEAST 1/4 OF SECTION 9, TOWNSHIP 1 NORTH, RANGE 17 EAST, TOWN OF LINN, WALWORTH COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE:

I, PAUL H. VAN HENKELUM, PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT I HAVE SURVEYED, DIVIDED, DEDICATED, AND MAPPED THE FOLLOWING LAND HEREIN DESCRIBED:

SAID LAND IN THE SOUTHEAST 1/4 AND THE NORTHEAST 1/4 OF SECTION 9, TOWNSHIP 1 NORTH, RANGE 17 EAST, TOWN OF LINN, WALWORTH COUNTY, WISCONSIN, MORE PARTICULARLY DESCRIBED AS: COMMENCING FROM THE EAST 1/4 CORNER OF SAID SECTION 9; THENCE S01° 20' 03"E 1319.00' ALONG THE EASTERLY SECTION LINE OF SAID SECTION 9 TO THE PLACE OF BEGINNING; THENCE N01° 20' 03"W 606.14' ALONG SAID EASTERLY SECTION LINE TO THE INTERSECTION OF SAID EASTERLY SECTION LINE AND THE WESTERLY RIGHT OF WAY OF BIRCHES LANE; THENCE N47° 29' 45"W 263.78' ALONG SAID WESTERLY RIGHT OF WAY; THENCE N46° 09' 55"W 126.00' ALONG SAID WESTERLY RIGHT OF WAY; THENCE N40° 42' 34"W 114.15' ALONG SAID WESTERLY RIGHT OF WAY TO A FOUND .75" IRON ROD BEING THE SOUTHEAST CORNER OF LOT 1 OF CSM NO. 3741 AS RECORDED IN VOLUME 22, PAGE 233 AS PER THE WALWORTH COUNTY REGISTER OF DEEDS; THENCE S55° 43' 04"W 552.23' TO A .75" FOUND IRON ROD BEING THE SOUTHWEST CORNER OF SAID CSM; THENCE N34° 10' 12"W 263.85' TO A .75" FOUND IRON ROD BEING THE NORTHWEST CORNER OF SAID CSM; THENCE N20° 42' 16"E 423.10'; THENCE N30° 53' 27"E 136.25'; THENCE N30° 53' 27"E 70.97' TO A SET MAGNAIL BEING THE NORTHEAST CORNER OF SAID CSM AND ON THE WESTERLY RIGHT OF WAY OF BIRCHES LANE AND THE NORTHERLY RIGHT OF WAY OF LACKEY LANE; THENCE S75° 11' 55"W 59.48' TO A 1" SET IRON PIPE ALONG SAID NORTHERLY RIGHT OF WAY AND THE SOUTHERLY LINE OF CSM NO. 3361 AS RECORDED IN VOLUME 19, PAGE 124 AS PER THE WALWORTH COUNTY REGISTER OF DEEDS; THENCE ALONG A CURVE TO THE LEFT WITH A CHORD BEARING AND DISTANCE OF S76° 20' 50"W 448.25', A RADIUS OF 737.86', AND AN ARC LENGTH OF 455.44', ALONG SAID NORTHERLY RIGHT OF WAY AND SOUTHERLY LINE OF SAID CSM; THENCE ALONG A CURVE TO THE RIGHT WITH A CHORD BEARING AND DISTANCE OF S89° 34' 02"W 173.42', A RADIUS OF 1114.31', AND AN ARC LENGTH OF 173.59', ALONG THE SAID NORTHERLY RIGHT OF WAY AND SOUTHERLY LINE OF SAID CSM TO A SET 1" IRON PIPE ON THE MEANDER LINE OF AN EXISTING CREEK; THENCE S25° 53' 39"E 53.02' ALONG SAID MEANDER LINE TO A SET 1" IRON PIPE ON THE SOUTHERLY RIGHT OF WAY OF LACKEY LANE; THENCE S27° 58' 14"E 432.56' ALONG SAID MEANDER LINE; THENCE S27° 04' 43"W 321.66' ALONG SAID MEANDER LINE; THENCE S14° 08' 09"E 132.13' ALONG SAID MEANDER LINE; THENCE S09° 24' 56"W 487.63'; THENCE N89° 01' 39"E 1326.27' TO THE PLACE OF BEGINNING. INCLUDING ALL LANDS BETWEEN THE MEANDER LINE AND THE CENTERLINE OF SAID CREEK. CONTAINING 1,306,215 SQ. FT. MORE OR LESS.

I FURTHER CERTIFY THAT I HAVE MADE SAID MAP BY THE DIRECTION OF KLANNTONLINN LLC, OWNER OF SAID LAND. THAT SUCH MAP IS A CORRECT REPRESENTATION OF ALL THE EXTERIOR BOUNDARIES OF THE LANDS SURVEYED AND THE DIVISION THEREOF.

THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF SECTION 236.34 OF THE WISCONSIN STATUTES AND OF THE LAND DIVISION ORDINANCES OF THE TOWN OF LINN IN SURVEYING, DIVIDING, DEDICATING, AND MAPPING THE SAME.

