



City of Lake Geneva, 626 Geneva St, Lake Geneva, WI 53147- 262.248.3673- www.cityoflakegeneva.com

CITY OF LAKE GENEVA SPECIAL COMMON COUNCIL

TUESDAY, SEPTEMBER 21, 2021 6:00 P.M.

LAKE GENEVA CITY HALL; COUNCIL CHAMBERS (MAIN LEVEL)

Members:

Mayor Charlene Klein, Council President, Rich Hedlund, Council Vice President, John Halverson,
Alderspersons: Tim Dunn, Mary Jo Fesenmaier, Cindy Flower, Ken Howell, Shari Straube, and Joan Yunker

CITY HALL WILL BE OPEN TO THE PUBLIC DURING ALL MEETINGS. THE CITY OF LAKE GENEVA IS HOLDING ALL MEETINGS VIRTUALLY AS WELL AS IN PERSON. IF YOU WISH TO LISTEN OR WATCH THE MEETING YOU MAY DO SO BY USING THE FOLLOWING:

1. Links to the City of Lake Geneva's live video stream can be found at www.cityoflakegeneva.com/video
2. Television: Watch live broadcast of the meeting on Spectrum Cable Channel 25
3. Listen to audio via phone: (602) 333-2017 (Long distance rates may apply) (888) 204-5987 (Toll Free) **Access Code:** 9746153

AGENDA

1. Mayor Klein call the meeting to order
2. Roll Call
3. Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will be limited to 5 minutes
4. Discussion/Action regarding change order #1 filed by Hogan Environmental Cleaning for the Library Asbestos Abatement Project in an amount no to exceed \$3,995.00
5. **Adjournment**

Requests from persons with disabilities, who need assistance to participate in this meeting or hearing, should be made to the City Clerk's office in advance so the appropriate accommodations can be made.

Proposal Submitted To:

Attn: Jim Jozwiakowski
Environmental Management Consulting, Inc.
W7748 County Highway V.
Lake Mills, WI. 53551
jjozwiakowski@emc-wi.com

Project Title:

PR# 002.1
Cost for Additional
Asbestos Removal Work

Project Location:

Lake Geneva Public Library

Date:

September 15, 2021

Provided By:

HOGAN ENVIRONMENTAL CLEANING

**HOGAN ENVIRONMENTAL CLEANING
(HEC)**
INDUSTRIAL – RESIDENTIAL – COMMERCIAL

September 15, 2021

Mr. Jim Jozwiakowski
Environmental Management Consulting, Inc.
W7748 County Hwy. V
Lake Mills, WI. 53551
O: 920-648-6343
M: 608-444-2791
E: jjozwiakowski@emc-wi.com

**RE: Additional cost for asbestos removal services at Lake Geneva Public library
per PR# 002.1.**

Dear Mr. Jim Jozwiakowski

Thank you very much for the opportunity to bid on the above-mentioned project. Hogan Environmental Cleaning (HEC) offers comprehensive solutions for all industries. At HEC we provide the industry's most comprehensive array of services focusing on your business goals. We are pleased to submit the following proposal for remediation services for your review and consideration.

Thank you for your interest in the services provided by HEC. Should you have any questions, comments or concerns please feel free to contact me using my contact information below. We look forward to working with you.

Sincerely,

John F Hogan
President
Hogan Environmental Cleaning
2815 Buell Drive
East Troy, WI. 53120
Off: 815-675-6683
Mob: 920-680-8978
E: jhogan@hoganec.com

Scope of Services

Additional cost for asbestos removal services per proposal request #002. The work will be done inside our ongoing containments.

Scope of change work includes:

- Revised scope of work identified on architectural sheet AD1.2 – demolition plans – Legend, “demolition Key notes” 162-171.
- Alternate price options 1 and 2 (ADD) for additional “asbestos removal services”.
 1. Option 1 (ADD) removal, abate ceiling and vertical legs of the ceiling above main lobby 103 and south lobby 115. Replacement of ceiling by others.
 2. Option 2 (ADD) cut and abate the existing ceiling above main lobby 103 and south lobby 115 2 feet from peak. Furring strips covering with drywall and texture to match to be performed by others.
 3. Option 3 (ADD) approximately 200 square feet of drywall, asbestos and non-asbestos plaster ceiling from room 106

Work practices:

- Scope of work will be performed inside our ongoing containment.
- Work will be coordinated and under the direction of “EMC” the owners third-party consultant.
- We have estimated approx. 8 additional work days to completed additional scope of work.

Pricing:

Price for Sheet AD1.2 – demo plans – “demolition Key Notes: 162 – 171.	
Price.....	\$18,650.00
Alternate Option 1 (ADD) abatement of full lobby 103 & south lobby 115 ceiling.	
Price.....	\$10,200.00
Alternate Option 2 (ADD) partial abatement of main lobby 103 & south Lobby 115 ceiling.	
Price.....	\$6,480.00
(furring strips, drywall, texture and painting by others)	
Alternate Option 3 (ADD) abatement of room 106 drywall, asbestos and non-asbestos plaster ceiling	
Price	\$3,995.00

Assumptions:

1. Adequate supply of electrical to be supplied by owner during the remediation process.
2. The above estimate is based upon the RFP and direction of EMC. Should additional work be requested or recommended, it shall be performed at a pre-negotiated rate.
3. Unimpeded access to work during the remediation process.
4. Owner will hire third-party consultant “EMC” to conduct and required clearance requirements.
5. Time frame for completion dates will be confirmed with EMC.

**HOGAN ENVIRONMENTAL CLEANING
(HEC)**
INDUSTRIAL – RESIDENTIAL – COMMERCIAL

Budgetary Cost Break Downs:

1. **Sheet AD1.2 demo key notes: 162 – 171**
Approx. 800 sf of drywall ceiling layer, asbestos layer and non-asbestos plaster layer from MTG Rm 107 & Adult Collection 106.
450 sf of asbestos layer materials in the reading area 114.
5 ea. 3' x 3' openings for new lights in the reading area 114.
\$13,600.00 labor (240 hrs.)
\$1,450.00 consumable/materials/supplies
\$700.00 equipment
\$1,500.00 disposal
\$500.00 management/insurance/overhead
2. **Option 1 (Add) abatement of full lobby 103 & south lobby 115 ceiling.**
Approx. 978 sf of ceiling and vertical leg walls.
\$7,700.00 labor (145 hrs.)
\$850.00 consumable/materials/supplies
\$550.00 equipment.
\$650.00 disposal
\$450.00 management/insurance/overhead
3. **Option 2 (Add) partial abatement of main lobby 103 & south lobby 115 ceiling.**
Approx. 175 sf of ceiling
\$5,100.00 labor (95 hrs.)
\$480.00 consumable/materials/supplies
\$340.00 equipment.
\$165.00 disposal
\$395.00 management/insurance/overhead

Payment Terms:

- All labor, material and equipment will be billed in accordance with attached fee schedule.
- Payments shall be made 30 DAYS AFTER RECEIPT OF INVOICE
- Payment must be remitted to:
Hogan Environmental Cleaning
2815 Buell Dr.
East Troy, WI. 53120
FEIN: 85-3829020

DOCUMENT ACCEPTANCE SIGNATURES

The undersigned guarantor, on behalf of the Client, guarantees to Hogan Environmental Cleaning (HEC) the prompt payment of all sums due under this agreement.

CUSTOMER ACCEPTANCE:

X_____	X_____
Signature	Printed Name
X_____	X_____
Date	Purchase Order Number

- The acceptance page must be completely executed and returned to HEC either by mail, fax or email granting HEC the approval and authority to start the work stated herein. Please be advised that once this has been received by HEC, any cancellation or rescheduling by the Client will be subject to cancellation/rescheduling charges.

**HOGAN ENVIRONMENTAL CLEANING
(HEC)**
INDUSTRIAL – RESIDENTIAL - COMMERCIAL

- The signing of this proposal by the above Client authorized representative gives HEC the approval, acceptance and authority to proceed accordingly.

**HOGAN ENVIRONMENTAL CLEANING
Authorized Signature:**

X John F Hogan

Signature

X 09/17/2021

Date

X John F Hogan

Printed Name

CONFIDENTIALITY STATEMENT

Hogan Environmental Cleaning (HEC) emphasizes that this proposal contains proprietary information and is intended solely for the use of the Customer in the evaluation of this proposal.

TERMS AND CONDITIONS

1. Performance of Work HEC shall, directly or through HEC affiliated companies or Client approved subcontractors, perform the services, provide the materials, and perform all other work or obligations necessary to complete the attached Statement of Work or attached quotation/proposal.

In the event the services include analytical, collection, management, transportation, disposal and/or recycling services for waste materials (Waste), Client will complete a Waste Profile Sheet or other written document describing the Waste ("Profile Sheet"). Client will warrant that the Profile Sheet will contain a true and correct description of the Waste, and that such Waste will conform to this description. If the Waste does not conform to the description in the Profile Sheet, HEC can, at its sole option, return it to Client or required Client to remove and dispose of the non-conforming waste at Client's expense, and reimburse HEC for any expense incurred by HEC. In the event HEC performs work on Client's premises, Client will provide HEC with a safe workplace, and if requested by HEC, Client shall be solely responsible for securing such Work areas and for preventing anyone other than HEC personnel from entering the designated work areas.

2. Changes HEC and Client, without invalidating this Agreement, may order or request changes in the Work within the general scope of this Agreement. If such change increases or decreases the time required to complete the work, or the cost of the work, the parties shall complete a written change order prior to HEC performing additional work. Notwithstanding the foregoing, HEC shall act, in its sole discretion, perform any work required to prevent threatened damage, injury, or loss to persons, property or the environment prior to obtaining written authorization. In such cases, the parties will reduce the change to writing as soon as practicable.

3. Standard of Care HEC shall exercise the standard of care normally exercised within the industry in the performance of services pursuant to this Agreement.

4. Permits and Licenses HEC represents that it holds the occupational and professional licenses required for the performance of its services generally expected to be performed under this Agreement.

5. Information Client shall provide full and complete information regarding its requirements for the Work and shall immediately transmit to HEC any new information which becomes available or any changes in plans subsequent to such providing of information.

6. Credit check Client understands performance of the work contemplated under this Agreement may be subject to HEC approval of Client's credit worthiness, and Client expressly authorizes HEC to investigate Client's credit history and hereby authorizes those contacted by HEC to release information requested by HEC in due course of its investigation.

7. Indemnification Both parties agree to indemnify and save harmless the other party, (including its directors, officers, employees, agents, and subcontractors) from and against any and all liabilities, claims, demands and causes of action for bodily injury to or death of any person or destruction of or damage to any property that occurred as a direct result of the negligent performance of any requirements of this Agreement, or the failure to comply with or fulfill the parties obligations under this Agreement, or as a result of the negligent or intentional acts of the party. Where personal injury or death or loss of, damage to or destruction of property is the result of the joint negligence or intentional misconduct of both parties, the amount of the claim for which the parties shall be entitled to indemnification shall be limited to that portion thereof attributable to intentional misconduct of each party. In no event shall either party be responsible to the other for consequential, incidental, special, indirect or punitive damages in connection with this Agreement, whether based in contract, tort, strict liability, and statute or otherwise. Notwithstanding.

8. Independent contractor HEC shall perform the work necessary to complete the Work with HEC's employees, affiliated company's employees, or agents under the control of HEC at all times shall maintain the status of an independent contractor.

9. Excuse of performance The performance of this Agreement, except for the payment of money for services already rendered, may be suspended by either party in the event performance of this Agreement is prevented by a cause, or causes, beyond the reasonable control of either party. Such causes shall include, but are not limited to: Acts of God; Acts of war or sabotage; Riot;

**HOGAN ENVIRONMENTAL CLEANING
(HEC)**
INDUSTRIAL – RESIDENTIAL - COMMERCIAL

Fire; Explosion; Accident; Flood; Lack of adequate fuel, power, raw materials, labor or transportation facilities; Governmental laws, regulations, requirements, orders or actions; Breakage of failure of machinery or apparatus; National defense requirements; Injunctions or restraining orders; Labor trouble, strike, lockout or injunction (provided that neither party shall be required to settle a labor dispute against its own best judgment.

10 Quantities The quantities identified in the Statement of Work are estimates for planning purposes. Reimbursement to HEC shall be on the basis of actual work performed.

11. Waiver Any waiver by either party of any provision or condition of this Agreement shall not be construed or deemed to be a waiver of any other provision or condition of this Agreement, nor a waiver of subsequent breach of the same provision or condition, unless such waiver be so expressed in writing and signed by the party to be bound.

12. Construction The validity, interpretation, and performance of this Agreement shall be governed and construed in accordance with the laws. All paragraph headings herein are for convenience only and are in no way to be construed as part of this Agreement or as a limitation on the scope of the particular sections to which they refer.

13. Limitation of Liability Except to the extent finally determined to have resulted from HEC's gross negligence or intentional misconduct, HEC aggregate liability for all claims, losses, liabilities or damages in connection with this agreement or its subject matter, whether as a result of breach of contract, tort (including negligence) or otherwise, regardless of the theory of liability asserted, will be no greater of fees paid to HEC.

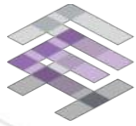
14. Severability If any section, subsection, sentence or clause of this Agreement shall be adjudged illegal, invalid, or unenforceable, such illegality, invalidity, or unenforceability shall not affect the legality, validity, or enforceability of this Agreement as a whole, or of any section, subsection, sentence or clause hereof not so adjudged.

15. Notice Any official notice, communication or statement required or permitted to be given hereunder shall be in writing and deemed to have been sufficiently given when delivered in person, or by registered or certified mail, postage prepaid, return receipt requested to the address of the respective party below:

Contractor	Client
Hogan Environmental Cleaning	_____
John F Hogan	_____
2815 Buel Dr.	_____
East Troy, WI. 53120	_____

16. Entire Agreement This Agreement and its attachments, and any duly executed change orders, represent the entire understanding and agreement between the parties hereto concerning the Work and supersedes any and all prior agreements, whether written or oral, that may exist between the parties regarding same.

17. Amendments This Agreement may be amended or modified only by a written amendment to the Agreement signed by both parties. Additional or different terms or any attempt by either party, by purchase order, or other document, to vary in any degree any of the terms of this Agreement shall be deemed material and shall be rejected, unless this provision is expressly waived by the other party.



PROPOSAL REQUEST (PR)

DATE	09/17/2021		
PR #	002.2	# OF PAGES	9 (INCLUDING COVER)
CONTRACT FOR	SELZER-ORNST CONSTRUCTION COMPANY, LLC.		
ATTENTION	DONALD MICHNA, PROJECT MANAGER		
ADDRESS	6222 WEST STATE STREET MILWAUKEE, WISCONSIN 53213		
FEH PROJECT NUMBER	2019411.03		
PROJECT NAME	LAKE GENEVA LIBRARY - SAFETY RENOVATIONS		
ADDRESS	918 WEST MAIN STREET LAKE GENEVA, WISCONSIN 53147		
ISSUED BY	PATRICK SCHNELL, PROJECT MANAGER		
ATTACHMENTS	NAMED SHEETS		
DISTRIBUTION	PROJECT TEAM		
The work shall be carried out in accordance with the following supplemental instructions issued in accordance with the Contract Documents without charge in Contract Sum or Contract Time. Proceeding with the work in accordance with these instructions indicated your acknowledgement that there will be no change in the Contract Sum or Contract Time.			
COMMENTS			

ARCHITECTURAL

MAIN LOBBY – 103

- No change to the existing ceiling.

ADULT COLLECTION – 106

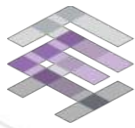
- No change to the existing ceiling.

MEETING ROOM – 107

- Abatement contractor to remove plaster ceiling.
- Install new 5/8" gypsum wall board ceiling fastened to existing structure; caulk around perimeter; finish gypsum board ceiling with a fine-sand float texture.

READING AREAS – 114

- No change to the existing ceilings.



SOUTH LOBBY – 115

- Pending result of asbestos materials test, no change to the existing ceiling.
- If asbestos materials should be discovered, a proposal request will be made to either abate the ceiling or delete the light fixture P1.

ELECTRICAL

ED1.1 ELECTRICAL DEMOLITION PLAN

Adult Collection 106:

- Existing lighting to remain from grid column 27 to east wall.

Reading Areas 114:

- Existing downlights to remain.

Main Lobby 103:

- Existing ceiling fixtures to remain.

E1.1 ELECTRICAL LIGHTING FLOOR PLAN

Adult Collection 106:

- Existing lighting to remain.

Reading Areas 114:

- Revise type L3 light fixture location.
- Add Note 10.