DATED THIS _____ DAY OF _____, 20__

PAUL H. VAN HENKELUM,
PROFESSIONAL LAND SURVEYOR #1931

OWNER'S CERTIFICATE

AS OWNER, KLANNTONLINN LLC, HEREBY CERTIFY THAT I HAVE CAUSED THE LAND DESCRIBED ON THIS CERTIFIED SURVEY MAP TO BE SURVEYED, DIVIDED DEDICATED, AND MAPPED AS REPRESENTED HEREON.

AS OWNER OF SAID LAND, I FURTHER CERTIFY THAT THIS MAP IS REQUIRED TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL:

- 1.) TOWN OF LINN
- 2.) WALWORTH COUNTY

WITNESS THE HAND AND SEAL OF SAID OWNER THIS _____ DAY OF _____, 20__

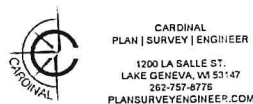
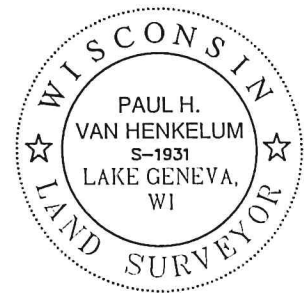
KURT STRICKER, TRUSTEE

STATE OF _____) ss
COUNTY OF _____)

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 20__
THE ABOVE NAMED _____ KURT STRICKER, TRUSTEE, TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____



Instrument drafted by Paul H. Van Henkelum,
P.L.S.#1931

SHEET 2 OF 3
DATE 08/26 / 2022
JOB No. 22302

PRELIMINARY

CERTIFIED SURVEY MAP NO. _____

PART OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 AND THE SOUTHEAST 1/4 NORTHEAST 1/4 OF SECTION 9, TOWNSHIP 1 NORTH, RANGE 17 EAST, TOWN OF LINN, WALWORTH COUNTY, WISCONSIN.

CERTIFICATE OF THE TOWN OF LINN:

RESOLVED, THAT THIS CERTIFIED SURVEY MAP IN THE TOWN OF LINN, IS HEREBY APPROVED BY THE TOWN BOARD ON THIS _____ DAY OF _____, 20____

JAMES WEISS
TOWN CHAIRMAN

CERTIFICATE OF THE CITY OF LAKE GENEVA:

RESOLVED, THAT THIS CERTIFIED SURVEY MAP, HAVING EXTRATERRITORIAL JURISDICTION OF THE CITY OF LAKE GENEVA, WISCONSIN, IS HEREBY APPROVED BY THE CITY PLAN COMMISSION ON THIS _____ DAY OF _____, 20____

CHARLENE KLEIN,
CHAIRMAN / MAYOR

LANA KROPF
CITY CLERK

WALWORTH COUNTY DEPARTMENT OF LAND USE AND
RESOURCE MANAGEMENT APPROVAL:

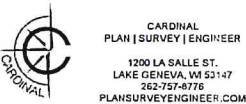
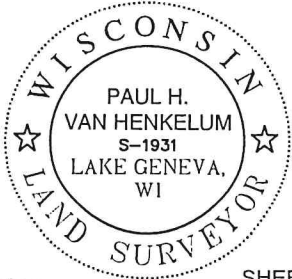
APPROVED BY THE WALWORTH COUNTY DEPT. OF LAND USE AND RESOURCE MANAGEMENT ON THIS _____ DAY OF _____, 20____.

RICK STACEY,
CHAIRMAN

LOT LINE TABLE		
LINE NUMBER	LENGTH (FT)	DIRECTION
L1	263.78	N47° 29' 45"W
L2	126.00	N46° 09' 55"W
L3	114.15	N40° 42' 34"W
L4	136.25	N30° 53' 27"E
L5	70.97	N30° 53' 27"E
L6	59.48	S75° 11' 55"W
L7	53.02	S25° 53' 39"E
L8	132.13	N14° 08' 09"W
L9	87.69	S71° 06' 56"E

LOT LINE TABLE		
LINE NUMBER	LENGTH (FT)	DIRECTION
L10	171.46	N89° 46' 23"E
L11	173.34	N66° 01' 17"E
L12	267.93	S42° 09' 55"E
L13	155.50	N89° 59' 35"E
L14	204.22	S14° 21' 56"W
L15	51.08	S31° 38' 29"W
L16	255.64	N28° 27' 20"E
L17	92.40	N00° 12' 15"E
L18	11.31	N42° 30' 15"E

LOT CURVE TABLE							
CURVE NUMBER	LENGTH (FT)	RADIUS (FT)	Δ	CHORD LENGTH	CHORD BEARING	TAN IN	TAN OUT
C1	455.44	737.86	035°21'57"	448.25	S76° 20' 50"W	S58° 39' 52"W	N85° 58' 11"W
C2	173.59	1114.31	008°55'33"	173.42	S89° 34' 02"W	N85° 58' 11"W	S85° 06' 16"W
C3	70.66 ±	1114.31	003°38'00"	70.65 ±	S83° 17' 16"W	S85° 06' 16"W	S81° 28' 16"W
C4	479.73	787.89	034°53'11"	472.36	S76° 31' 26"W	S59° 04' 51"W	N86° 01' 58"W
C5	147.65	1179.81	007°10'14"	147.56	N89° 37' 05"W	N86° 01' 58"W	S86° 47' 48"W
C6	147.65±	1179.81	007°10'14"	147.56±	N89° 37' 05"W	N86° 01' 58"W	S86° 47' 48"W
C7	73.96	150.00	028°15'05"	73.21	N14° 19' 47"E	N28° 27' 20"E	N0° 12' 15"E
C8	36.91	50.00	042°18'00"	36.08	N21° 21' 15"E	N0° 12' 15"E	N42° 30' 15"E



Instrument drafted by Paul H. Van Henkelum,
P.L.S.#1931

SHEET 3 OF 3
DATE 08 / 26 / 2022
JOB No. 22302

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: September 19, 2022

Agenda Item #9

Applicant:

Susan Jacobs
P.O. Box 685
Lake Geneva, WI 53147

Request:

747 and 747 ½ Ann Street
Parcel Number: ZF 00041
Proposed Limited Conditional Use Permit for
Commercial Indoor Lodging

Description:

The applicant is submitting a proposal for a “Limited” Conditional Use Permit (CUP) for a Commercial Indoor Lodging land use for the property located at 747 and 747 ½ Ann Street. The proposed use is subject to the requirements of Section 98-206(4)(k) pertaining to Commercial Indoor Lodging land uses.

The subject property is zoned General Business (GB). Adjacent properties include a mix of General Business (GB), Neighborhood Office (NO), and Central Business (CB). Additionally, existing Single-Family zoned properties (SR-4) are located to the north and east, but does not directly abut the subject property. The Applicant also owns the adjacent property at 741 Ann Street (directly to the east of the subject property).



The application states that the property is zoned Planned Business; however, the correct zoning district is General Business.

The property contains a two-unit, two-story residence with detached garage, which will be converted to accommodate a two-unit Commercial Indoor Lodging use containing 3 total bedrooms (2 bedrooms on the ground floor unit and 1 bedroom on the upper floor unit). The north end of the property abuts a public alley where off-street parking is also available for the property.

Commercial Indoor Lodging land uses require one parking space per bedroom, which amounts to three parking spaces required for this property. Parking is available in the driveway, which is accessed from Ann Street. The driveway is currently unpaved, and the applicant proposes to pave the driveway in order to meet code requirements. The driveway can likely accommodate up to four spaces, but these spaces are stacked and can lead to cars being “parked in.” Therefore, the driveway spaces can only serve as parking for one of the two lodging units. There are also two parking spaces available at the rear of the property, accessed from the alley. These are currently unpaved and must be paved in order to count toward minimum parking requirements. Although not included in the application, staff recommends that these spaces be paved.

Beyond paving, no other changes are proposed to the building exterior or site.

Staff Review:

The proposed use complies with all applicable requirements of Section 98-206(4)(k) pertaining to Commercial Indoor Lodging land uses. Between the driveway and rear parking spaces, sufficient off-street parking is provided.

Action by the Plan Commission:

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed Limited CUP;
- Include *findings* required by the Zoning Ordinance for Limited CUP; and,
- Provide specific suggested *requirements/conditions* to modify the project as submitted.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
1. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
1. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed conditional use is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation:

1. Staff recommends that the Plan Commission recommend approval of the proposed conditional use as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.
3. Staff recommends the following *additional condition of approval* be attached:
 - a. The Applicant shall pave the driveway per the requirements of Section 98-704(6).
 - b. The Applicant shall pave the two alley spaces per the requirements of Section 98-704(6). Minimum parking space dimensions are 9 feet x 18.5 feet.
 - c. As a Limited Conditional Use, this approval shall be limited to the current property owner. The CUP shall automatically terminate in the event the property is sold.

Suggested Motions:

- *Approve:* I recommend approval of the proposed *Limited Conditional Use Permit for Susan Jacobs, P.O. Box 685 Lake Geneva, WI 53147 for a proposed Commercial Indoor Lodging land use for the property located at 747 and 747 ½ Ann St., in the General Business (GB) zoning district, Tax Key No. ZF 00041*, including the affirmative set of findings, and any additional conditions of approval recommended by staff.

- *Deny: I recommend denial of the proposed Limited Conditional Use Permit for Susan Jacobs, P.O. Box 685 Lake Geneva, WI 53147 for a proposed Commercial Indoor Lodging land use for the property located at 747 and 747 ½ Ann St., in the General Business (GB) zoning district, Tax Key No. ZF 00041, because [provide rationale for denial, based on substantial evidence].*

*Jackie Mich, AICP
City Planning Consultant
Vandewalle & Associates*

APPLICATION FOR CONDITIONAL USE

City of Lake Geneva

Site Address/Parcel No. and full Legal Description required (attach separate sheet if necessary):

747 1/2 747 Ann ST. LAKE Geneva WI 53147
ZF 00041 LOT 44 Ferguson's Addition CITY of LAKE Geneva 0.230
ACRES

Name and Address of Current Owner: SUSAN R JACOBS

Telephone No. with area code & Email of Current Owner: 262-745-2883

SUSANJACOBS@genevaonline.com

Owner Signature: Susan Jacobs

Name and Address of Applicant:
SUSAN R JACOBS

Telephone No. with area code & Email of Applicant: 262-745-2883

SUSANJACOBS@genevaonline.com

Proposed Conditional Use: Commercial Indoor Lodging

Zoning District in which land is located: Planned Business

Names and Addresses of architect, professional engineer and contractor of project:

Short statement describing activities to take place on site:

UNITS TO BE USED AS SHORT TERM RENT

Conditional Use Fee payable upon filing application: \$400.00 [\$100.00 for Application Under Sec. 98-407(3)]

7-21-2022
Date

Susan Jacobs
Signature of Applicant

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
CONDITIONAL USE REVIEW AND APPROVAL (Requirements per Section 98-905)**

This form should be used by the Applicant as a guide to submitting a complete application for a conditional use and by the City to process said application. Parts II and III should be used by the Applicant to submit a complete application; Parts I - IV should be used by the City as a guide when processing said application.