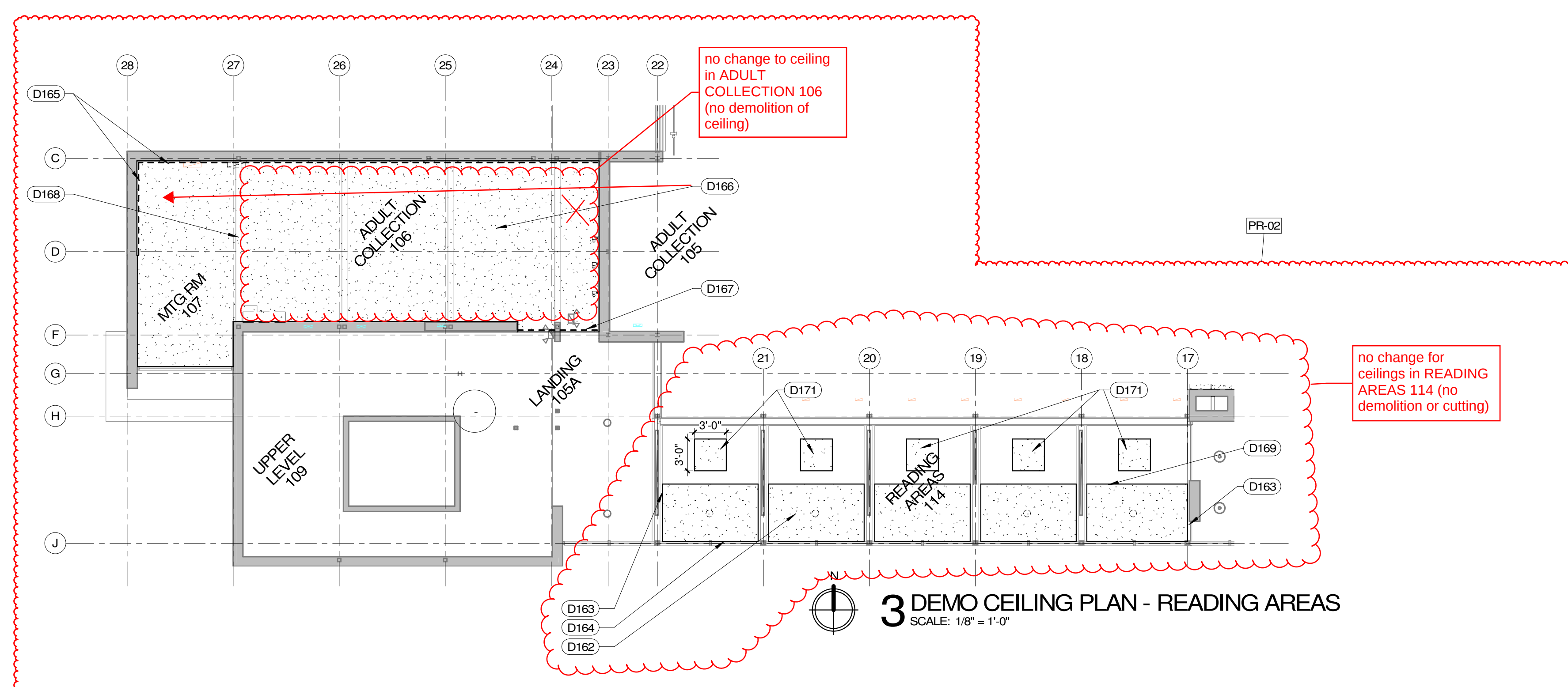
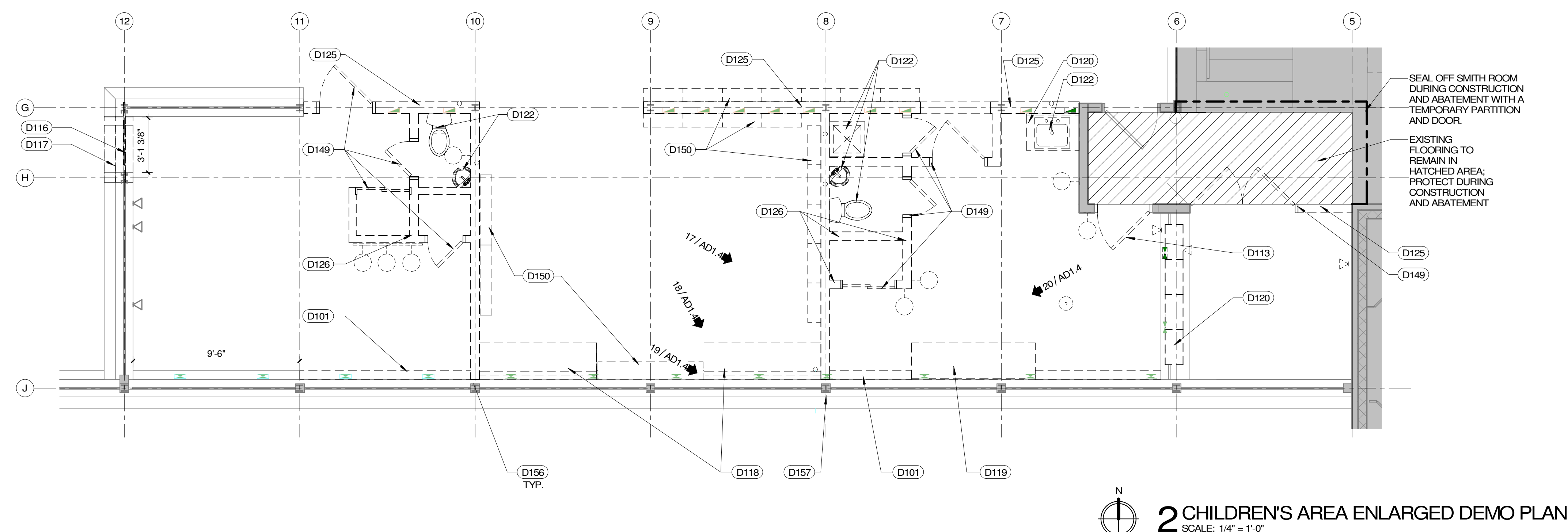
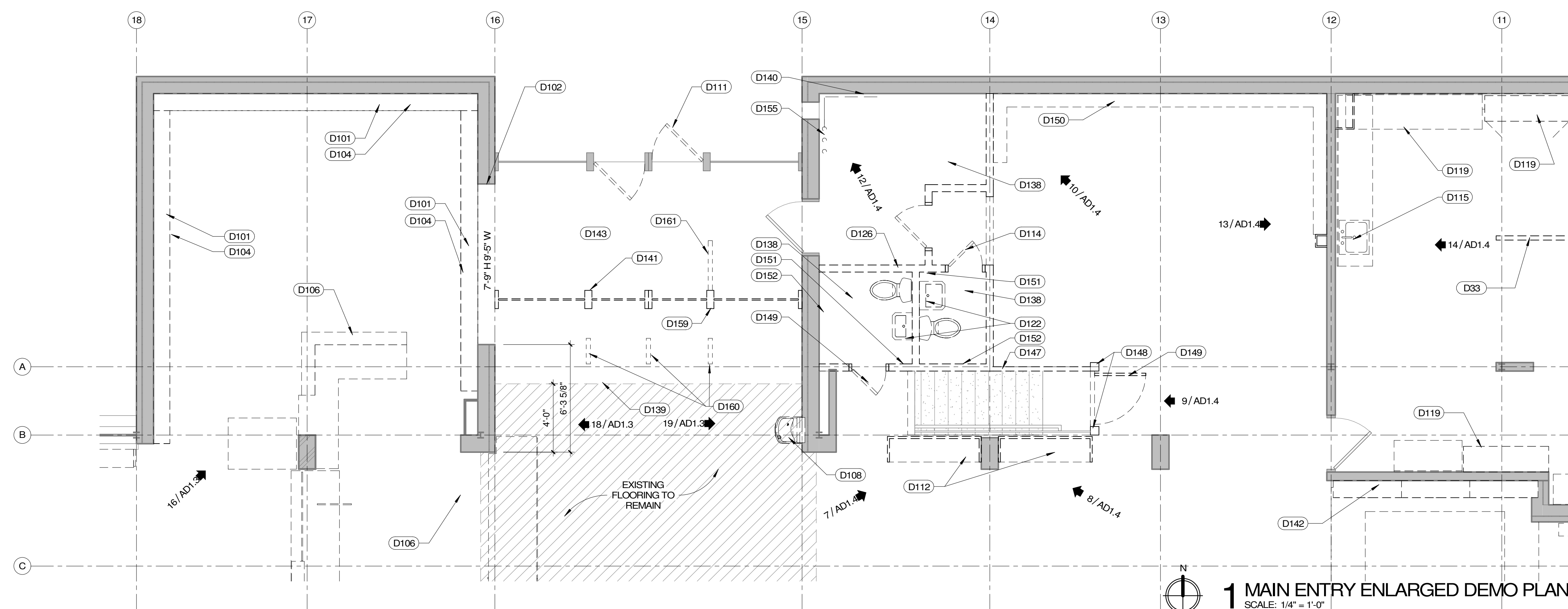
Main Lobby 103:

- Existing ceiling fixtures to remain.
- Delete (3) P1 fixtures in Lobby 103.

E6.2 ELECTRICAL SCHEDULES

Light Fixture Schedule:

- Revise type L3 fixture.



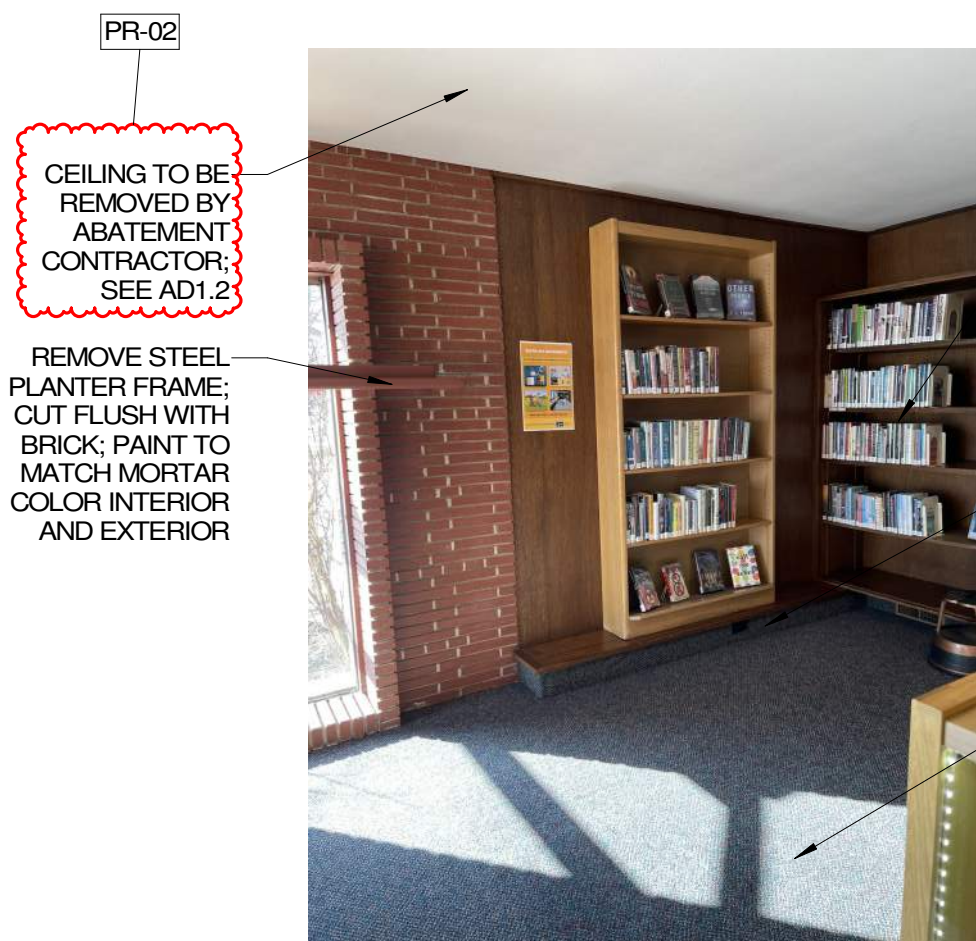
DEMOLITION KEYNOTES	
D33	REMOVE EXISTING EQUIPMENT
D101	REMOVE MECHANICAL TOE KICK; PREP FOR FLOOR PATCH AND NEW FLOORING
D102	CUT NEW OPENING IN EXISTING WALL; SALVAGE AND CLEAN BRICK FOR USE IN NEW WORK; SEE NEW CONSTRUCTION DRAWINGS FOR SIZE AND LOCATION OF OPENING
D104	REMOVE BUILT-IN BOOK SHELVING
D105	REMOVE CIRCULATION DESK; PROTECT QUARRY TILE DURING DEMOLITION; CLEAN AND PATCH FLOOR AND BRICK WALL
D108	REMOVE DRINKING FOUNTAIN
D111	REMOVE DOOR
D112	REMOVE DISPLAY CASE; CLEAN AND PATCH ADJACENT BRICK WALL; PREP FLOOR FOR NEW FINISH
D113	SALVAGE EXISTING DOOR AND HARDWARE; REUSE IN NEW WORK
D114	REMOVE DOOR
D115	REMOVE EXISTING PLUMBING FIXTURE
D116	REMOVE GLAZING BETWEEN MULLIONS
D117	REMOVE CONCRETE SILL AND MASONRY WALL; GRIND CUT FACE SMOOTH
D118	REMOVE BUILT-IN BENCH SEATING; PATCH FLOOR AND ADJACENT WALLS AS NEEDED
D119	REMOVE COUNTERTOP AND CASEWORK
D120	REMOVE EXISTING CASEWORK
D122	REMOVE PLUMBING FIXTURES, PIPING, AND ALL ASSOCIATED ELEMENTS; PATCH FLOOR AND PREP FOR NEW FINISH
D125	REMOVE EXISTING WALL UP TO BOTTOM OF BULKHEAD TRIM (TYP 7'-9", VERIFY)
D126	REMOVE EXISTING WALL; PATCH FLOOR AND AS NEEDED
D138	QUARRY TILE TO BE REMOVED BY GENERAL CONTRACTOR; PREP FOR NEW FLOORING; SEE FINISH PLAN AND SCHEDULE ON A9.1
D139	REMOVE QUARRY TILE TO EDGE OF FULL TILE
D140	PATCH FLOOR AND WALL WHERE PIPING WAS REMOVED
D141	REMOVE WOOD-FRAMED STOREFRONT SYSTEM, GLASS, AND DOOR HARDWARE; SET ASIDE AND REASSEMBLE IN NEW LOCATION; REPAIR BRICK AND PATCH PLASTER CEILING WHERE REMOVED
D142	REMOVE EXISTING UPPER CASEWORK; PATCH WALL AND CEILING
D143	REMOVE EXISTING QUARRY TILE IN VESTIBULE; PREP FLOOR FOR NEW WALK-OFF CARPET
D147	REMOVE EXISTING WALL
D148	REMOVE EXISTING WOOD POST
D149	REMOVE DOOR AND FRAME
D150	REMOVE BUILT-IN SHELVING AND MECHANICAL TOE KICK; PREP FLOOR AND WALL FOR PATCHES
D151	SALVAGE EXISTING ELECTRIC HAND DRYER; SET ASIDE AND PROTECT; REUSE IN NEW WORK
D152	SALVAGE EXISTING CHANGING STATION; SET ASIDE AND PROTECT; REUSE IN NEW WORK
D154	REMOVE LIGHT FIXTURE; SEE ELECTRICAL PLANS
D155	REMOVE EXISTING PIPING; SEE PLUMBING DRAWINGS
D156	CLEAN FACE OF COLUMN WHERE WALL WAS REMOVED; PREP FOR NEW PAINT
D157	REMOVE 4 SECTIONS SHELVING, CUTOFFMOUTH DEPTH AND SALVAGE TO BE REINSTALLED
D159	REMOVE AUTOMATIC DOOR OPENER PADDLE
D160	SALVAGE BOOK SECURITY DETECTION SYSTEMS; SET ASIDE AND REUSE IN NEW WORK
D161	SALVAGE METAL RAILING WITH DOOR STOP; REUSE IN NEW WORK
D162	ABATEMENT CONTRACTOR TO REMOVE ASBESTOS LAYER FROM CEILING IN HATCHED AREA; NON-ASBESTOS PLASTER SUBSTRATE TO REMAIN
D163	STOP ASBESTOS REMOVAL AT EDGE OF WOOD BEAM OR TRIM
D164	STOP ASBESTOS REMOVAL WHERE CEILING TRANSITIONS TO WALL
D165	REMOVE WOOD TRIM MOLDING FROM NORTH AND WEST PERIMETER OF CEILING
D166	ABATEMENT CONTRACTOR TO REMOVE PLASTER CEILING FROM HATCHED AREA
D167	CEILING TO BE REMOVED UP TO EDGE OF WOOD TRIM; WOOD TRIM TO REMAIN IN THIS LOCATION
D168	WOOD BEAMS TO REMAIN
D169	ABATEMENT CONTRACTOR TO REMOVE ASBESTOS LAYER FROM VERTICAL FACE OF SOFFIT; NON-ASBESTOS PLASTER SUBSTRATE TO REMAIN
D171	CUT 3'-0" X 3'-0" HOLE IN EXISTING CEILING FOR INSTALLATION OF NEW LIGHTING FIXTURE

DEMOLITION HATCH LEGEND

	EXISTING FLOORING TO REMAIN
	LATH AND PLASTER CEILING
	EXISTING CONSTRUCTION TO REMAIN / NO WORK
	ELEMENTS TO BE REMOVED

ARCHITECTURAL DEMOLITION NOTES

1. THE CONTRACTOR SHALL EXAMINE SITE AND PORTIONS THEREOF TO ASCERTAIN AND CHECK ALL EXISTING CONDITIONS AND DIMENSIONS WHICH MAY AFFECT THE CONTRACTOR'S WORK. NO ALLOWANCE SHALL SUBSEQUENTLY BE MADE IN THE CONTRACTOR'S BEHAVIOR FOR ANY EXPENSE TO WHICH THE CONTRACTOR MAY PAY DUE TO FAILURE OR NEGLIGENCE ON ONE'S PART TO MAKE AN EXAMINATION. ANY CONFLICTS OR DISCREPANCIES, ETC. ARE TO BE REPORTED IMMEDIATELY TO THE ARCHITECT.
2. CONTRACTOR SHALL MAKE EVERY EFFORT TO MINIMIZE DUST AND NOISE TO SURROUNDING PROPERTIES. SITE ACCESS SHALL BE LIMITED TO LOCATIONS SHOWN OR COORDINATED WITH OWNER.
3. PROVIDE AESTHETICALLY (TO OTHERS) FOR SAFETY AND PROTECTION FROM DUST, ETC. OF OCCUPIED AREAS DURING CONSTRUCTION AND DEMOLITION.
4. REMOVE PORTIONS OF EXISTING CONSTRUCTION AS NOTED ON THE DRAWINGS AND AS NECESSARY TO ACCOMMODATE THE NEW CONSTRUCTION. PROVIDE REPAIR TO EXISTING CONSTRUCTION AS NOTED ON THE DRAWINGS.
5. CONTRACTOR NOTE: SOME ANCHILARY/MINOR DEMOLITION AND PATCH/REPAIR MAY NOT BE SHOWN SPECIFICALLY. CONTRACTOR SHALL PROVIDE AND COORDINATE ALL ANCHILARY/MINOR WORK REQUIRED TO COMPLETE NEW WORK AS DESIGNED. VERIFY CONDITIONS WITH ARCHITECT REPRESENTATIVE BEFOREWORK.
6. THE CONTRACTOR IS CAUTIONED THAT THIS PROJECT INVOLVES ALTERATION TO EXISTING FACILITIES. WORK WHICH IS REQUIRED TO BE PERFORMED TO PROVIDE A COMPLETELY OPERABLE INSTALLATION WITHIN THE SCOPE OF THE WORK, BUT WHICH IS NOT SPECIFICALLY IDENTIFIED AS SUCH IN THE PROJECT DESCRIPTION, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
7. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND CONSTRUCTION REPRESENTATIVE IMMEDIATELY OF ANY UTILITIES NOT IDENTIFIED FOUND IN CONSTRUCTION TO BE REMOVED.
8. "EXISTING" IN THIS SPECIFICATION, WITHOUT A "NEW" (OR "EXISTING") (E) DESIGNATION SHALL BE CONSIDERED NEW.
9. EXISTING BUILDING DIMENSIONS AS SHOWN ON THE PLANS MAY DIFFER PLUS OR MINUS; FIELD VERIFY.
10. WHERE INDICATED ON THE PLANS, ALIGN NEW WALLS WITH THE FACE OF EXISTING WALLS, COLUMNS AND FURRING FOR A FLUSH CONDITION. FIELD VERIFY EXISTING WALL THICKNESS AND FINISH.
11. WHERE NEW OPENINGS OCCUR AT EXISTING FAMED WALLS, FIELD VERIFY EXISTING WALL THICKNESS. NEW WALL TO BE FURRED AS NEEDED TO MATCH EXISTING WALL CONSTRUCTION THICKNESS.
12. EXISTING SURFACES TO REMAIN OR TO BE ALTERED BY EXISTING WORK ALTERED BY NEW WORK. ALL NEW AND PATCHED SURFACES SHALL BE SMOOTH, CONTINUOUSLY FREE OF IMPERFECTIONS AND IN PROPER CONDITION TO RECEIVE THE FINISH PER THE PROJECT MANUAL. IN PATCHED AREAS OR ANY AREA WHERE A FINISH IS NOT IDENTIFIED, THE AREA SHALL MATCH ADJACENT MATERIAL IN COLOR, GRAIN, COLOR AND TEXTURE. EXISTING SURFACES TO BE REMOVED OR REPAIRED BY NEW WORK, WHICH ARE DAMAGED OR STAINED, ETC. SHALL BE REPAIRED OR REPLACED AS NECESSARY WITH SALVAGED OR NEW MATCHING MATERIAL.
13. FASTENER ATTACHMENTS onto EXISTING CONCRETE SURFACES: DO NOT DAMAGE EXISTING EMBEDDED REINFORCEMENT BARS LOCATE EXISTING REINFORCEMENT BARS WITH A PACHOMETER PRIOR TO INSTALLING FASTENERS TO AVOID DAMAGING EXISTING REINFORCING BARS.
14. THE EXISTING OWNERS INTEND TO OCCUPY A DESIGNATED PORTION OF THE BUILDING AND MAINTAIN OPERATIONS. SUBMIT A SCHEDULING PROPOSAL TO THE ARCHITECT AND OWNER FOR REVIEW AND SEQUENCING FOR REVIEW AND ACCEPTANCE BY THE OWNER AND ARCHITECT PRIOR TO COMMENCEMENT OF DEMOLITION WORK.
15. ABATEMENT CONTRACTOR TO REMOVE ALL EXISTING CARPET AND CORE FLOORING UNTO.
16. CONTRACTOR TO REMOVE CEILING WHERE NOTED PRIOR TO CONSTRUCTION.
17. CONTRACTOR TO COVER AND PROTECT EXISTING IT CABINET IN THE BASEMENT DURING DEMOLITION AND CONSTRUCTION.