I. RECORDATION OF ADMINISTRATIVE PROCEDURES

___ Pre-submittal staff meeting scheduled:

Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

Follow-up pre-submittal staff meetings scheduled for:

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Application form filed with Zoning Administrator: Date: _____ by: _____

___ Application fee of \$ _____ received by Zoning Administrator: Date: _____ by: _____

___ Reimbursement of professional consultant costs agreement executed: Date: _____ by: _____

II. APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 8 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 1 initial draft application packet and 1 digital copy for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (1 Copy and 1 Digital Copy to Zoning Administrator)

Date: _____ by: _____



Draft Final Packet (8 Copies and 1 Digital Copy to Zoning Administrator)

Date: _____ by: _____



___ (a) **A map of the proposed conditional use:**

- ___ Showing all lands for which the conditional use is proposed;
- ___ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;
- ___ Map and all its parts are clearly reproducible with a photocopier;
- ___ Map size of 11" by 17" and map scale not less than one inch equals 800 ft;
- ___ All lot dimensions of the subject property provided;
- ___ Graphic scale and north arrow provided.

___ (b) **A map, such as the Land Use Plan Map, of the generalized location of the subject property in relation to the City as a whole:**

___ (c) **A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations;**

- _____ (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.
- _____ (e) Written justification for the proposed conditional use:
- _____ Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. (See below)

III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

By Turning 747 Ann INTO A Short Term Rental This will
Help Revitalize This Neighborhood.

2. How is the proposed conditional use, in its specific location, in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

747 Ann is surrounded in an area of growing
businesses such as, Kuik Trip, Associated Bank,
Grocery Store, Dry Cleaner etc,

3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?

747 Ann Does NOT Have any adverse Impact. The Property
Does Have enough off street parking for a Short Term Rental

4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

By Improving The Neighborhood

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

Was a Multi Unit Before and will Continue To Be
Residential Short Term Rental.

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

Yes

IV. FINAL APPLICATION PACKET INFORMATION

- ____ Receipt of 1 full scale copy in blue/line or black/line
of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____
- ____ Receipt of 8 reduced (8.5" by 11" text and 11" x 17" graphics)
copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____
- ____ A digital copy of Final Application Packet shall be emailed to the
Building and Zoning Department upon submittal deadline. Date: _____ by: _____
- ____ Certification of complete Final Application Packet and
required copies to the Zoning Administrator by City Clerk: Date: _____ by: _____
- ____ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: _____ by: _____
- ____ Class 2 Legal Notice published on _____ and _____ by: _____
- ____ Conditional Use recorded with the County Register of Deeds Office: Date: _____ by: _____

CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR: SITE PLAN REVIEW AND APPROVAL (Requirements per Section 98-908)

This form should be used by the Applicant as a guide to submitting a complete application for a site plan review and by the City to process said application. Part II should be used by the Applicant to submit a complete application; Parts I - III should be used by the City as a guide when processing said application.

I. RECORDATION OF ADMINISTRATIVE PROCEDURES

____ Pre-submittal staff meeting scheduled:

Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

Follow-up pre-submittal staff meetings scheduled for:

____ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

____ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

____ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

____ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

____ Application form filed with Zoning Administrator: Date: _____ by: _____

____ Application fee of \$ ____ received by Zoning Administrator: Date: _____ by: _____

____ Reimbursement of professional consultant costs agreement executed: Date: _____ by: _____

II. APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 8 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 1 initial draft application packet and 1 digital copy for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (1 Copy and 1 Digital Copy to Zoning Administrator)

Date: _____ by: _____

⇓

Draft Final Packet (8 Copies and 1 Digital Copy to Zoning Administrator)

Date: _____ by: _____

⇓

____ (a) A written description of the intended use describing in reasonable detail the:

____ Existing zoning district(s) (and proposed zoning district(s) if different);

____ Land use plan map designation(s);

____ Current land uses present on the subject property;

____ Proposed land uses for the subject property (per Section 98-206);

____ Projected number of residents, employees, and daily customers;

____ Proposed amount of dwelling units, floor area, impervious surface area, and landscape surface area, and resulting site density, floor area ratio, impervious surface area ratio, and landscape surface area ratio;

____ Operational considerations relating to hours of operation, projected normal and peak water usage, sanitary sewer or septic loadings, and traffic generation;

- _____ Operational considerations relating to potential nuisance creation pertaining to noncompliance with the performance standards addressed in Article VII (Sections 98-701-98-721) including: street access, traffic visibility, parking, loading, exterior storage, exterior lighting, vibration, noise, air pollution, odor, electromagnetic radiation, glare and heat, fire and explosion, toxic or noxious materials, waste materials, drainage, and hazardous materials;
- _____ If no nuisances will be created (as indicated by complete and continuous compliance with the provisions of Article VII), then include the statement "The proposed development shall comply with all requirements of Article VII.";
- _____ Exterior building and fencing materials (Sections 98-718 and 98-720);
- _____ Possible future expansion and related implications for points above;
- _____ Any other information pertinent to adequate understanding by the Plan Commission of the intended use and its relation to nearby properties.

_____ (b) **A Small Location Map** at 11" x 17" showing the subject property, all properties within 300 feet, and illustrating its relationship to the nearest street intersection. (A photocopy of the pertinent section of the City's Official Zoning Map with the subject property clearly indicated shall suffice to meet this requirement.)

_____ (c) **A Property Site Plan drawing which includes:**

- _____ A title block which indicates the name, address and phone/fax number(s) of the current property owner and/or agent(s) (developer, architect, engineer, planner) for project;
- _____ The date of the original plan and the latest date of revision to the plan;
- _____ A north arrow and a graphic scale (not smaller than one inch equals 100 feet);
- _____ A reduction of the drawing at 11" x 17";
- _____ A legal description of the subject property;
- _____ All property lines and existing and proposed right-of-way lines with bearings and dimensions clearly labeled;
- _____ All existing and proposed easement lines and dimensions with a key provided and explained on the margins of the plan as to ownership and purpose;
- _____ All required building setback lines;
- _____ All existing and proposed buildings, structures, and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities, and walls;
- _____ The location and dimension (cross-section and entry throat) of all access points onto public streets;
- _____ The location and dimension of all on-site parking (and off-site parking provisions if they are to be employed), including a summary of the number of parking stalls provided versus required by the Ordinance;
- _____ The location and dimension of all loading and service areas on the subject property and labels indicating the dimension of such areas;
- _____ The location of all outdoor storage areas and the design of all screening devices;
- _____ The location, type, height, size and lighting of all signage on the subject property to include a photometric plan;
- _____ The location, height, design/type, illumination power and orientation of all exterior lighting on the subject property -- including the clear demonstration of compliance with Section 98-707;
- _____ All engineering requirements for utilities, site designs, etc;
- _____ The location and type of any permanently protected green space areas;
- _____ The location of existing and proposed drainage facilities for storm water;

_____ In the legend, data for the subject property on:

- _____ Lot Area;
- _____ Floor Area;
- _____ Floor Area Ratio (b/a);
- _____ Impervious Surface Area;
- _____ Impervious Surface Ratio (d/a);
- _____ Building Height.

_____ (d) **A Detailed Landscaping Plan of the subject property:**

- _____ Scale same as main plan (> or equal to 1" equals 100')
- _____ Map reduction at 11" x 17"
- _____ Showing the location of all required buffer yard and landscaping areas
- _____ Showing existing and proposed Landscape Point fencing
- _____ Showing berm options for meeting said requirements
- _____ Demonstrating complete compliance with the requirements of Article VI
- _____ Providing individual plant locations and species, fencing types and heights, and berm heights;

_____ (e) **A Grading and Erosion Control Plan:**

- _____ Same scale as the main plan (> or equal to 1" equals 100')
- _____ Map reduction at 11" x 17"
- _____ Showing existing and proposed grades including retention walls and related devices, and erosion control measures.

_____ (f) **Elevation Drawings of proposed buildings or remodeling of existing buildings:**

- _____ Showing finished exterior treatment;
- _____ With adequate labels provided to clearly depict exterior materials, texture, color and overall appearance;
- _____ Perspective renderings of the proposed project and/or photos of similar structures may be submitted, but not in lieu of adequate drawings showing the actual intended appearance of the buildings.

NOTE: Initiation of Land Use or Development Activity: Absolutely no land use or development activity, including site clearing, grubbing, or grading shall occur on the subject property prior to the approval of the required site plan. Any such activity prior to such approval shall be a violation of law and shall be subject to all applicable enforcement mechanisms and penalties.

NOTE: Modification of an Approved Site Plan: Any and all variation between development and/or land use activity on the subject property and the approved site plan is a violation of law. An approved site plan shall be revised and approved via the procedures of Subsections 98-908(2) and (4) so as to clearly and completely depict any and all proposed modifications to the previously approved site plan, prior to the initiation of said modifications.

III.FINAL APPLICATION PACKET INFORMATION

_____ Receipt of 1 full scale copy in blueline or blackline
of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

_____ Receipt of 8 reduced (8.5" by 11" text and 11" x 17" graphics)
copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

_____ A digital copy of Final Application Packet shall be emailed to the
Building and Zoning Department upon submittal deadline. Date: _____ by: _____

Development Review Committee (DRC) Application

Complete as much detailed information as possible to allow for a comprehensive departmental review prior to a Development Review Committee meeting. This application must be returned to the Building Inspector, with all conceptual plans, designs and other information prior to the scheduling a DRC meeting.