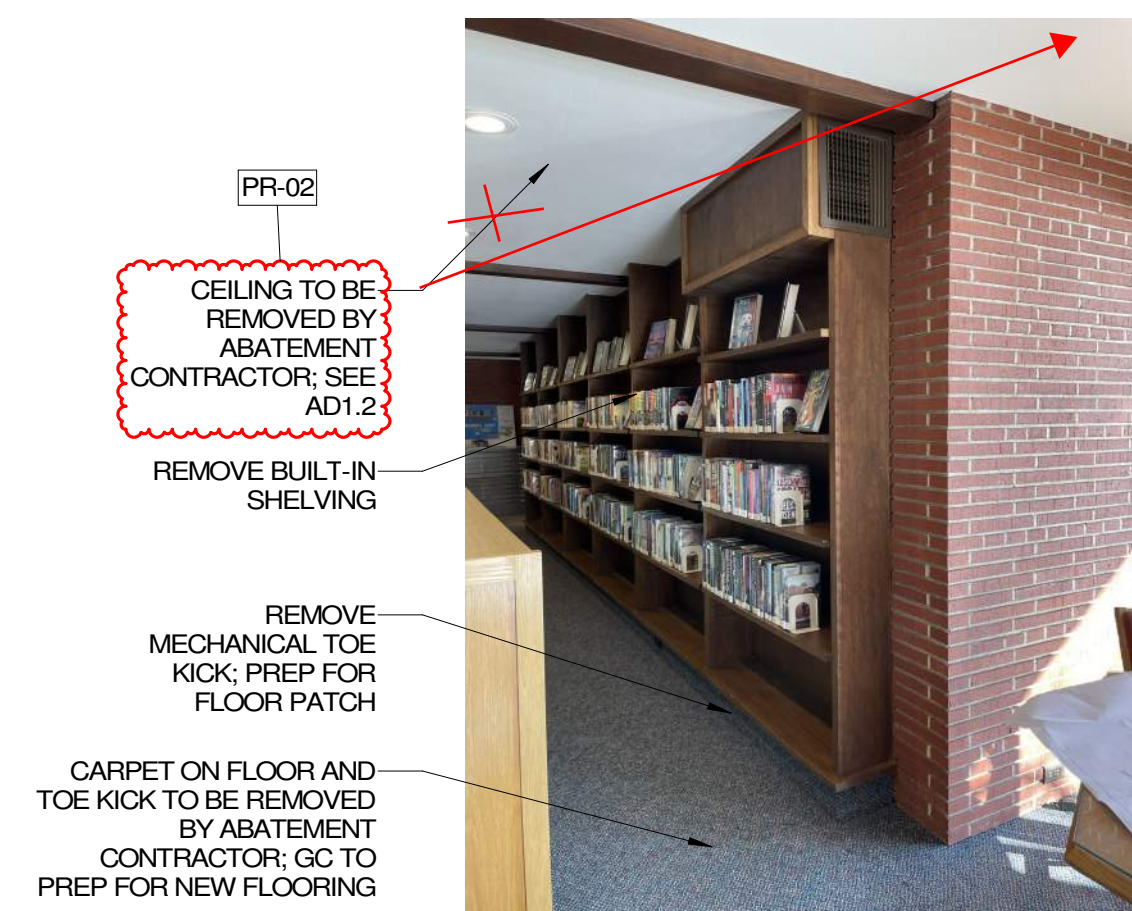
1 NW REFERENCE
NOT TO SCALE



2 INTERIOR PLANTER
NOT TO SCALE



3 EXTERIOR PLANTER
NOT TO SCALE



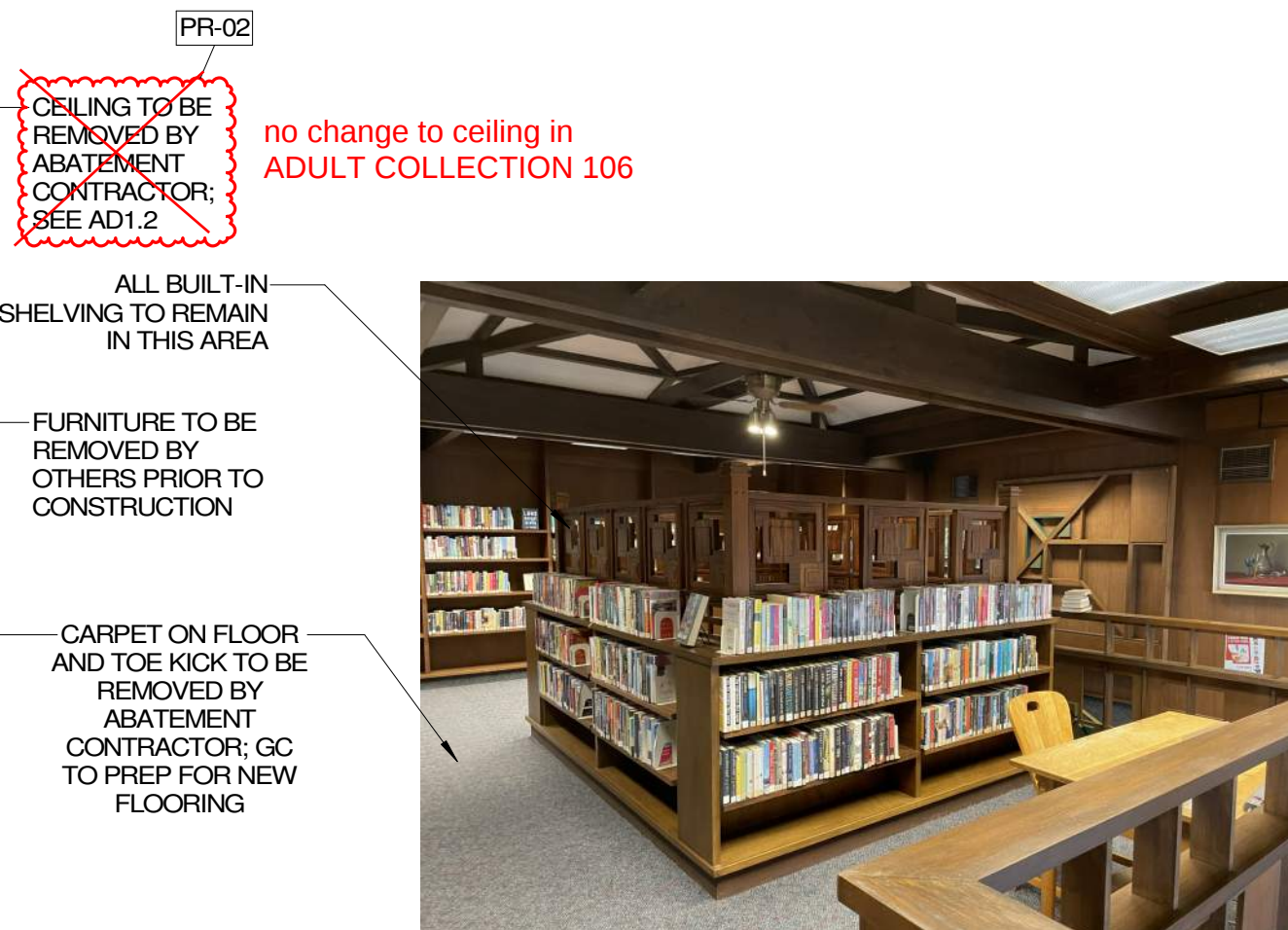
4 SOUTH WALL REFERENCE
NOT TO SCALE



5 SE CORNER REFERENCE
NOT TO SCALE



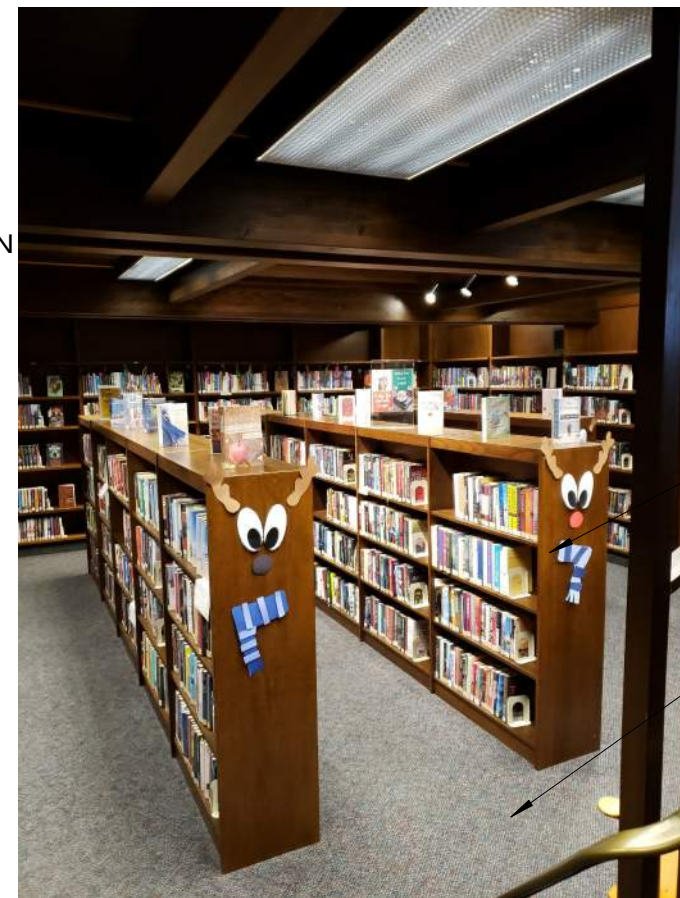
6 REFERENCE LOOKING WEST
NOT TO SCALE



7 UPPER LEVEL
NOT TO SCALE



8 UPPER LEVEL STAIR
NOT TO SCALE



9 LOWER LEVEL
NOT TO SCALE



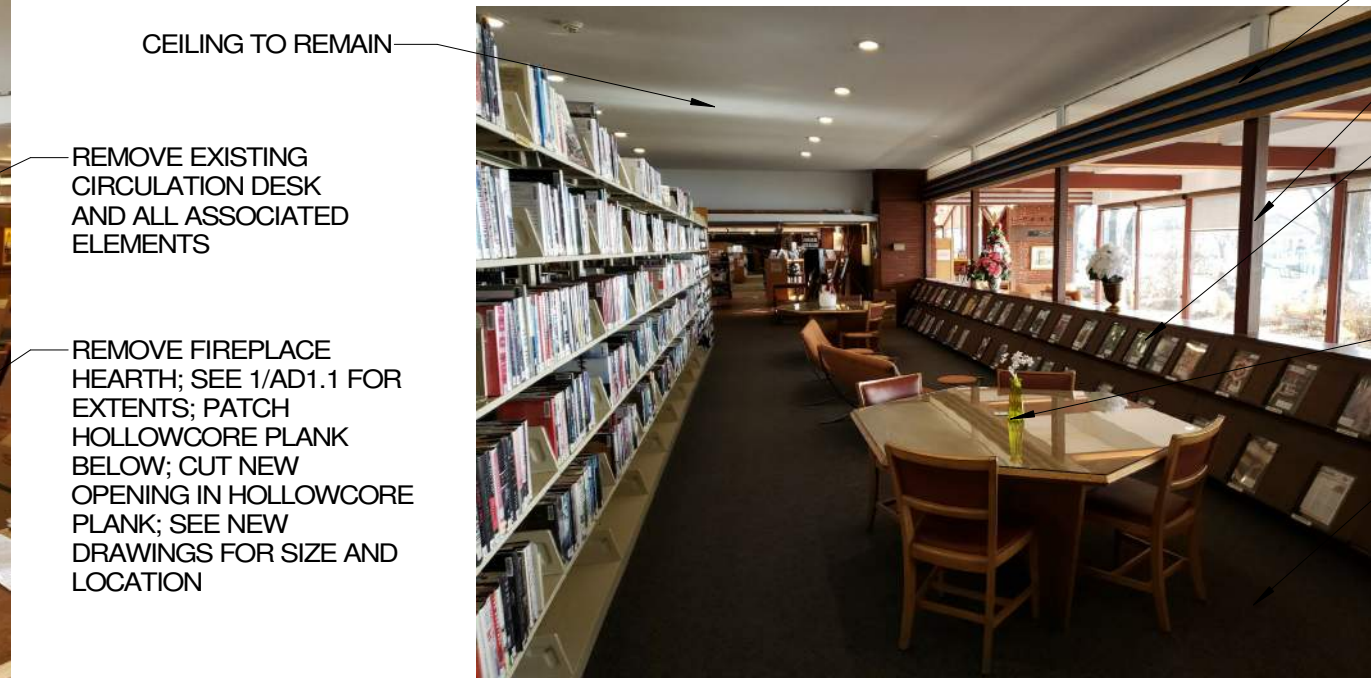
10 LOWER LEVEL STAIR
NOT TO SCALE



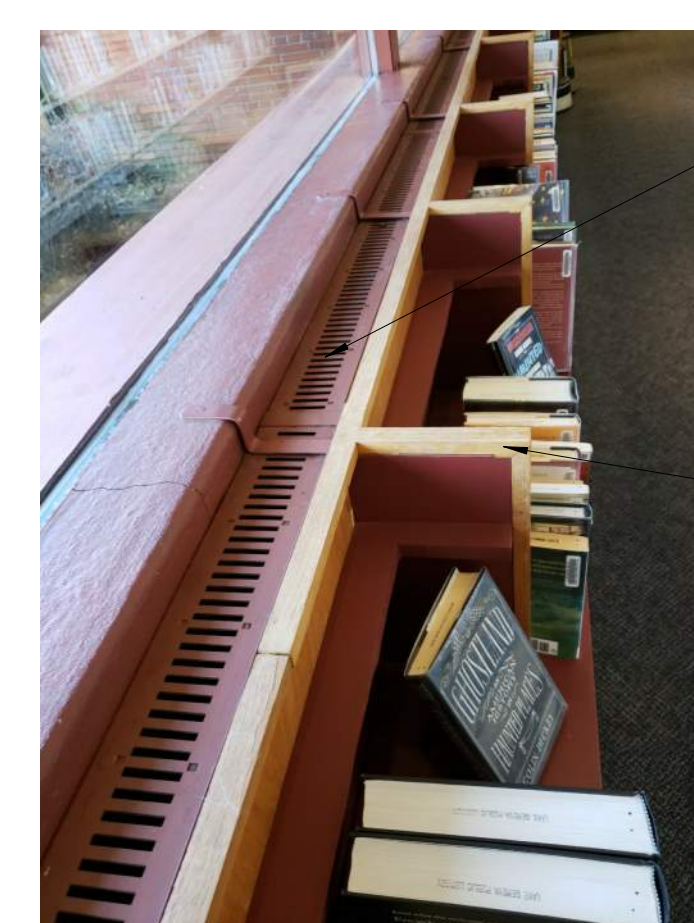
11 FRIENDS
NOT TO SCALE



12 WEST SOFFIT SHELF
NOT TO SCALE



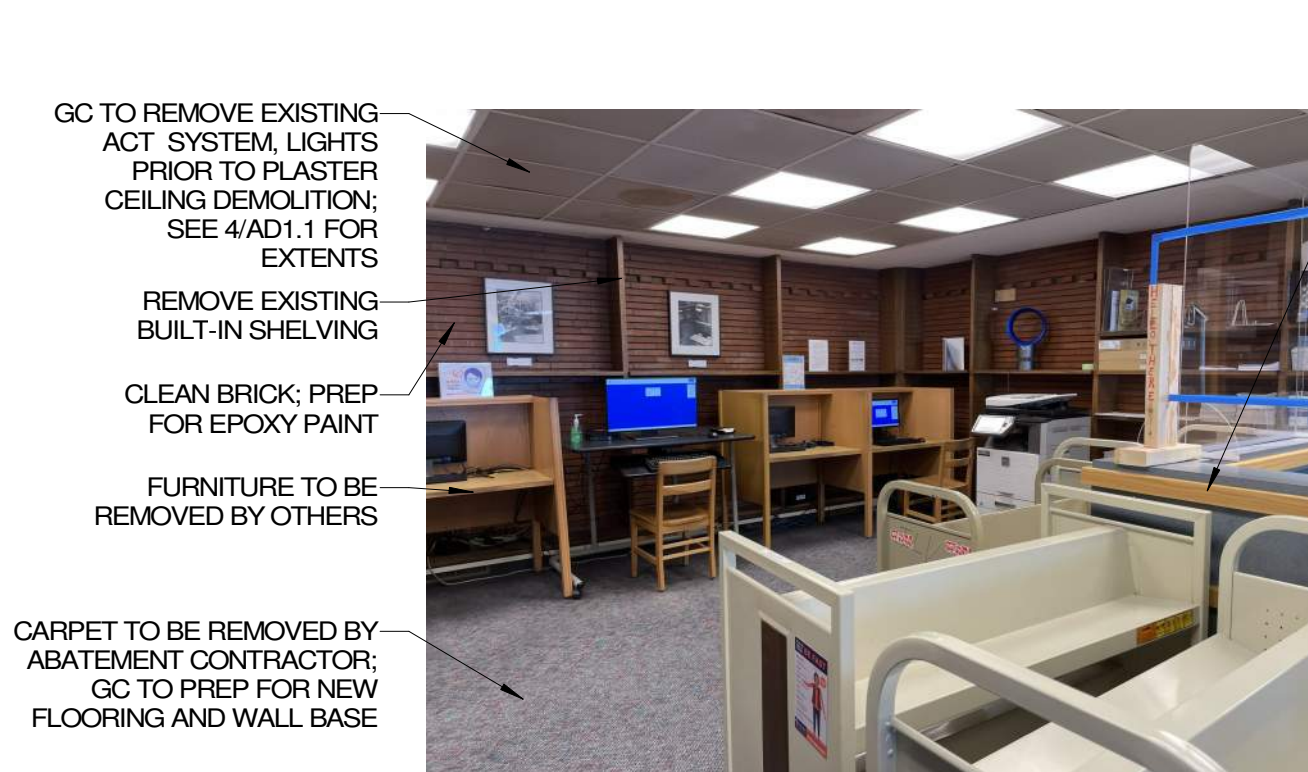
13 MAGAZINE SHELVES
NOT TO SCALE



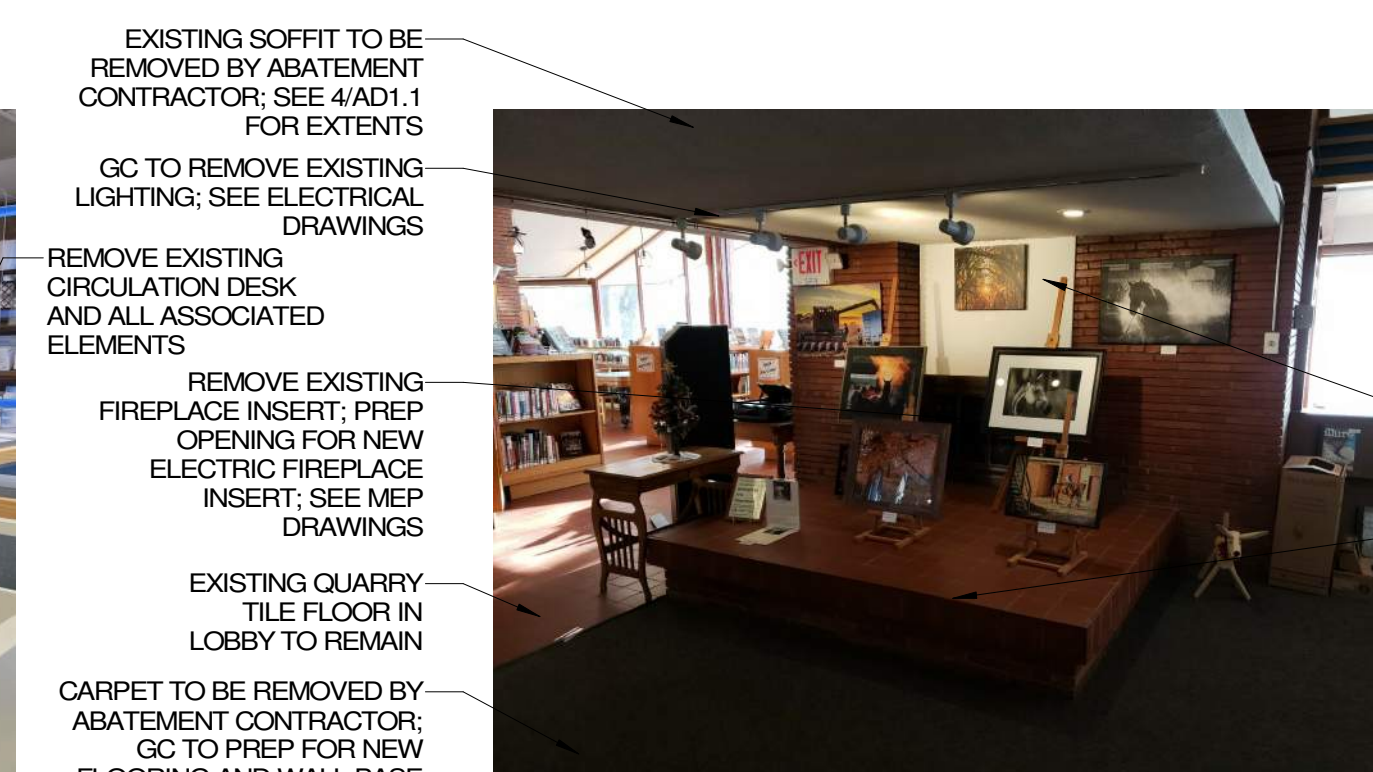
14 BUILT-IN BOOKSHELF GRILLE
NOT TO SCALE