Applicant Information

Property Address 747 Ann ST. LAKE GENOA WI 53147
Applicant name Susan R Jacobs
Applicant email Susan.Jacobs@genoaonline.com Phone Number 262-745-2883

Architect/Contractor/Designer Name _____
Architect/Contractor/Designer Email _____ Phone Number _____

Type of Construction: New _____ Addition _____ Remodel _____
Type of Development: Single-family _____ Multi-family _____ Commercial _____ Industrial _____
Type of Business _____

Engineering

Site Plans should include the following: Project title and owner's/developer's name and address noted, architect's and/or engineer's name and address noted, property boundaries and dimensions, abutting property zoning classifications, general description of building materials, façade and roof detail, setback lines indicated, easements for access, if any, 100-year floodplain identification, existing and proposed topography shown at a contour interval of one foot, indicating proposed grade and location of improvements, signage and outdoor lighting, number of parking spaces provided, type, size and location of all structures with all building dimensions shown, location of existing and general location of proposed sanitary sewers, storm sewers, water-mains, and any proposed stormwater management facilities, location, extent and type of proposed landscaping and landscaping plantings and buffers to adjacent property, including fencing or other screening, location of pedestrian sidewalks and walkways, graphic outline of any development staging that is planned, driveway locations and sizes, handicap accessibility, environmental concerns (odor, smoke, noise, graphic scale and north arrow).

- Storm water management provisions provided? YES / NO
 - As-built/certification notification
- Erosion control plan provided? YES / NO
- Wetlands, floodplains, environmental corridors, groundwater Identified. YES / NO
- Utility Plans Provided
 - Watermain
 - Sanitary Sewer
 - Storm Water
- Is a Land Division required? YES / NO
- Access points and dimensions shown? YES / NO
 - WISDOT Right-of-way?
 - County Right-of-way?
- Estimated Traffic impacts _____
 - Traffic Study Required YES/NO
 - Traffic Control Plan Required YES/NO
 - Will construction affect street parking or intersections? YES / NO

- Paving Materials, Typical Sections? YES / NO
- WDNR Notice of Intent required? (Land disturbance more than 1 acre)? YES / NO
- Watermain extension required? YES / NO
- Sanitary sewer extension required? YES / NO
- SEWRPC Service Area Amendment needed? YES / NO
- Is a Chapter 30 Permit (wetland/waterway) required? YES / NO
- Proposed building/expansion dimensions _____
- Will there be signage? YES / NO type (mounted, freestanding) _____
- Exterior lighting plans? YES / NO
- What kind of noise or level of noise will the business have? _____
- Detailed property Site Plan? YES / NO Date of Plan: _____
- Green Space Calculations (Existing vs. Proposed) YES / NO
- Are landscape plans provided? YES / NO
- Is a Land Division required? YES / NO

Water/Sewer Utilities

If an existing structure please circle the following:

- Will existing sewer & water connections be used? YES / NO
- Will your project require the installation of a grease interceptor? YES / NO

If the development is Commercial or Industrial, please provide the following:

- Water service size requirement _____
- Estimated daily water usage in gallons per day _____
- Estimated maximum water flow in gallons per minute _____
- Number of bathrooms _____
- Brief description of process (if Industrial) _____

If the development is a multi-family dwelling, please provide the following:

- Number of units _____
- Number of bedrooms in each unit _____
- Water service size requirement _____

The property located at 747 Ann St. Lake Geneva, WI 53147 owned by Susan R. Jacobs. I have owned this property for the past 15 years and have been using this property which is a 2 unit as an annual rental. During this time I have tried to improve this property and I feel turning 747 and 747 1/2 Ann St. into a short term rental is the best use and will also be an improvement to the City of Lake Geneva.

I'm have experience in running a short term rental which I did In Florida for 3 years and always had a Premier Plus rating with VRBO. Also, I currently am a property manager for several properties in Lake Geneva and have the experience to take on this new business venture.