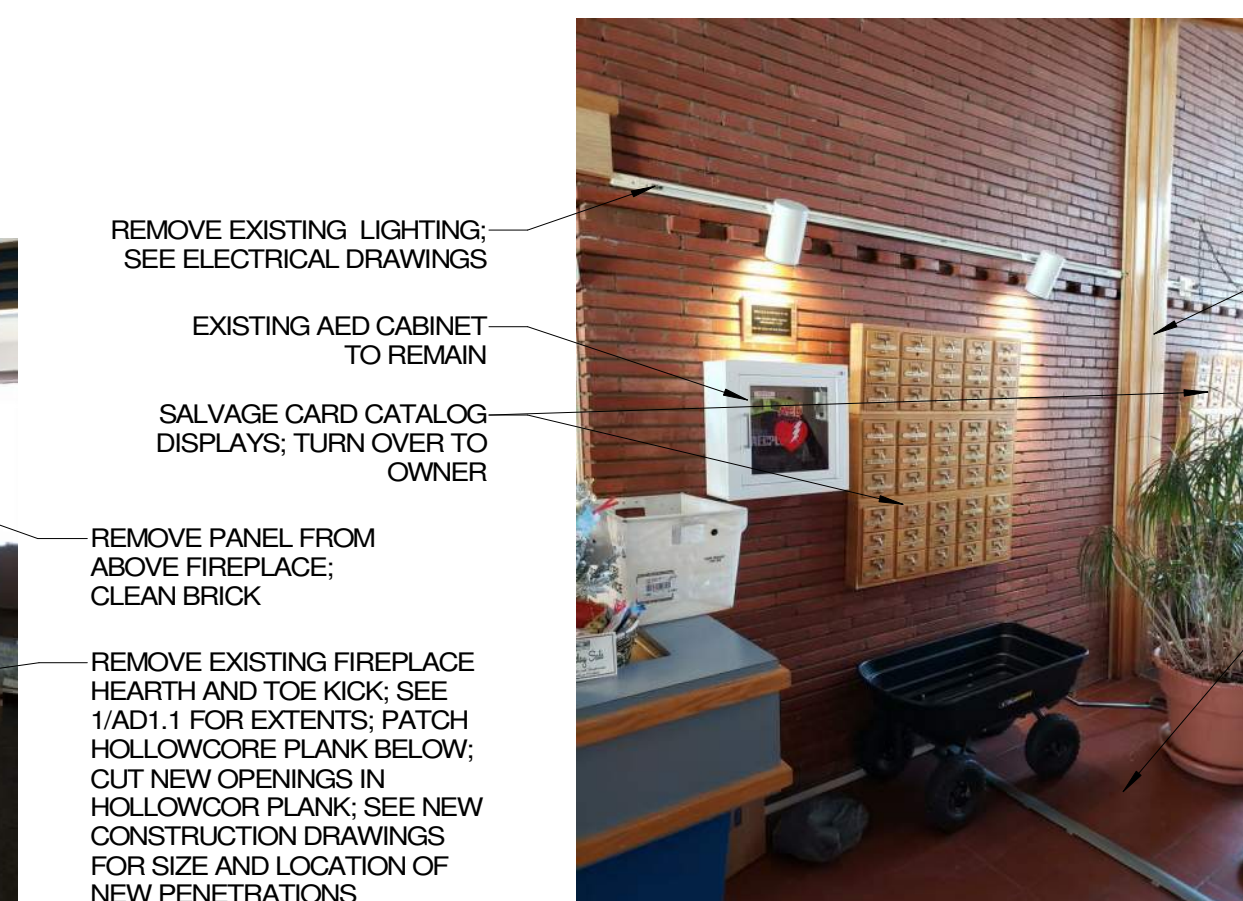
15 EAST SIDE CIRC DESK
NOT TO SCALE



16 COMPUTER AREA
NOT TO SCALE



17 FIREPLACE
NOT TO SCALE



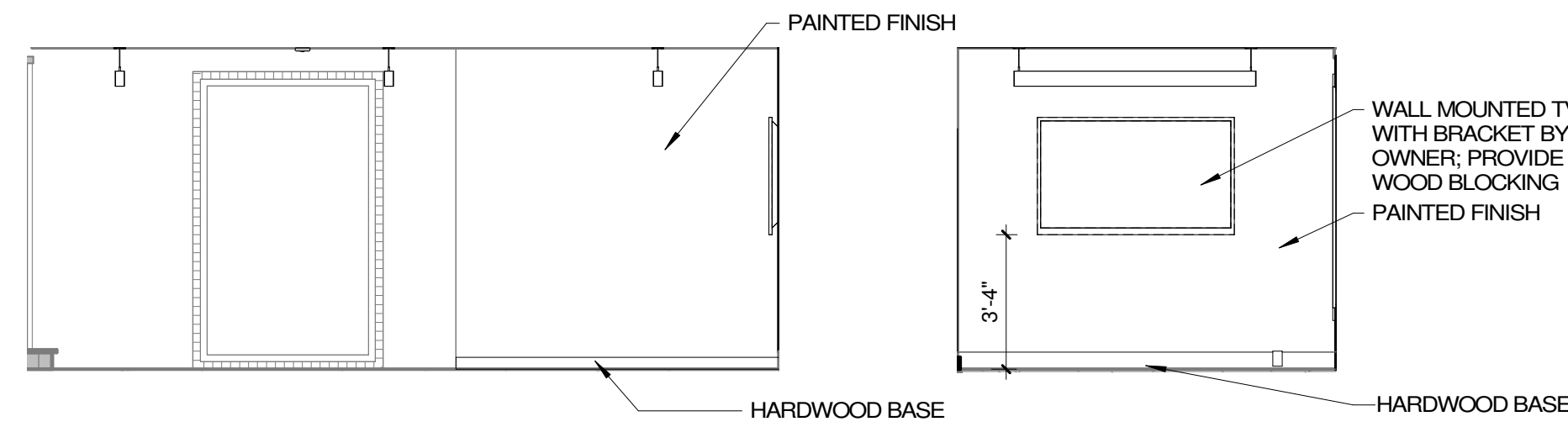
18 VEST WEST WALL
NOT TO SCALE



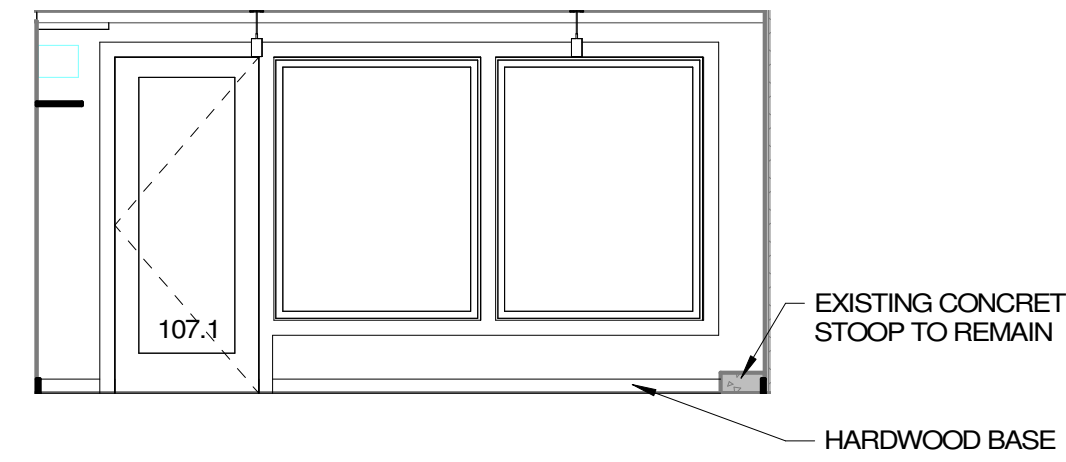
19 VEST EAST WALL
NOT TO SCALE



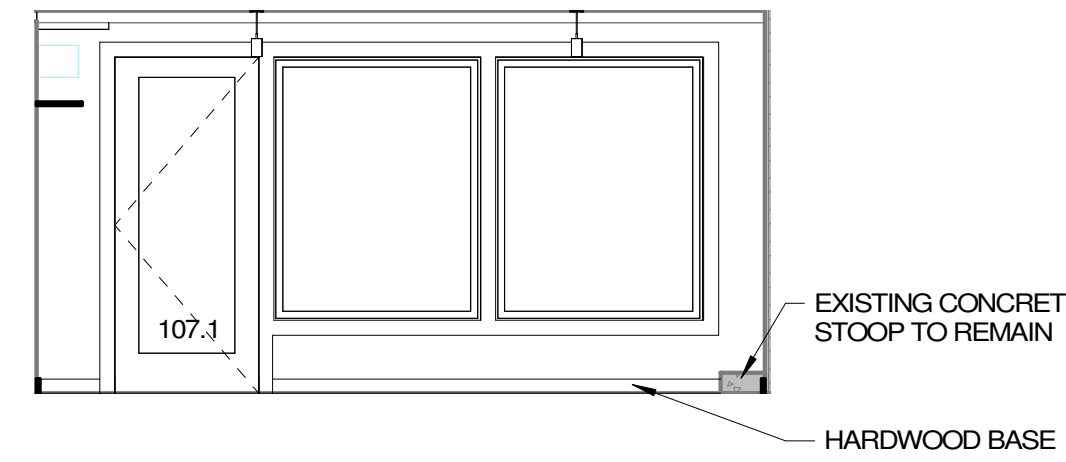
20 EAST LOBBY
NOT TO SCALE



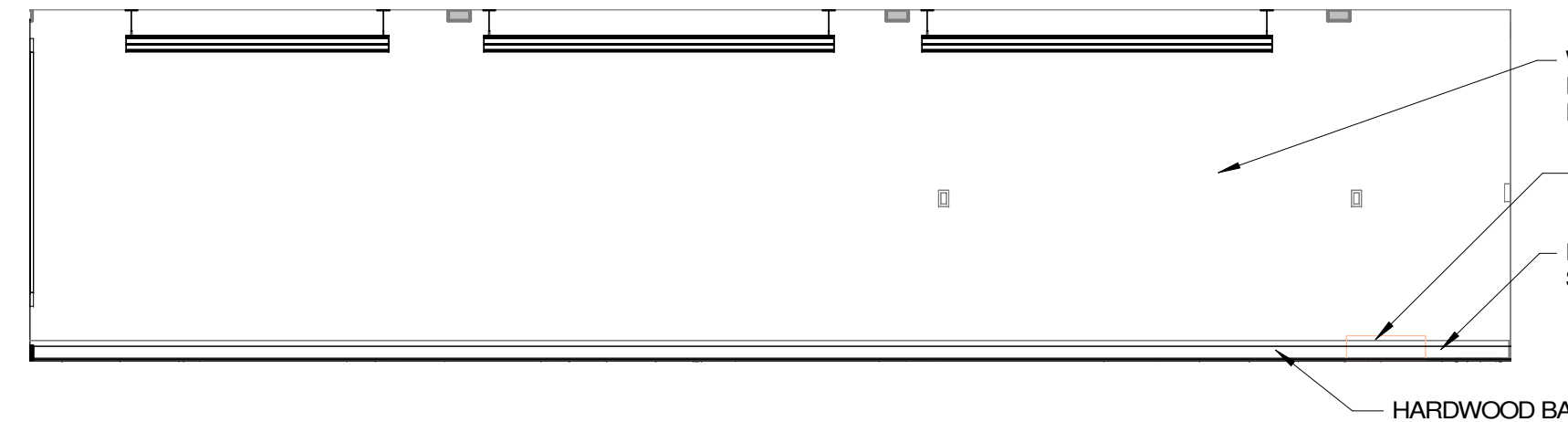
1 MTG RM 107 - WEST
SCALE: 1/4" = 1'-0"



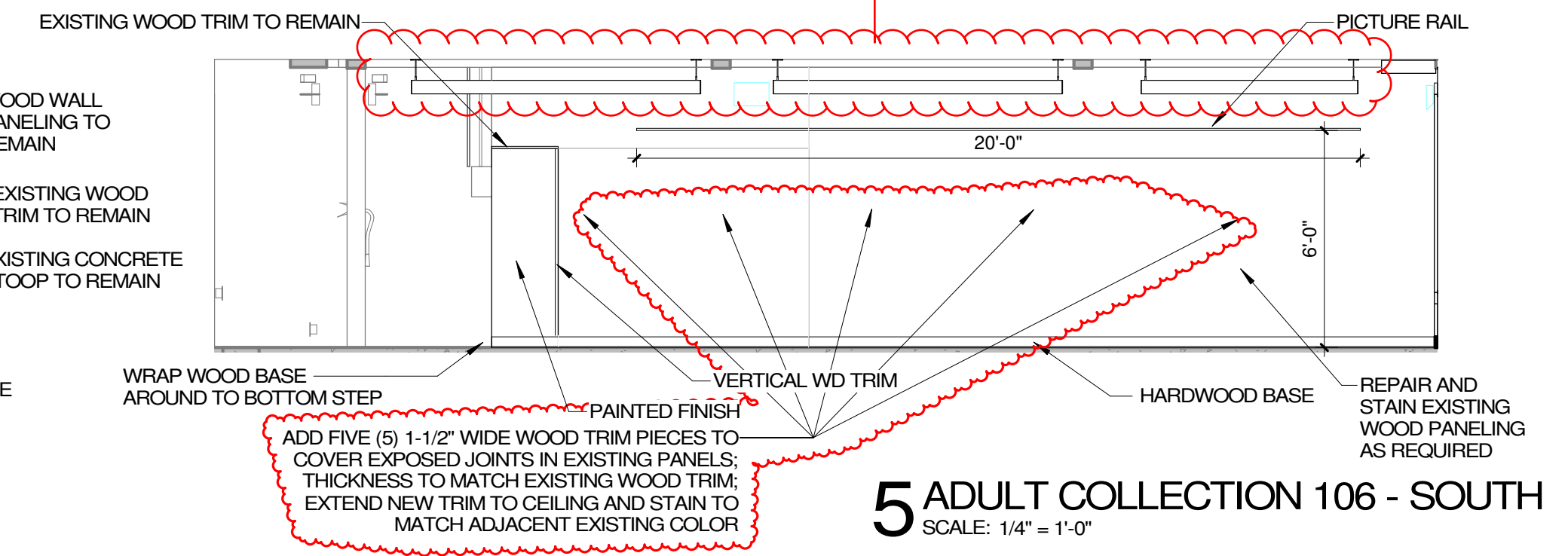
2 MTG RM 107 - NORTH
SCALE: 1/4" = 1'-0"



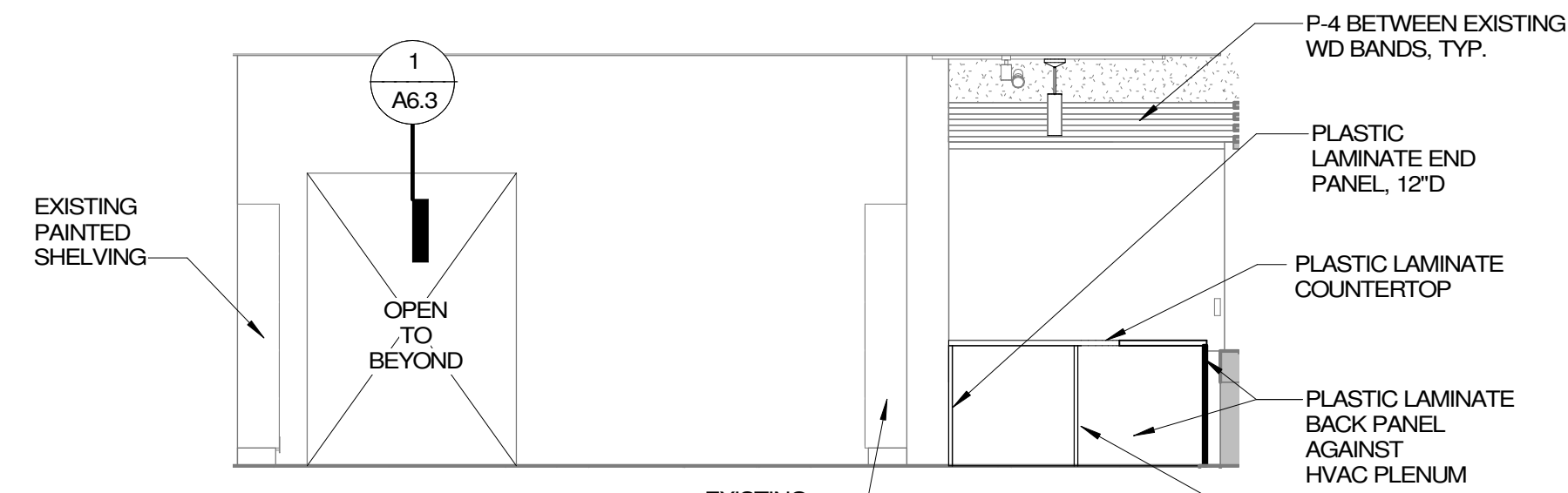
3 ADULT COLLECTION 106 - WEST
SCALE: 1/4" = 1'-0"



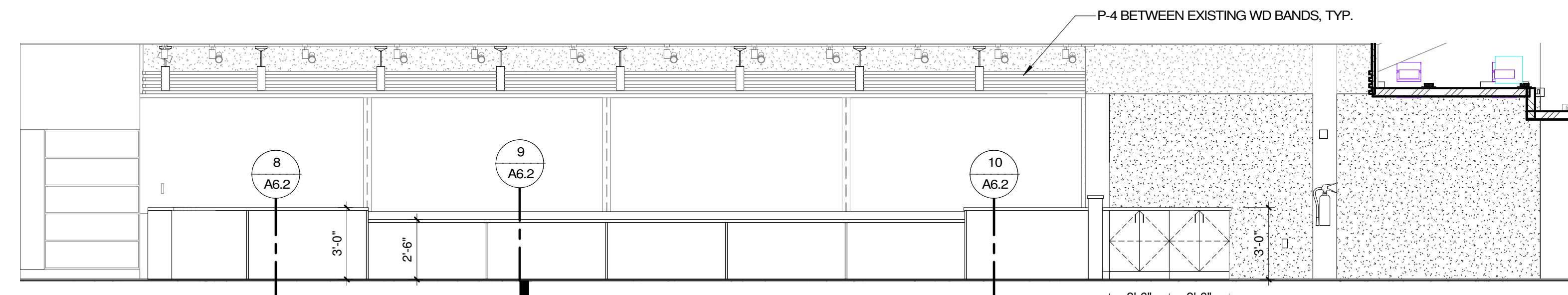
4 ADULT COLLECTION 106 - NORTH
SCALE: 1/4" = 1'-0"



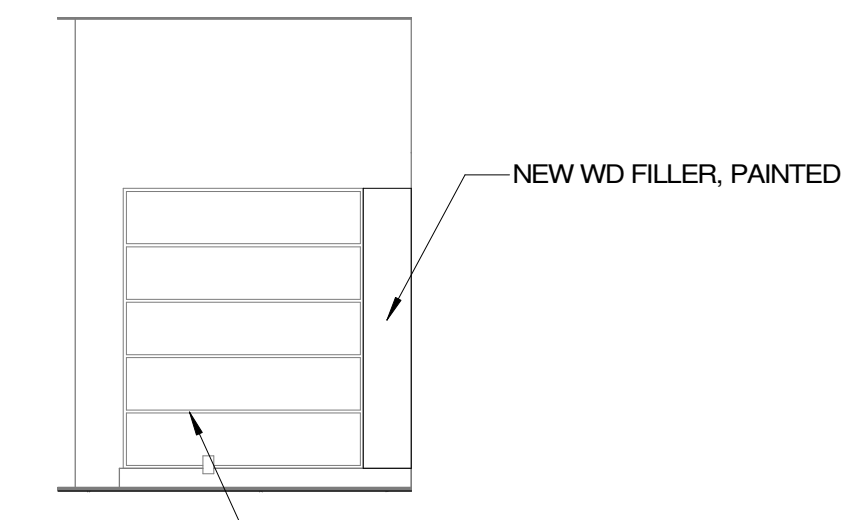
5 ADULT COLLECTION 106 - SOUTH
SCALE: 1/4" = 1'-0"



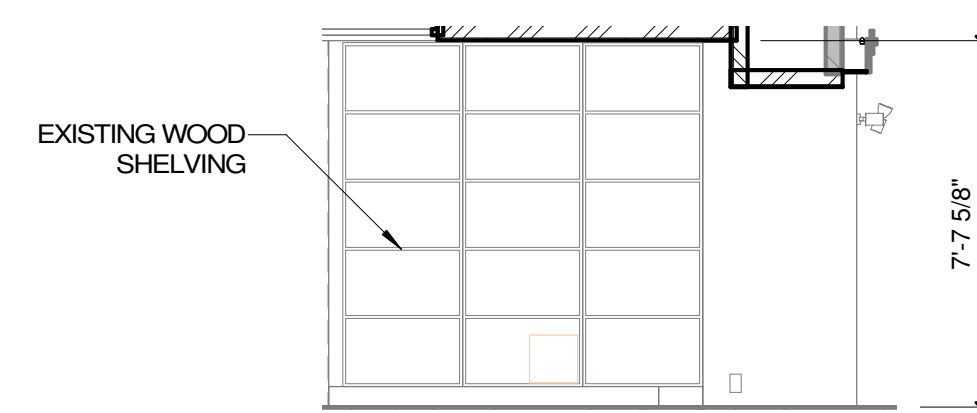
6 ADULT COLLECTION 105 - WEST
SCALE: 1/4" = 1'-0"



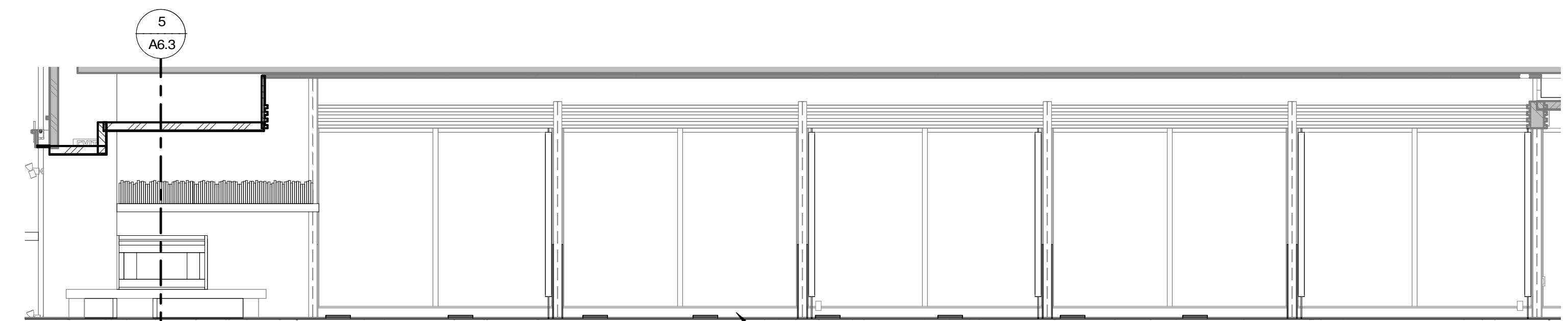
7 ADULT COLLECTION 105 - NORTH
SCALE: 1/4" = 1'-0"



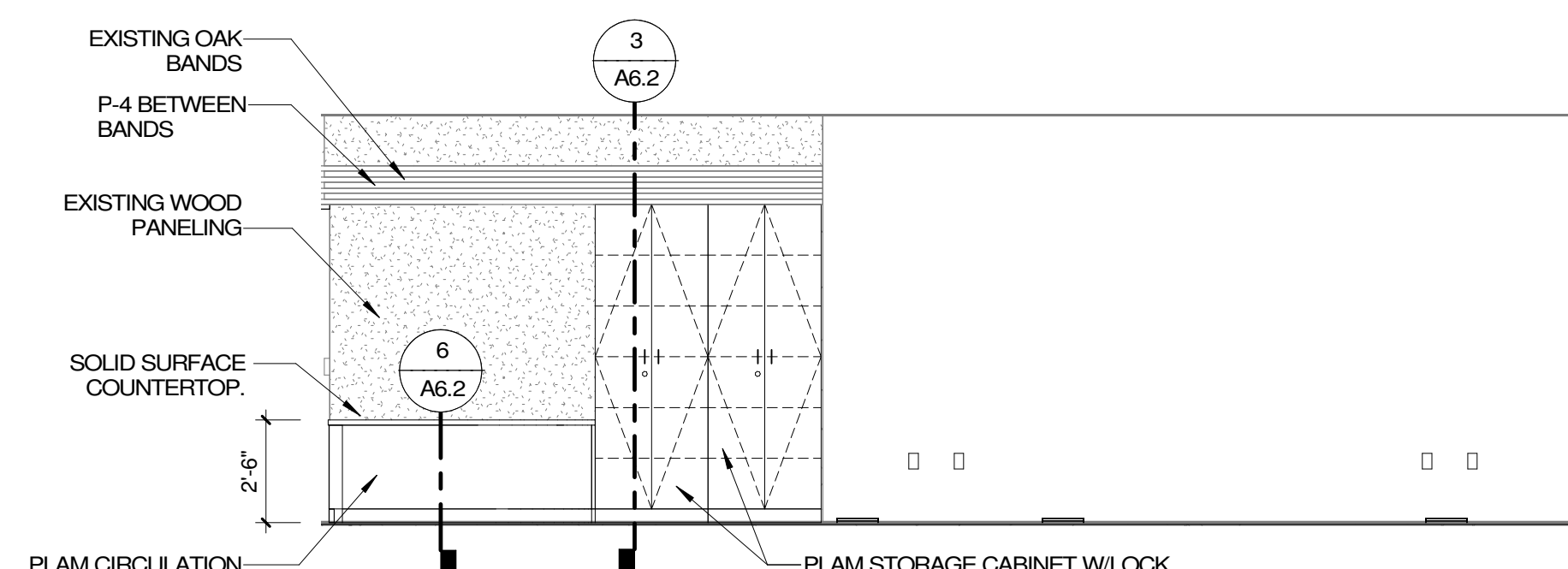
8 ADULT COLLECTION 105 - SOUTH
SCALE: 1/4" = 1'-0"



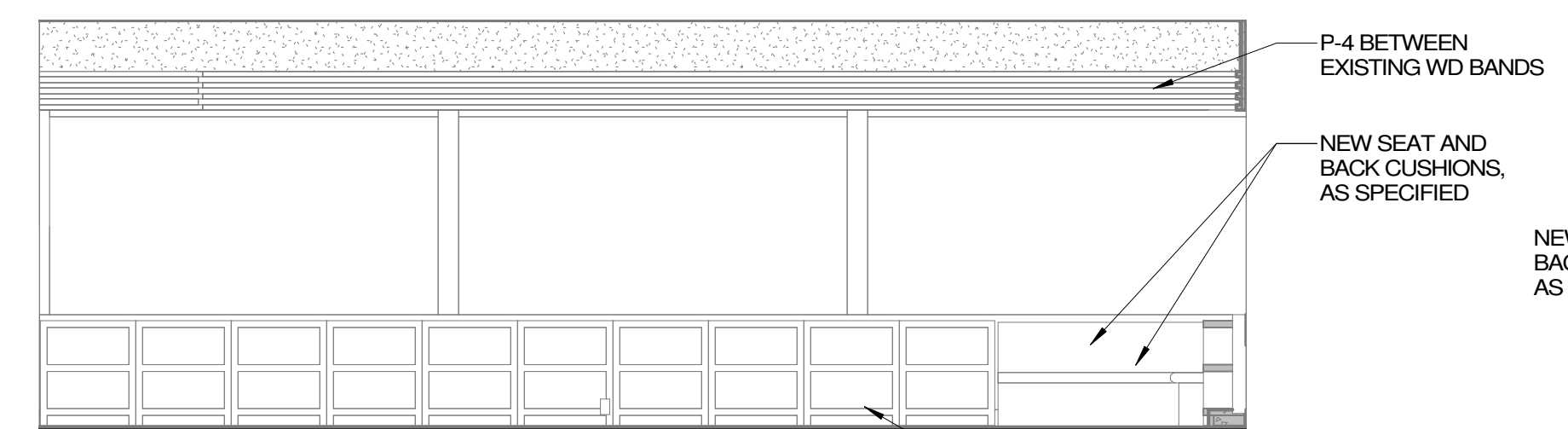
9 MEDIA 118 - SOUTH
SCALE: 1/4" = 1'-0"



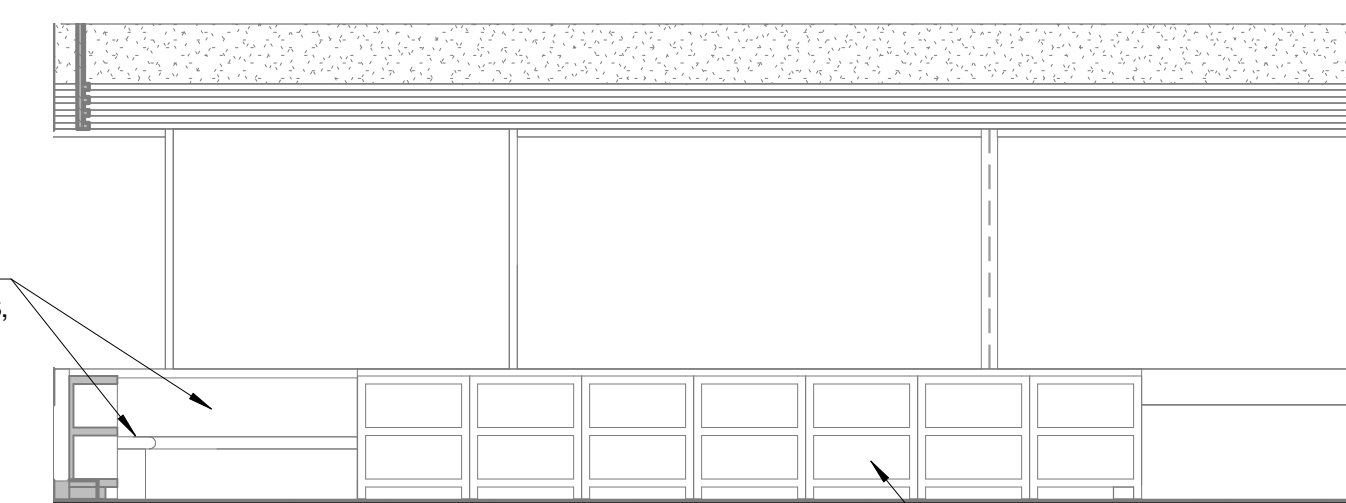
10 ADULT COLLECTION 105 - SOUTH 2
SCALE: 1/4" = 1'-0"



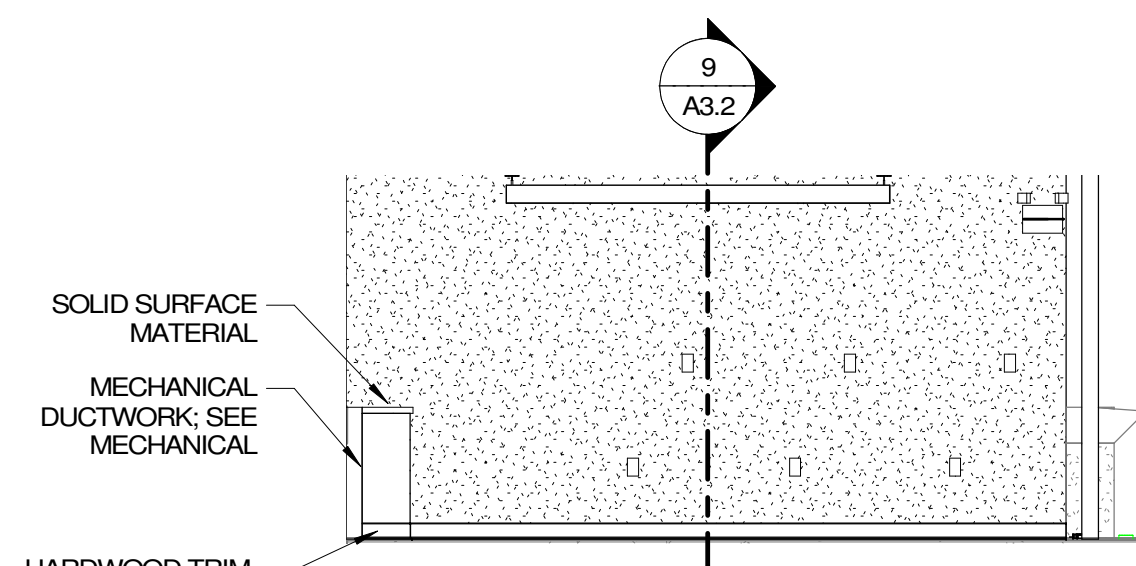
11 CHILDREN'S COLLECTION 126 - NORTH
SCALE: 1/4" = 1'-0"



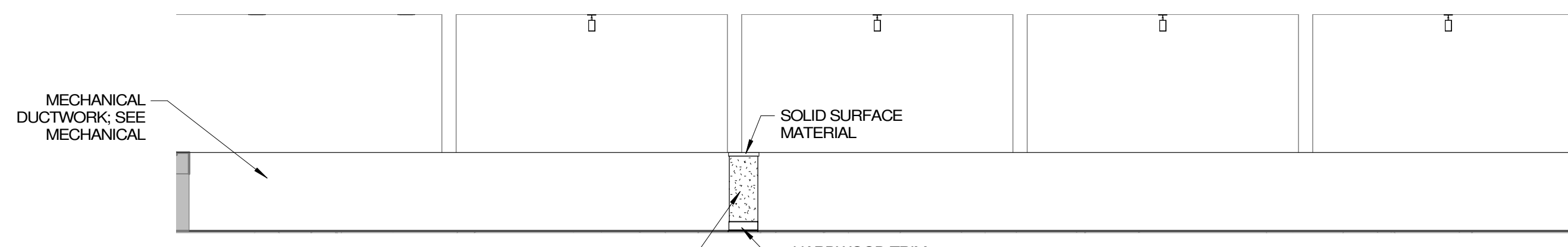
12 YOUNG ADULT 138 - NORTH
SCALE: 1/4" = 1'-0"



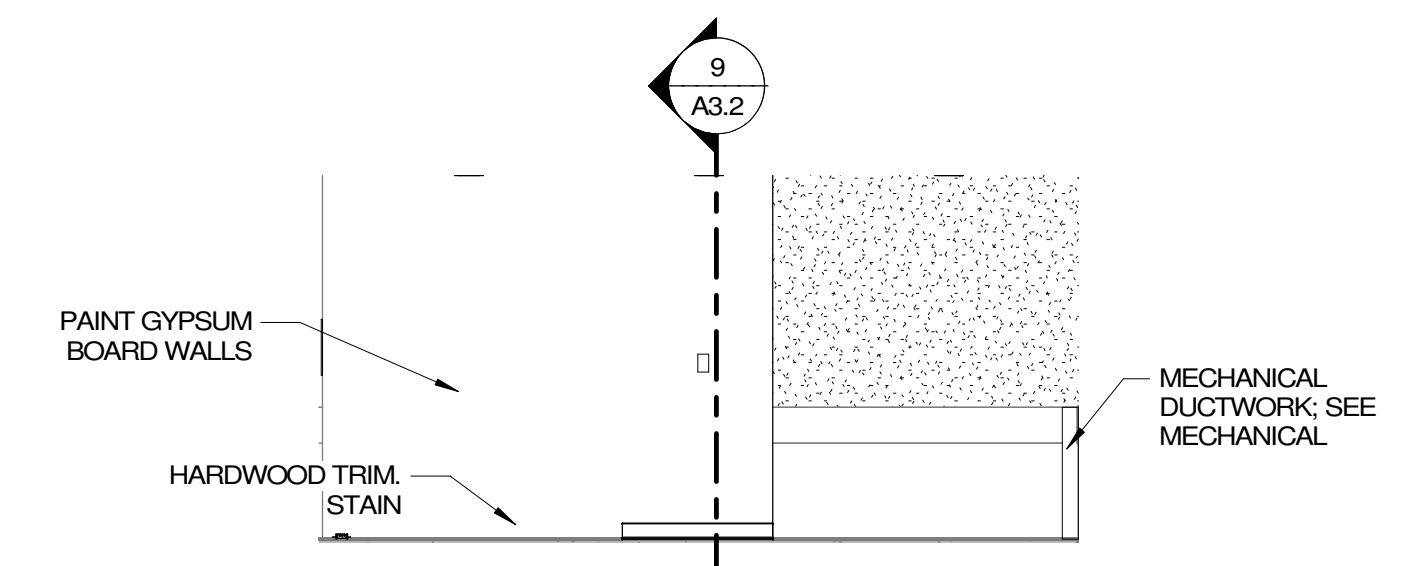
13 YOUNG ADULT 138 - EAST
SCALE: 1/4" = 1'-0"