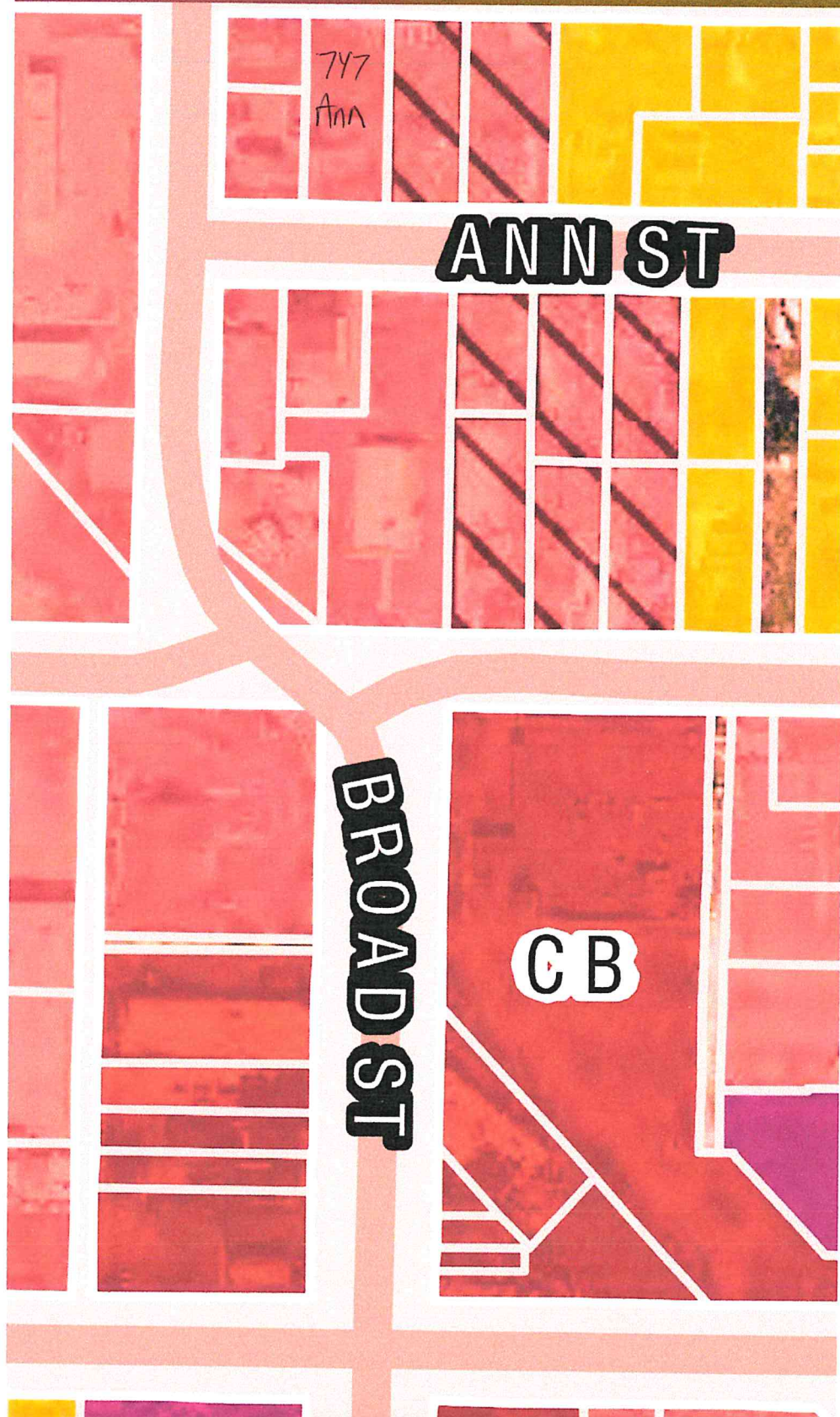
I'm sure I will have the same success with this unit too.

Tax Key ZF. 00041

If you have any further questions I can be reach my cell 262-745-2883 or email susanjacobs@genevaonline.com

A handwritten signature in black ink, appearing to read 'Susan Jacobs', with a stylized, cursive script.

8:02

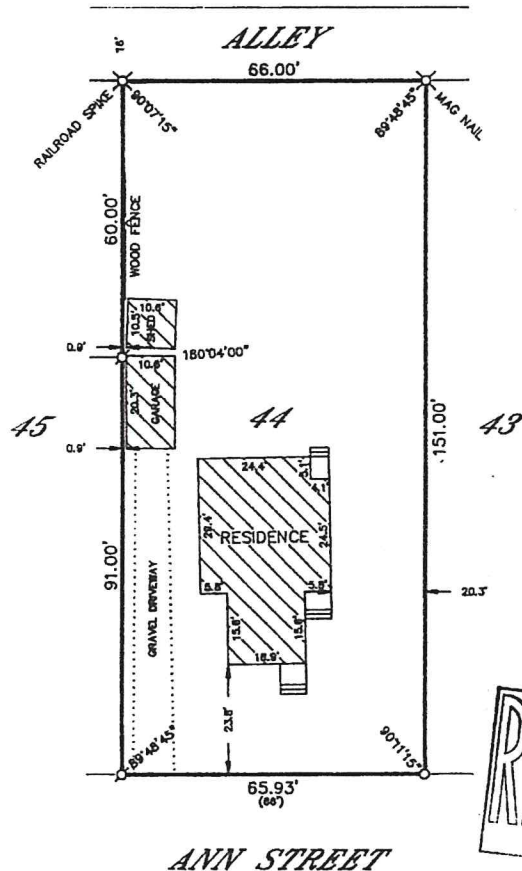


cityoflakegeneva.com



**WALWORTH COUNTY
SURVEYING & MAPPING**

P. O. BOX 1115
LAKE GENEVA, WISCONSIN
414-248-0505



PLAT OF SURVEY OF

LOT 44 OF FERGUSON'S ADDITION, LOCATED
IN THE CITY OF LAKE GENEVA, WALWORTH
COUNTY, WISCONSIN.

ORDERED BY: REALTY WORLD-TAGGART
797 WELLS STREET
LAKE GENEVA, WISCONSIN
53147

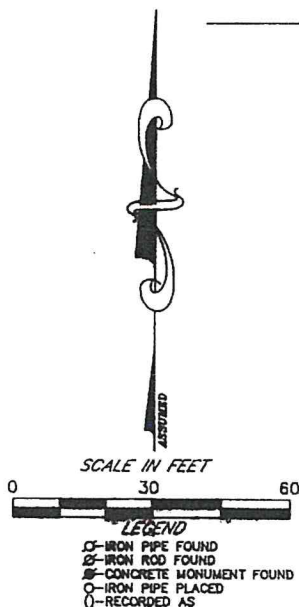
I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED
PROPERTY AND THAT THE ABOVE MAP IS A TRUE REPRESENTATION
THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY,
ITS EXTERIOR BOUNDARIES, THE LOCATION OF ALL VISIBLE STRUCTURES
AND DIMENSIONS OF ALL PRINCIPAL BUILDINGS THEREON, BOUNDARY
FENCES, APPARENT EASEMENTS, ROADWAYS AND VISIBLE ENCLAVEMENTS,
IF ANY, TO THE BEST OF MY KNOWLEDGE AND BELIEF.