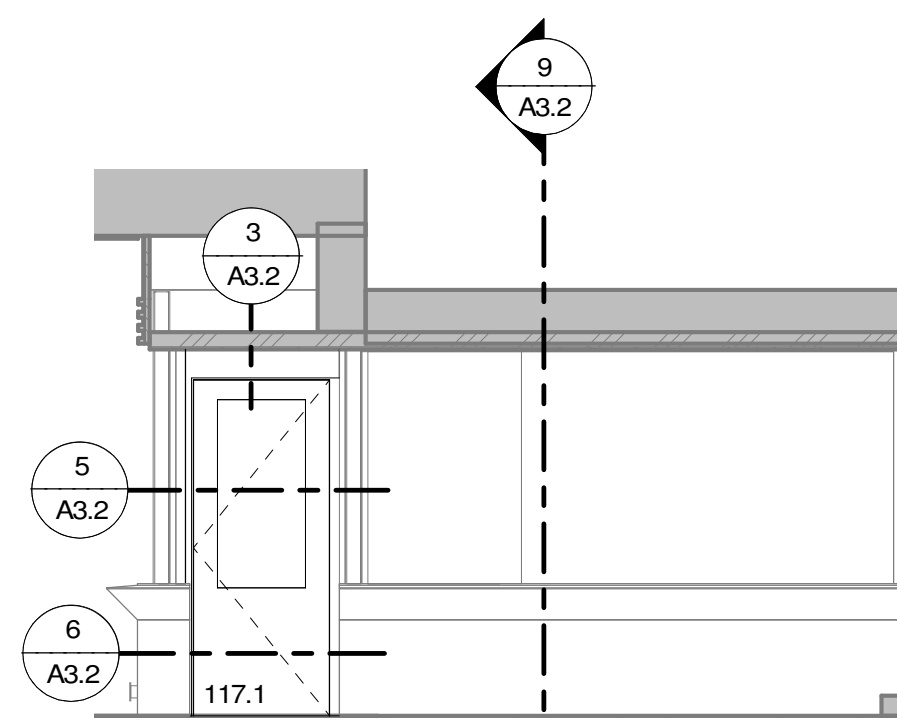
14 PRE-SCHOOL 127 - WEST
SCALE: 1/4" = 1'-0"



15 PRE-SCHOOL 127 - SOUTH
SCALE: 1/4" = 1'-0"



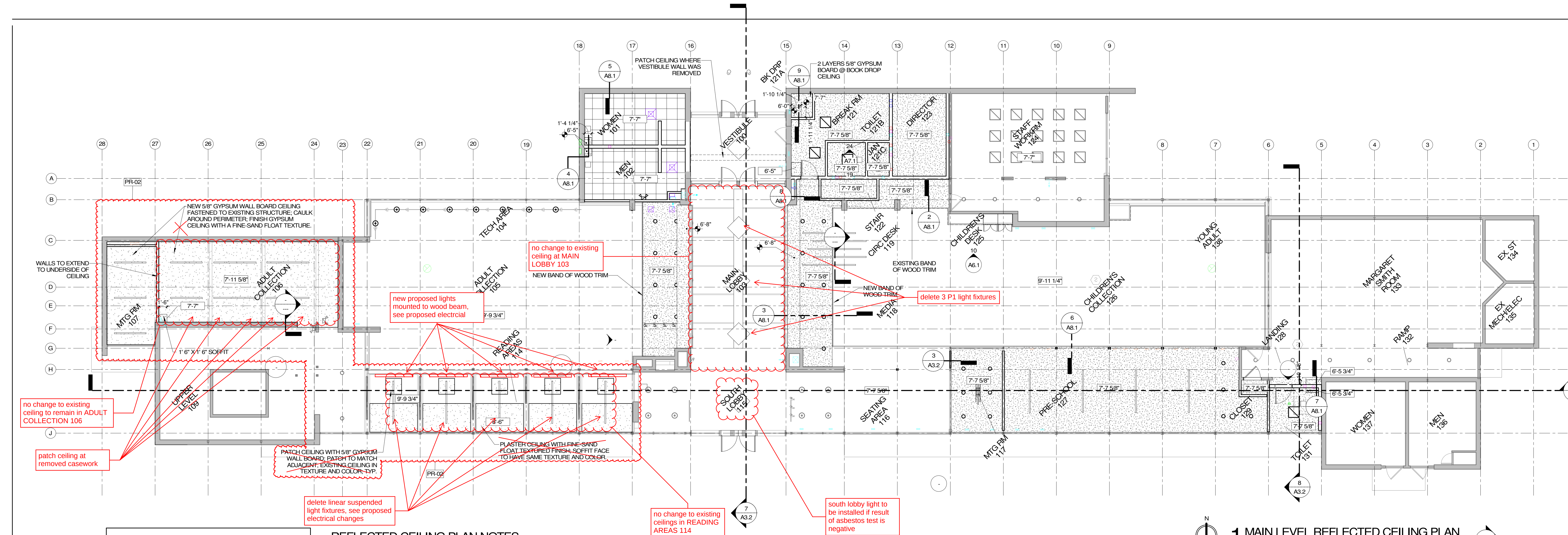
16 PRE SCHOOL 127 - EAST
SCALE: 1/4" = 1'-0"



17 SEATING AREA 116 - EAST
SCALE: 1/4" = 1'-0"



18 SEATING AREA 116 - SOUTH
SCALE: 1/4" = 1'-0"



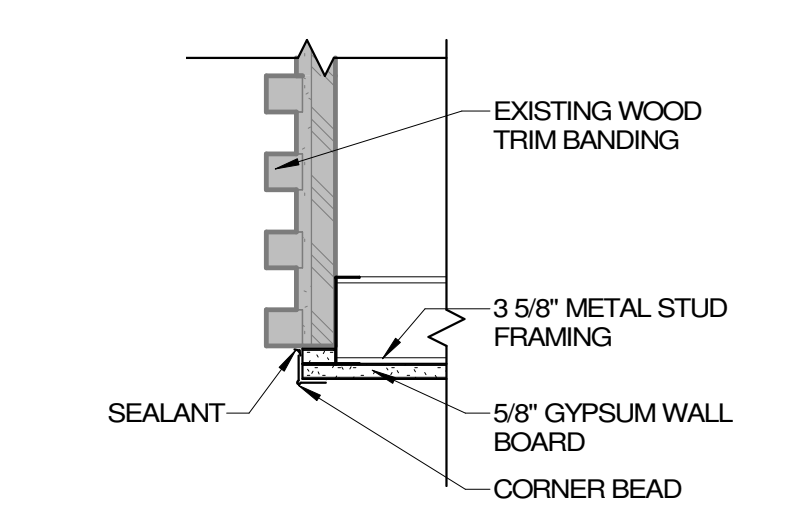
REFLECTED CEILING PLAN LEGEND

	ACOUSTIC TILE CEILING
	GYPSUM WALL BOARD (ALL NEW CEILINGS SHOWN HATCHED)
	SUPPLY AIR DIFFUSER, SEE MECHANICAL
	RETURN AIR DIFFUSER, SEE MECHANICAL
	EXHAUST FAN, SEE MECHANICAL
	LIGHT FIXTURES, SEE ELECTRICAL
	CEILING HEIGHT (A.F.F.)
	CEILING SPOT HEIGHT (A.F.F.)

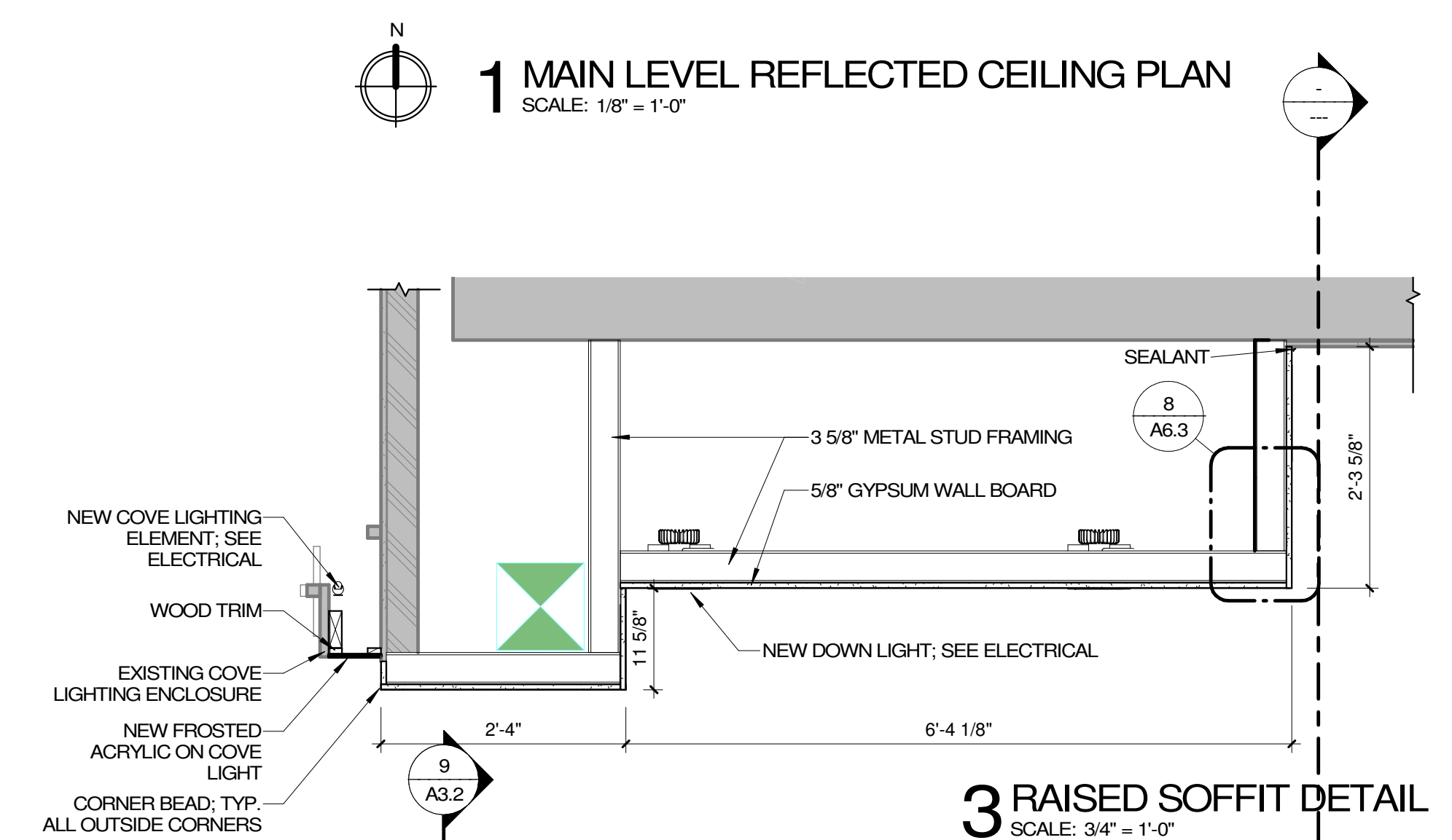
REFLECTED CEILING PLAN NOTES

1. CEILING GRID TO BE CENTERED EACH WAY WITHIN ROOMS AND ARE AS SHOWN ON THE REFLECTED CEILING PLAN, U.N.O.
2. ALL ELECTRICAL, MECHANICAL, PLUMBING AND FIRE PROTECTION DEVICES TO BE CENTERED WITHIN CEILING TILES, U.N.O.
3. REFER TO MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION (IF APPLICABLE) DRAWINGS FOR DUCTWORK, DEVICES, EQUIPMENT, & FIXTURES NOT SHOWN ON THE REFLECTED CEILING PLANS. COORDINATE LOCATION OF THESE ITEMS WITH THOSE SHOWN.
4. IN ROOMS AND/OR AREAS SCHEDULED TO HAVE EXPOSED STRUCTURE, ALL WALL MATERIALS AND FINISHES TO EXTEND TO UNDERSIDE OF ROOF OR FLOOR DECK, U.N.O.
5. GYPSUM BOARD CEILINGS TO BE INSTALLED ON SUSPENSION SYSTEM PER PROJECT MANUAL, U.N.O.
6. WALL GYPSUM BOARD SHALL EXTEND 6" MINIMUM ABOVE HIGHEST ADJACENT CEILING AT PARTITIONS NOT IDENTIFIED TO BE FULL-HEIGHT. BRACE TOP-OF-WALL TO STRUCTURE ABOVE WITH METAL FRAMING AT 48" O.C. EACH WAY.
7. GYPSUM BOARD VERTICAL RETURNS ON SOFFITS AND BULKHEADS TO EXTEND 6" MINIMUM ABOVE HIGHEST ADJACENT CEILING HEIGHT, U.N.O.
8. REFER TO MECHANICAL DRAWINGS & PROJECT MANUAL FOR REQUIRED LOCATIONS OF ACCESS PANELS IN GYPSUM BOARD OR CEMENT BOARD CEILINGS NOT SHOWN ON THE REFLECTED CEILING PLANS. COORDINATE PANEL LOCATION WITH ARCHITECT.
9. PAINT ALL EXPOSED STEEL, CONDUIT, DUCTWORK, PIPING, ETC. IN ROOMS AND/OR AREAS NOTED OR SCHEDULED TO RECEIVE PAINTED FINISHES.
10. PROVIDE SUPPORT WIRE ABOVE THE CEILING AT 2'-0" O.C. ON CEILING GRID MEMBERS AROUND ALL CEILING MOUNTED PROJECTION SCREEN LOCATIONS NOTED ON THE DRAWINGS.
11. PROVIDE ESCUTCHEONS AT ALL CEILING PENETRATIONS, U.N.O.
12. HOLD GYPSUM BOARD AND/OR CEMENT BOARD 3/4" OFF STRUCTURE.
13. SEE TYPICAL WALL TYPES FOR TOP OF WALL CONSTRUCTION.
14. WHERE NEW CEILINGS ABUTT EXISTING, NEW CEILING SHALL MATCH EXISTING IN HEIGHT AND TEXTURE; U.N.O.

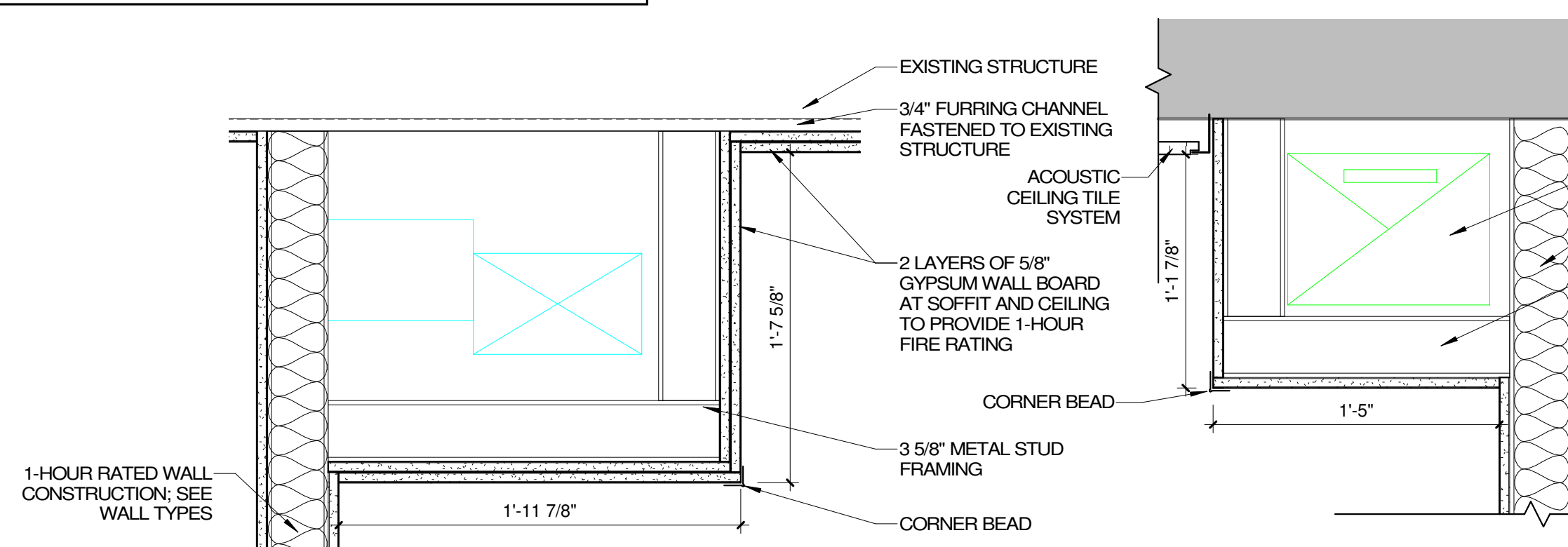
2 NEW CEILING @ EXIST TRIM
SCALE: 1 1/2" = 1'-0"



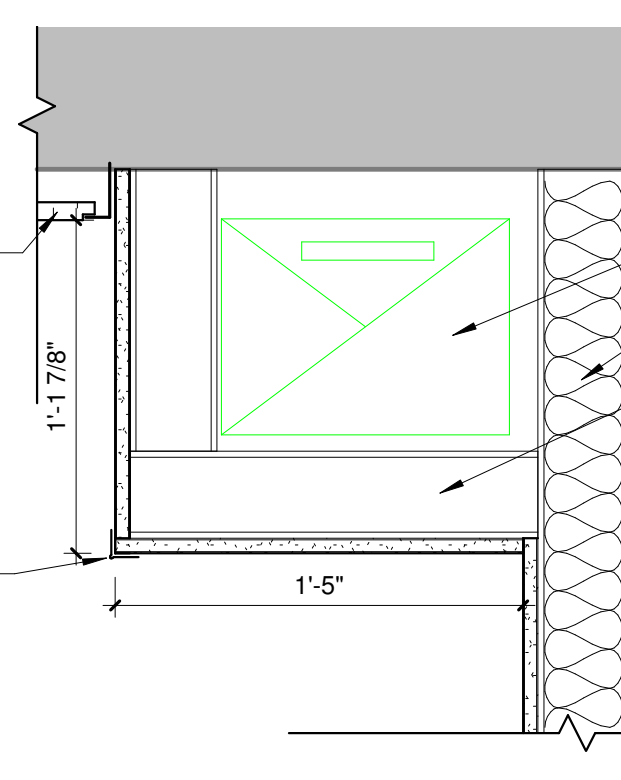
3 RAISED SOFFIT DETAIL
SCALE: 3/4" = 1'-0"



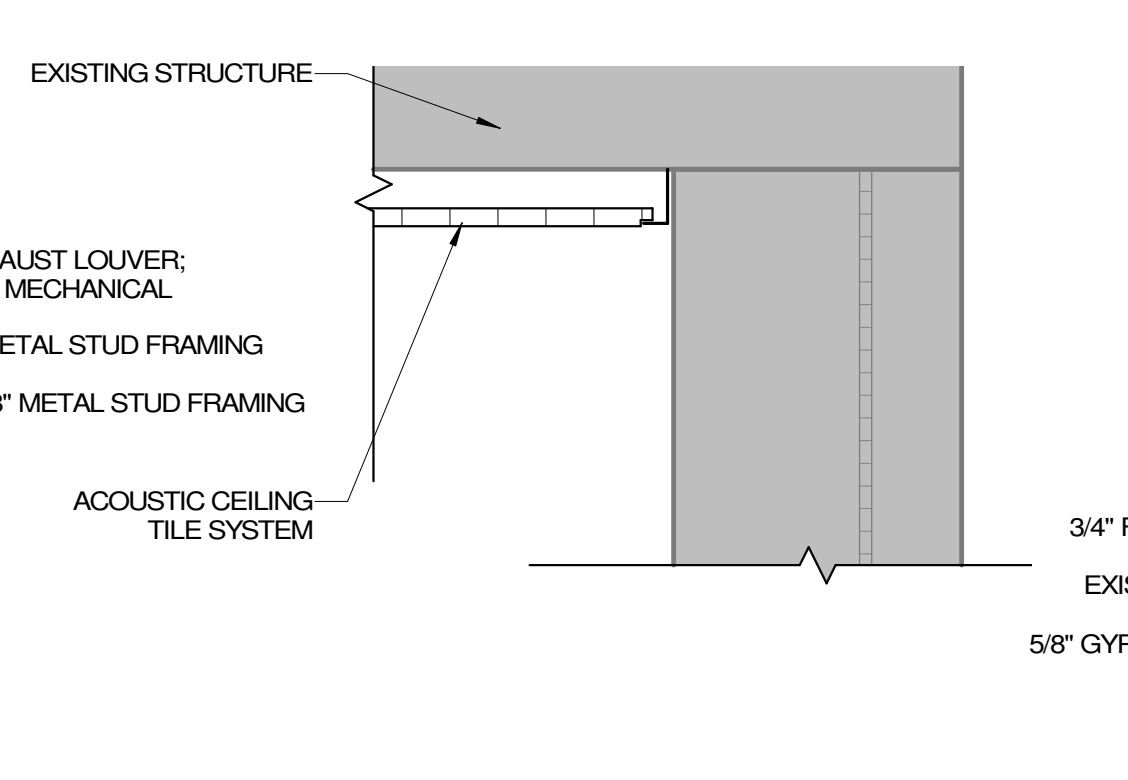
9 BOOK DROP SOFFIT
SCALE: 1 1/2" = 1'-0"