THIS SURVEY IS MADE FOR THE USE OF THE PRESENT OWNERS OF
THE PROPERTY AND ALSO THOSE WHO PURCHASE, MORTGAGE OR
GUARANTEE THE TITLE THERETO WITHIN ONE (1) YEAR FROM DATE
HEREOF.

Robert M. Baerewald
ROBERT M. BAEREWALD
WISCONSIN REGISTERED LAND SURVEYOR, 5-1508

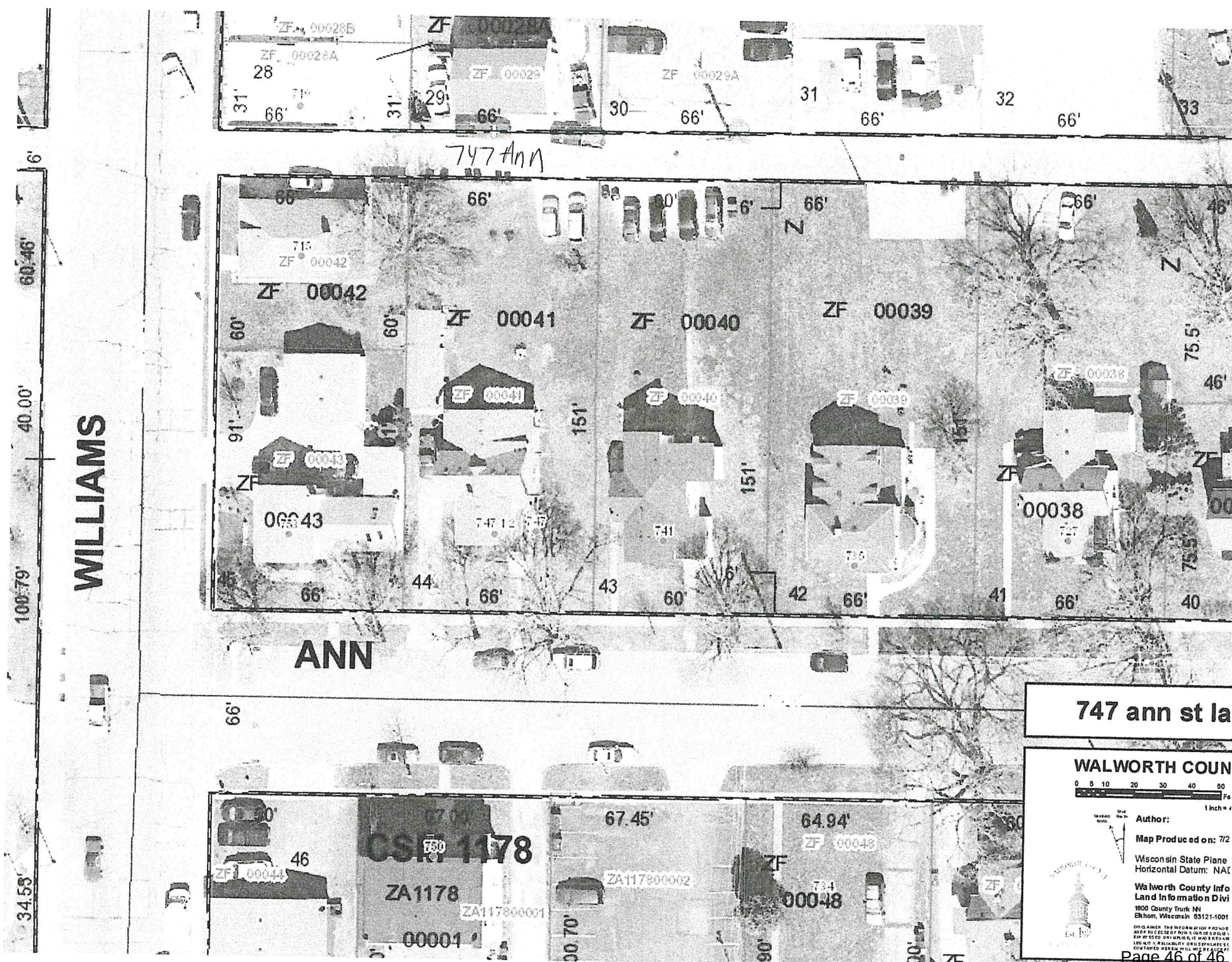
DATE *Dec. 19, 1997*
JOB NO. 5105-2

NOTE: THIS IS NOT A CERTIFIED COPY UNLESS SEALED.



ZF-41

007-1955



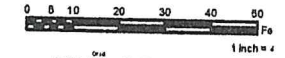
WILLIAMS

ANN

747 Ann

747 ann st la

WALWORTH COUN



Author:
Map Produced on: 7/2
Wisconsin State Plane
Horizontal Datum: NAD
Walworth County Info
Land Information Divi
1800 County Trunk N
Elkhorn, Wisconsin 53121-1001
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OR A WARRANTY OF ANY KIND. THE USER
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FOR A DETAILED ANALYSIS OF ANY PROPERTY
BOUNDARIES.