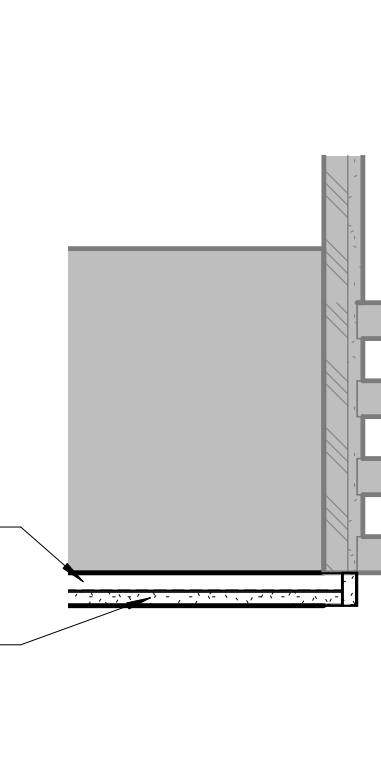
4 VEST. RESTROOM EXHAUST SOFFIT
SCALE: 1 1/2" = 1'-0"



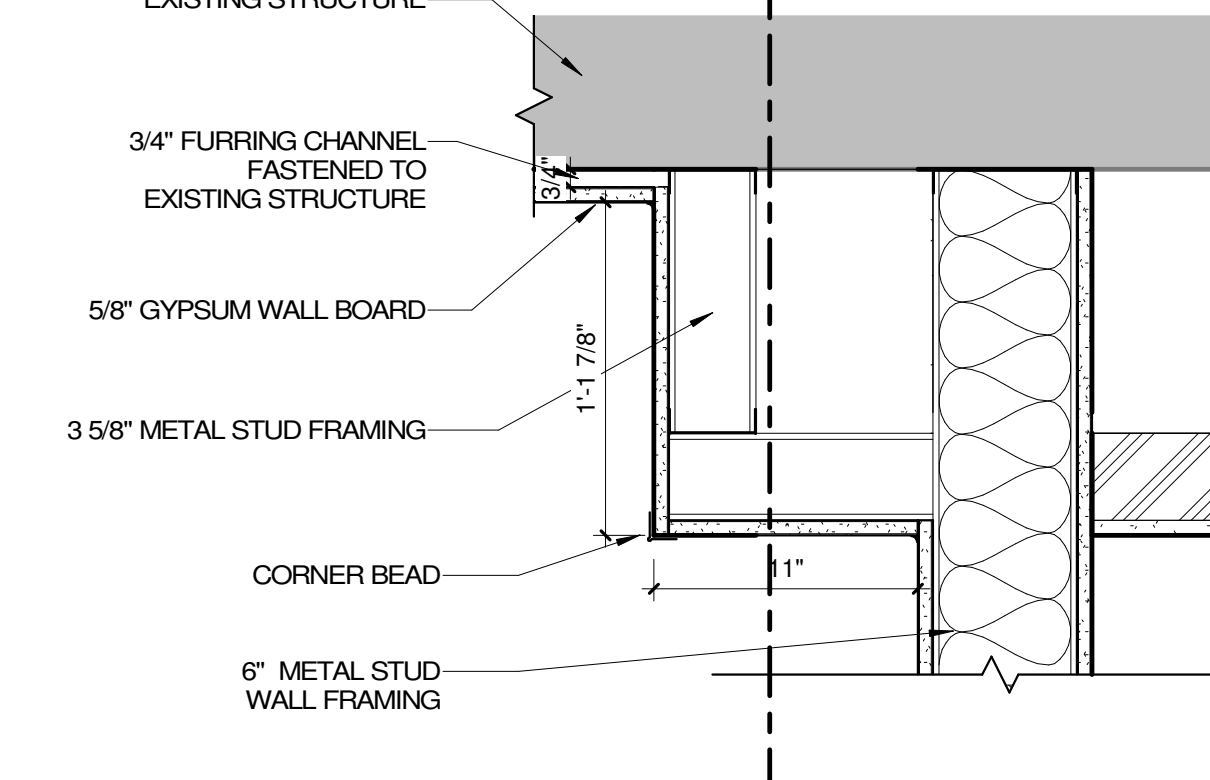
5 ACT @ EXISTING MASONRY WALL
SCALE: 1 1/2" = 1'-0"



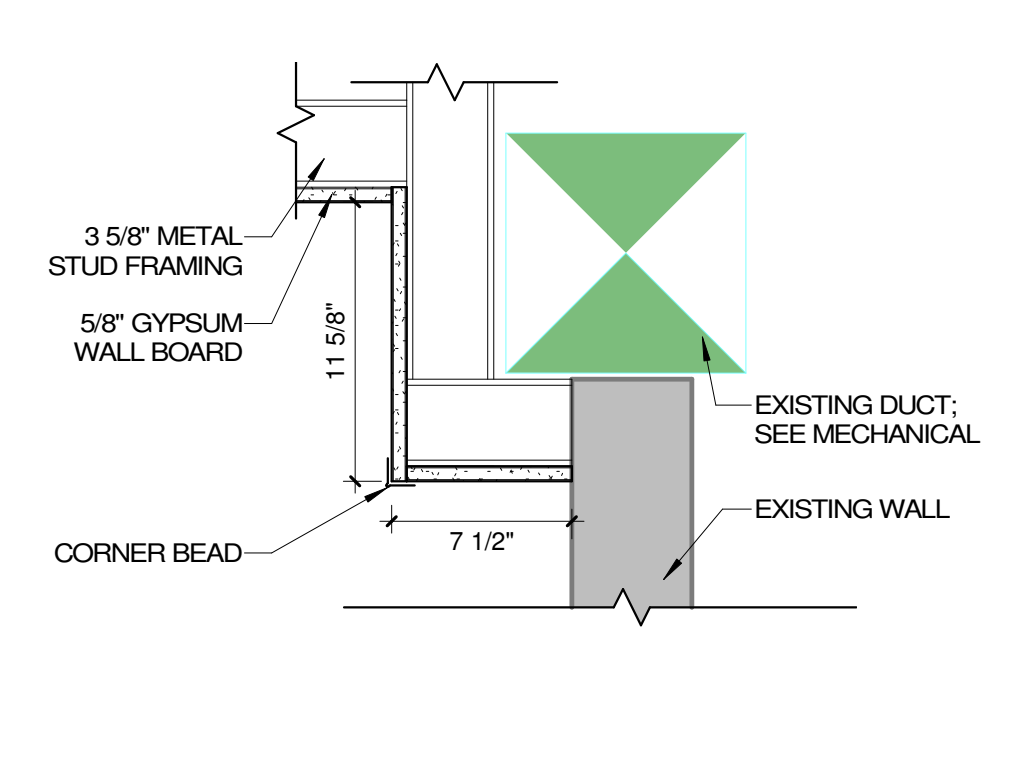
6 CHILDREN'S CLNG TRANSITION
SCALE: 1 1/2" = 1'-0"



7 TOILET 131 SOFFIT
SCALE: 1 1/2" = 1'-0"

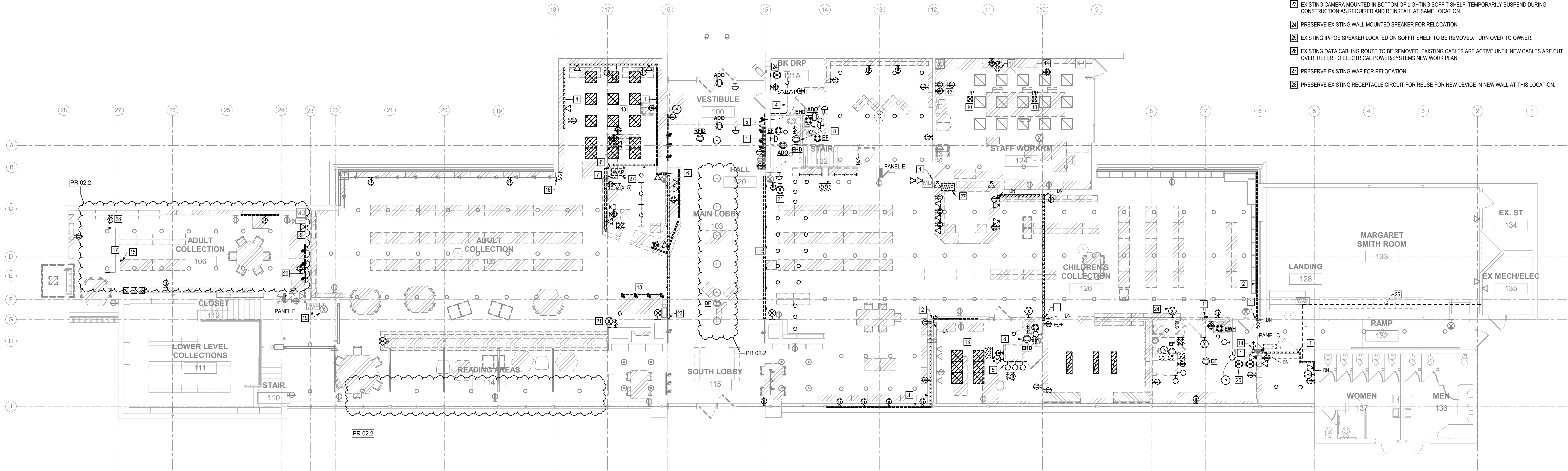


8 NEW SOFFIT @ EXIST CHASE
SCALE: 1 1/2" = 1'-0"



C:\Users\jazzline\Documents\9628 - Lake Geneva Public Library - MEP_Jazzline\henneman.com.rvt

9/17/2021 11:55:41 AM



1 ELECTRICAL DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

LIGHTING CONTROL FOR
DIRECTOR OF ADULT
SERVICES OFFICE TO BE
REMOVED. PROVIDE NEW
SWITCH COVER PLATE AS
REQUIRED. ALL OTHER
EXISTING SWITCHES TO
REMAIN.



2 LANDING 128 SOUTH WALL DETAIL
SCALE: 1/2" = 1'-0"

ELECTRICAL GENERAL NOTES

1. REFER TO SHEET EG1.1 FOR ELECTRICAL GENERAL DEMOLITION REQUIREMENTS.
2. PRESERVE EXISTING LIGHTING CIRCUITS FOR REUSE.
3. CONTRACTOR TO PROVIDE A 40 HOUR BID ALLOWANCE FOR LOCATING AND TERMINATING ABANDONED SYSTEMS CABLING AND ASSOCIATED DEVICES.
4. ALL DEMOLISHED DATA CABLES SHALL BE REMOVED BACK TO EQUIPMENT RACK IN BASEMENT.

ELECTRICAL KEY NOTES

1. EXISTING SURFACE RACEWAY TO BE REMOVED.
2. EXISTING COAXIAL CABLE TO BE REMOVED.
3. DATA CABLING STUBBED UP FROM BELOW AND UP WALL AND OUT TO VESTIBULE.
4. EXISTING SURFACE CONDUIT TO BE REMOVED.
5. EXISTING WALL MOUNTED LIGHTING TRACK TO BE REMOVED.
6. EXISTING DATA SURFACE RACEWAY TO BE REMOVED.
7. EXISTING POWER AND DATA STUBBED UP FROM BELOW TO BE REMOVED. REMOVE CONDUIT AND COORDINATE FLOOR PATCHING WITH GC.
8. EXISTING HAND DRYERS TO BE REMOVED AND PRESERVED FOR REUSE.
9. SOURCE FOR DATA TO WALLS.
10. PRESERVE EXISTING DATA AND POWER CIRCUITS ROUTED THROUGH POWER POLES FOR REUSE IN NEW WORK ISLAND.
11. DEVICE MOUNTED ON CASEWORK.
12. PRESERVE EXISTING POWER CIRCUIT FOR REUSE.
13. LIGHT FIXTURE INSTALLATION AND ASSOCIATED CONDUIT, BOXES, ETC. LOCATED ABOVE EXISTING CEILING GRID TO BE REMOVED.
14. LIGHT SWITCH FOR DIRECTOR OF ADULT SERVICES OFFICE TO BE REMOVED. REFER TO DETAIL 2 THIS SHEET.
15. EXISTING CONDUIT STUBBED DOWN FROM CEILING AND ASSOCIATED LIGHTING FOR BOOK DISPLAY TO BE REMOVED.
16. ADJUST EXISTING TRACK FEED TO ACCOMMODATE NEW PARTIAL HEIGHT WALL. PRESERVE EXISTING TRACK CIRCUIT TO ROUTE INTO NEW CONDUIT IN NEW WALL AND OUT TO EXISTING TRACK. EXISTING CONTROL TO BE REWORKED. REFER TO LIGHTING NEW WORK PLAN.
17. CONVERT EXISTING DOWNLIGHT AND CIRCUIT TO BASEFEED FOR NEW SUSPENDED LINEAR FIXTURES. RETURN REMOVED DOWNLIGHT TO OWNER FOR ATTIC STOCK IF OWNER DESIRED.
18. EXISTING TRACK AND TRACK LIGHTING TO BE REMOVED. PRESERVE EXISTING LIGHTING CIRCUIT FOR REUSE.
19. PRESERVE EXISTING SPEAKER AND WAP LOCATED ON TOP OF EXISTING CABINET FOR RELOCATION TO WALL MOUNT AT THIS LOCATION.
20. EXISTING SURFACE RACEWAY, ASSOCIATED DEVICES AND WALL MOUNTED TRACK LIGHTING AT THIS LOCATION TO BE REMOVED FOR WALL REMOVAL.
21. PRESERVE EXISTING SPEAKER LOCATED ON TOP OF EXISTING SOFFIT SHELF FOR RELOCATION.
22. NOT USED.
23. EXISTING CAMERA MOUNTED IN BOTTOM OF LIGHTING SOFFIT SHELF. TEMPORARILY SUSPEND DURING CONSTRUCTION AS REQUIRED AND REINSTALL AT SAME LOCATION.
24. PRESERVE EXISTING WALL MOUNTED SPEAKER FOR RELOCATION.
25. EXISTING IP/POE SPEAKER LOCATED ON SOFFIT SHELF TO BE REMOVED. TURN OVER TO OWNER.
26. EXISTING DATA CABLING ROUTE TO BE REMOVED. EXISTING CABLES ARE ACTIVE UNTIL NEW CABLES ARE CUT OVER. REFER TO ELECTRICAL POWERSYSTEMS NEW WORK PLAN.
27. PRESERVE EXISTING WAP FOR RELOCATION.
28. PRESERVE EXISTING RECEPTACLE CIRCUIT FOR REUSE FOR NEW DEVICE IN NEW WALL AT THIS LOCATION.

IN ASSOCIATION WITH

SHEET TITLE

ELECTRICAL DEMOLITION PLANS

PROJECT TITLE CITY OF LAKE GENEVA

LAKE GENEVA PUBLIC LIBRARY

918 W. MAIN STREET
LAKE GENEVA, WI. 53147

DATE ISSUED 6/18/21
ISSUED FOR BIDDING
REV. NO. DATE
1 08/24/21
2 09/17/21

PROJECT NUMBER
2019411

SHEET

ED1.1

MAISON:
1222 Fourth Drive, Suite 101
Madison, WI 53717
Project Number: 21-8928
Henneman
Engineering Inc.
energy focused



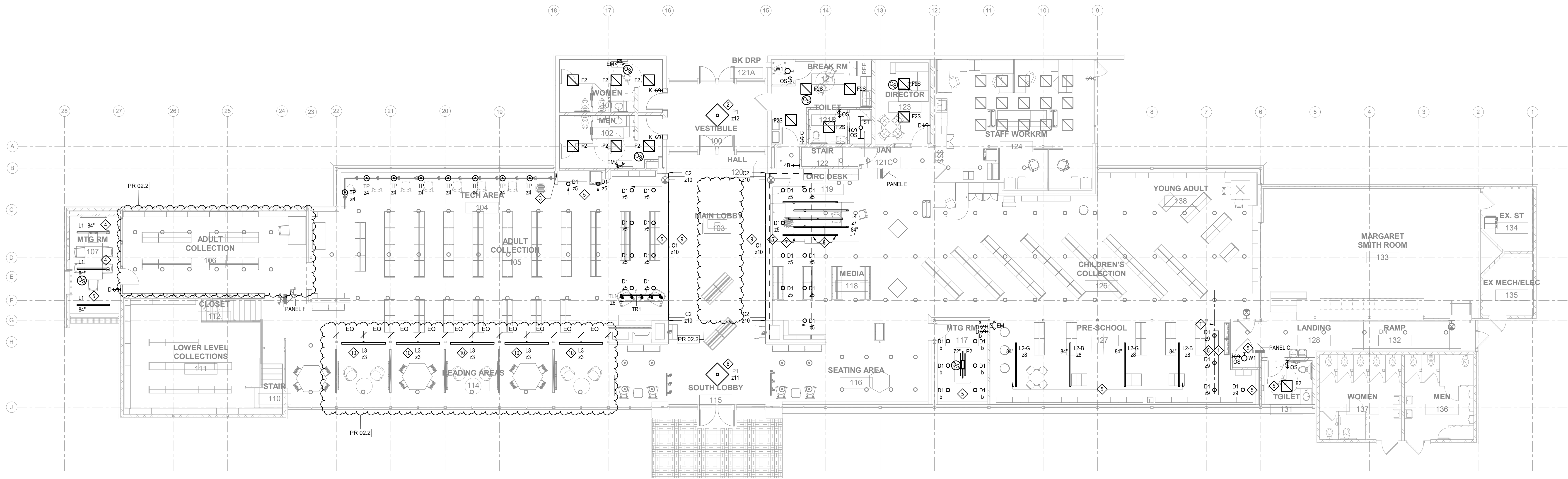
SIOUX CITY, IA
(712) 252-3889

DES MOINES, IA
(515) 288-2000

DUBUQUE, IA
(563) 583-4900

OCONOMOWOC, WI
(262) 968-2055

C:\Users\jazzline\Documents\9628 - Lake Geneva Public Library - MEP - Jazzline\henneman.com.rvt



1 ELECTRICAL LIGHTING MAIN LEVEL PLAN
SCALE: 1/8" = 1'-0"

CIRCUITING LEGEND
PANEL B = B-x (x=CIRCUIT NUMBER)
PANEL C = C-x (x=CIRCUIT NUMBER)
PANEL E = E-x (x=CIRCUIT NUMBER)
PANEL F = F-x (x=CIRCUIT NUMBER)

LIGHTING GENERAL NOTES

1. PROTECT AND PRESERVE EXISTING TO REMAIN DEVICES DURING CONSTRUCTION.
2. ALL LIGHTING AREA DESIGNATED WITH "x" SWITCH DESIGNATION ARE CONTROLLED WITH DISTRIBUTED LIGHTING CONTROLS. REFER TO SPECIFICATION FOR FURTHER INFORMATION.
3. PROVIDE 0-10V WIRELESS LOAD CONTROLLER COMPATIBLE WITH LUTRON VIVE SYSTEM PER DISTRIBUTED CONTROL LIGHT FIXTURE ZONES WHERE DRIVERS ARE NOT ALREADY COMPATIBLE WITH LUTRON VIVE SYSTEM. LOCATE LOAD CONTROLLERS
4. ALL LIGHTING ROOM CONTROLLERS SHALL BE 0-10V DIMMING TYPE UNLESS NOTED OTHERWISE. CONNECT 0-10V LUMINAIRE CONTROL WIRING TO ROOM CONTROLLERS.
5. 0-10V LIGHTING CONTROL WIRING IS PERMITTED TO BE RUN FREE-AIR ABOVE ACCESSIBLE CEILINGS ONLY. AT ALL OTHER LOCATIONS IT SHALL BE RUN IN CONDUIT.
6. OCCUPANCY SENSOR(S) CONTROLS ALL LIGHTING IN ASSOCIATED ROOM UNLESS NOTED OTHERWISE.

LIGHTING KEY NOTES

- ◇ ALIGN NEW DOWNLIGHTS WITH EXISTING DOWNLIGHTS IN ADJACENT CHILDREN'S COLLECTION 126.
- ◇ EXTEND LIGHTING CIRCUIT SERVING MAIN LOBBY 103 TO NEW FIXTURE. COORDINATE WITH DOOR/WALL REMOVAL AND CEILING PATCHING.
- ◇ ROUTE EXISTING LIGHTING CIRCUIT SERVING EXISTING TRACK LIGHTING THROUGH NEW CONDUIT IN NEW PARTIAL HEIGHT WALL AND TRANSITION TO SURFACE RACEWAY UP WALL TO EXISTING TRACK. PROVIDE NEW SWITCH.
- ◇ UTILIZE CONVERTED DOWNLIGHT TO BASEFEED FOR NEW SUSPENDED LINEAR FIXTURES.
- ◇ EXTEND EXISTING LIGHTING CIRCUIT SERVING THIS ROOM TO NEW FIXTURE(S).
- ◇ EXTEND LIGHTING CIRCUIT SERVING MAIN LOBBY 103 TO NEW FIXTURE. COORDINATE CEILING PATCHING WITH GC.
- ◇ LIGHT FIXTURE TYPE 1'4" POWER CANOPY TO BE INSTALLED ON LOW CEILING TYPICAL. ADJUST LOCATION AS REQUIRED TO MAINTAIN BOTTOM OF FIXTURE AT 84" AFF.
- ◇ LIGHT FIXTURE TYPE 1'4" STANDOFF TO BE INSTALLED ON HIGH CEILING TYPICAL.

- ◇ NEW COVE IN EXISTING CUSTOM LIGHTING SOFFIT BOX. EXTEND EXISTING LIGHTING CIRCUIT TO NEW FIXTURES. REFER TO ARCHITECTURAL DETAIL. PROVIDE SHIMS AS REQUIRED UNDER COVE FIXTURE TO ALIGN TOP OF COVE TO TOP OF FIXTURE AT FINAL HEIGHT AT DESIRED AIMING ANGLE. COORDINATE COVE FIXTURE AIMING ANGLE WITH ELECTRICAL ENGINEER.

- ◇ MOUNT BOTTOM OF FIXTURE FLUSH WITH BOTTOM OF WOOD BEAM. EXTEND EXISTING LIGHTING CIRCUIT SERVING EXISTING LINEAR LIGHT FIXTURE IN ADJACENT WOOD BEAM TO NEW L3 FIXTURE. TYPICAL. PROVIDE BLOCKING AS REQUIRED.

IN ASSOCIATION WITH

SHEET TITLE

ELECTRICAL LIGHTING FLOOR PLAN

PROJECT TITLE CITY OF LAKE GENEVA

LAKE GENEVA PUBLIC LIBRARY

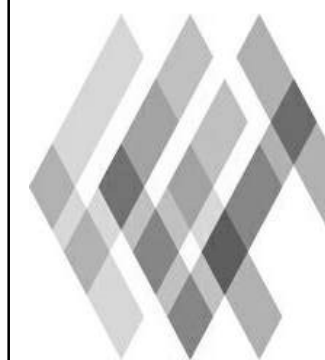
918 W. MAIN STREET
LAKE GENEVA, WI. 53147

DATE ISSUED 6/18/2121
ISSUED FOR BIDDING
REV. NO. DATE
1 08/24/21
2 09/17/21

PROJECT NUMBER
2019411

SHEET

E1.1



MAISON:
1222 Forest Drive, Suite 101
Madison, WI 53717
Project Number: 21-8928
Henneman
Engineering Inc.
energy focused

FEH DESIGN

SIOUX CITY, IA
(712) 252-3889

DES MOINES, IA
(515) 288-2000

DUBUQUE, IA
(563) 583-4900

OCONOMOWOC, WI
(262) 968-2055

C:\Users\jazzline\Documents\9628 - Lake Geneva Public Library - MEP_Jazzline@henneman.com.rvt

9/17/2021 11:55:36 AM

LIGHTING FIXTURE SCHEDULE																			
Fixture Designation	FIXTURE DESCRIPTION	SOURCE			BALLAST/DRIVER/POWER SUPPLY				MOUNTING			MANUFACTURER					SEE NOTE	COMMENTS	
		TYPE	TEMP	CRI	LUMENS	DIM TYPE	DIM RANGE	INPUT WATTS	VOLTAGE	LOCATION	CONFIGURATION	HEIGHT	NAME		MODEL NUMBER				
C1	48" LINEAR LED COVE	LED	3000 K	80	482	0-10V	10-100%	24 VA	120 V	ON COVE SHELF	SURFACE		ECOSENSE		L50.1.48" 06.30.80 MULT 40X90		LUMENS ARE PER LINEAR FOOT.		
C2	12" LINEAR LED COVE	LED	3000 K	80	482	0-10V	10-100%	6 VA	120 V	ON COVE SHELF	SURFACE		ECOSENSE		L50.1.12" 06.30.80 MULT 40X90		LUMENS ARE PER LINEAR FOOT.		
D1	RECESSED LED DOWNLIGHT 4in	LED	3000 K	90	995	0-10V	1-100%	12 VA	120 V	CEILING	RECESSED		ELITE LED LIGHTING		HH4-LED 900L * MVOLT MD 30K 90" JHH-4501 CL-WH		*DRIVER TO BE COMPATIBLE WITH LUTRON VIVE SYSTEM.		
EM	WALL MOUNTED EMERGENCY LIGHTING UNIT	LED			496	--	--	4 VA	120 V	WALL	SURFACE		SURELITES		LEM SD				
F2	RECESSED 2x2 LED FLAT PANEL	LED	3000 K	80	4400	0-10V	10-100%	39 VA	120 V	CEILING	RECESSED		COOPER		22FSL2SC73				
F2S	RECESSED 2x2 LED FLAT PANEL - SURFACE MOUNT	LED	3000 K	80	4400	0-10V	10-100%	39 VA	120 V	CEILING	SURFACE		COOPER		22FSL2SC73				
L1	SUSPENDED DIRECT - CONTINUOUS ROW	LED	3000 K	80	500	0-10V	1-100%	27 VA	120 V	CEILING	SUSPENDED		ELITE LED LIGHTING		OLS-D-LED 2" CR * 500L * MVOLT 30K 85 WH OCSSSFCJS-0-10		LUMENS ARE PER LINEAR FOOT. 4.5 W PER FOOT.		
L2-B	SUSPENDED DIRECT - CONTINUOUS ROW	LED	3000 K	80		0-10V	1-100%	66 VA	120 V	CEILING	SUSPENDED		BETA CALCO		LELP1P-SFA08-SL08-LV1-LFP060-LPG000-CR80-CTA3000-CTB00-DDA UDD UB00-V1-DA01-H1-HLA03-FA*CF01-E0-CS1-SR-00		*RAL 5022. COLOR TO BE VERIFIED AT SUBMITTALS PRIOR TO ORDERING. 8.25 W/FT, 600 LUMENS/FT.		
L2-G	SUSPENDED DIRECT - CONTINUOUS ROW	LED	3000 K	80		0-10V	1-100%	66 VA	120 V	CEILING	SUSPENDED		BETA CALCO		LELP1P-SFA08-SL08-LV1-LFP060-LPG000-CR80-CTA3000-CTB00-DDA UDD UB00-V1-DA01-H1-HLA03-FA*CF01-E0-CS1-SR-00		*RAL 6005. COLOR TO BE VERIFIED AT SUBMITTALS PRIOR TO ORDERING. 8.25 W/FT, 600 LUMENS/FT.		
L3	WALL MOUNTED LINEAR DIRECT - 2' x 96"	LED	3000 K	80		0-10V	1-100%	52 VA	120 V	CEILING	SURFACE		ELITE LED LIGHTING		OLS-WO-LED 2.5.8 750L * MVOLT 30K 85 RAL * OCSSSFCJS-0-10		*COLOR TO BE DETERMINED *DRIVER SHALL BE COMPATIBLE WITH LUTRON VIVE SYSTEM. PROVIDE WITH INTEGRATED CONTROL MODULE AS REQUIRED FOR WIRELESS CONTROL.		
L4	SUSPENDED DIRECT - CONTINUOUS ROW	LED	3000 K	80	2310	0-10V	1-100%	440 VA	120 V	CEILING	SUSPENDED		PURE EDGE		ZIP-WAVE - WSP50-WVE-120" 30K 85 FLUSH CANOPY				
P1	PENDANT - SUSPENDED	LED	3000 K	80	1370	0-10V	1-100%	85 VA	120 V	CEILING	PENDANT		G LIGHTING		BABYLON - GL-2602 L120 W DBZ 1-4-C				
P2	60" PENDANT - SUSPENDED	LED	3000 K	90	6313	ELV	10-100%	79 VA	120 V	CEILING	PENDANT		TECH LIGHTING		700 S.RR-LED930		PROVIDE REQUIRED ACCESSORIES FOR MOUNTING IN EXISTING TRACK.		
S1	LENSED LED STRIP LIGHT	LED	3000 K	80	3463	0-10V	10-100%	25 VA	120 V	CEILING	SURFACE		COOPER		4SNLED.DS.34SLUN.UNV.CD.1				
TL1	TRACK	--			--	--	--	0 VA		CEILING	SURFACE		JUNO		1.8FT.WH				
TP	PENDANT - TRACK MOUNTED	LED	3000 K	80	485	ELV	10-100%	7 VA	120 V	TRACK	TRACK		WAC		700 S.RR-LED930		MOUNT TO EXISTING TRACK. PROVIDE ALL REQUIRED MOUNTING ACCESSORIES REQUIRED.		
TR1	TRACK LIGHT	LED	3000 K	80	1145	ELV	10-100%	15 VA	120 V	TRACK	TRACK		JUNO		R620L 30K 80CRI.PDIM.VBS.WH				
W1	WALL LINEAR - 4" x 24"	LED	3000 K	80	2350	0-10V	10-100%	18 VA	120 V	WALL	SURFACE		COOPER		2SNLED.LD5.22SLUN.UNV.CD.1				
ABBREVIATIONS ELD - ELECTRONIC LED DRIVER OR POWER SUPPLY EPS - ELECTRONIC PROGRAM START FLUORESCENT BALLAST EPSSD - ELECTRONIC PROGRAM START STEP DIMMING BALLAST: 0/50/100 DIM - DIMMING 0-10V - ZERO TO TEN VOLT DC DIMMING FEATURE FD6 - FLUORESCENT DIMMING BALLAST GWB - GYPSUM WALL BOARD, DRYWALL ACT - ACOUSTICAL CEILING TILE IN SUSPENDED GRID SYSTEM, ACCESSIBLE LUMENS - LUMENS BF - BALLAST FACTOR ECO - LUTRON ECOSYSTEM COMPATIBLE BALLAST CMU - CONCRETE MASONRY BLOCK TBD - TO BE DETERMINED MVOLT - 120 & 277 VOLT COMPATIBLE CFL - COMPACT FLUORESCENT MLV - MAGNETIC LOW VOLTAGE UC - UNDERCABINET																			
GENERAL NOTES A. REFER TO INTERIOR AND EXTERIOR LIGHTING SPECIFICATIONS FOR ADDITIONAL INFORMATION REGARDING FIXTURE, BALLAST OR DRIVER REQUIREMENTS AND INSTALLATION REQUIREMENTS. B. NOTED LUMEN QUANTITY IS DELIVERED LUMEN OUTPUT. C. NOTED DIMMING RANGE INDICATES MINIMUM PARAMETERS. LUMINAIRES WITH GREATER DIMMING RANGE ARE PERMITTED. D. FIXTURE ALLOWANCES ARE FOR FIXTURE ONLY. LABOR AND MATERIALS TO SUPPORT INSTALLATION SHALL BE INCLUDED IN ADDITION TO THE NOTED ALLOWANCE AMOUNT. E. CONTRACTOR SHALL REQUEST MOUNTING HEIGHTS FOR SUSPENDED PENDANTS FROM A/E PRIOR TO INSTALLATION. F. FIXTURE TYPES WITHOUT FINISH OR COLOR SELECTION SHALL BE DETERMINED ON SUBMITTAL. STANDARD OFFERING WILL BE SELECTED. G. FIXTURES NOTED IN THIS SCHEDULE ARE TO ESTABLISH A BASIS OF DESIGN. PRODUCTS OTHER THAN THOSE LISTED IN THE SCHEDULE ARE PERMITTED SUBJECT TO APPROVAL FROM A/E PRIOR TO BIDDING. H. CONTRACTOR SHALL PROVIDE ALLOWANCE IN BID FOR INSTALLATION OF 5 ADDITIONAL TYPE X2 EXIT SIGNS AS DIRECTED BY A/E. ALLOWANCE SHALL INCLUDE ALL REQUIRED MATERIAL AND LABOR. ASSUME 100 FOOT BRANCH CIRCUIT LENGTH ABOVE ACCESSIBLE CEILING.																			
NOTES: 1. REFER TO FLOOR PLAN FOR CONTINUOUS ROW RUN LENGTH. 2. PROVIDE COVE SYSTEM WITH NECESSARY MOUNTING HARDWARE, POWER SUPPLIES, CABLES, END CAPS, ETC. FOR A COMPLETE INSTALLATION. 3. PROVIDE WITH UNIVERSAL MOUNTING HARDWARE FOR CENTER OF TILE OR T-BAR MOUNTING.																			

[PR 02.2]

ELECTRICAL EQUIPMENT SCHEDULE - BUILDING																		
LOAD NAME	LOAD DESCRIPTION	VOLTS	PHASE	HP	VA	FLA	STARTER		TYPE	FURNISHED BY	INSTALLED BY	DISCONNECT		INSTALLED BY	PANEL	CIRCUIT	CONDUIT AND WIRE	NOTES
							FURNISHED BY	INSTALLED BY				FURNISHED BY	INSTALLED BY					
ADO	AUTO DOOR OPENER	120 V	1	--	600 VA	5 A	--	--	--	--	--	MTS	EC	EC	PANEL B	B-21	2#12, 1#12 GND IN 3/4" C.	
ADO	AUTO DOOR OPENER	120 V	1	--	600 VA	5 A	--	--	--	--	--	MTS	EC	EC	PANEL B	B-21	2#12, 1#12 GND IN 3/4" C.	
ADO	AUTO DOOR OPENER	120 V	1	--	600 VA	5 A	--	--	--	--	--	MTS	EC	EC	PANEL B	B-9	2#12, 1#12 GND IN 3/4" C.	
ADO	AUTO DOOR OPENER	120 V	1	--	600 VA	5 A	--	--	--	--	--	MTS	EC	EC	PANEL B	B-9	2#12, 1#12 GND IN 3/4" C.	
EHD	ELECTRIC HAND DRYER - EXISTING	120 V	1	--	1800 VA	15 A	--	--	--	--	--	--	--	--	PANEL B	B-20	2#12, 1#12 GND, 3/4" C.	
EHD	ELECTRIC HAND DRYER - EXISTING	120 V	1	--	1800 VA	15 A	--	--	--	--	--	--	--	--	PANEL B	B-17	2#12, 1#12 GND, 3/4" C.	
EHD	ELECTRIC HAND DRYER - EXISTING	120 V	1	--	1800 VA	15 A	--	--	--	--	--	--	--	--	PANEL B	B-37	2#12, 1#12 GND, 3/4" C.	
FP	FIRE PLACE ELECTRIC INSERT	120 V	1	--	1500 VA	13 A	--	--	--	--	--	EC	EC	EC	PANEL B	B-26	2#12, 1#12 GND IN 3/4" C.	
RFID	RADIO FREQUENCY READER - EXISTING	120 V	1	--	120 VA	1 A	--	--	--	--	--	--	--	--	PANEL B	B-34	2#12, 1#12 GND IN 3/4" C.	1, 2

ELECTRICAL EQUIPMENT SCHEDULE - MECHANICAL																	
LOAD NAME	LOAD DESCRIPTION	VOLTS	PHASE	HP	VA	FLA	STARTER			DISCONNECT			PANEL	CIRCUIT	CONDUIT AND WIRE	NOTES	
							TYPE	FURNISHED BY	INSTALLED BY	TYPE	FURNISHED BY	INSTALLED BY					
CUH-1	ELECTRIC CABINET UNIT HEATER	208 V	1	--	6240 VA	30 A	CR	MC	EC	MTS	MC	MC	PANEL A	A-7	2#10, 1#10 GND IN 3/4" C.		
EBB-1	ELECTRIC WALL HEATER	120 V	1	--	386 VA	3 A	--	--	--	--	--	MTS	MC	PANEL B	B-36	2#12, 1#12 GND IN 3/4" C.	
ECH-1	ELECTRIC CEILING HEATER	120 V	1	--	1500 VA	13 A	CR	MC	EC	MTS	MC	MC	PANEL A	A-12	2#12, 1#12 GND IN 3/4" C.		
ECH-1	ELECTRIC CEILING HEATER	120 V	1	--	1500 VA	13 A	CR	MC	EC	MTS	MC	MC	PANEL A	A-11	2#12, 1#12 GND IN 3/4" C.		
ECH-1	ELECTRIC CEILING HEATER	120 V	1	--	1500 VA	13 A	CR	MC	EC	MTS	MC	MC	PANEL A	A-13	2#12, 1#12 GND IN 3/4" C.		
EF-1	EXHAUST FAN	120 V	1	--	60 VA	1 A	--	--	--	--	--	MTS	MC	PANEL B	B-15	2#12, 1#12 GND IN 3/4" C.	
EF-1	EXHAUST FAN	120 V	1	--	60 VA	1 A	--	--	--	--	--	MTS	MC	PANEL B	B-18	2#12, 1#12 GND IN 3/4" C.	
EF-1	EXHAUST FAN	120 V	1	--	60 VA	1 A	--	--	--	--	--	MTS	MC	PANEL B	B-35	2#12, 1#12 GND IN 3/4" C.	
EF-2	EXHAUST FAN	120 V	1	--	36 VA	0 A	--	--	--	--	--	MTS	MC	PANEL B	B-25	2#12, 1#12 GND IN 3/4" C.	
EF-2	EXHAUST FAN	120 V	1	--	36 VA	0 A	--	--	--	--	--	MTS	MC	PANEL B	B-25	2#12, 1#12 GND IN 3/4" C.	
QAF-1	OUTSIDE AIR FAN	120 V	1	3/4	1656 VA	14 A	CR	MC	EC	MTS	MC	EC	PANEL A	A-14	2#10, 1#10 GND IN 3/4" C.		

ELECTRICAL EQUIPMENT SCHEDULE - PLUMBING																
LOAD NAME	LOAD DESCRIPTION	VOLTS	PHASE	HP	VA	FLA	STARTER			DISCONNECT			PANEL	CIRCUIT	CONDUIT AND WIRE	NOTES
							FURNISHED BY	INSTALLED BY		TYPE	BY	INSTALLED BY				
EWB-1	ELECTRIC WATER HEATER	208 V	1	--	8320 VA	40 A	--	--	--	NDISC	EC	EC	PANEL A	A-10	2#4, 1#4 GND IN 3/4" C.	
EWB-1	ELECTRIC WATER HEATER	208 V	1	--	8320 VA	40 A	--	--	--	NDISC	EC	EC	PANEL A	A-8	2#4, 1#4 GND IN 3/4" C.	
EWB-1	ELECTRIC WATER HEATER	208 V	1	--	8320 VA	40 A	--	--	--	NDISC	EC	EC	PANEL A	A-9	2#4, 1#4 GND IN 3/4" C.	
EWB-2	ELECTRIC WATER HEATER - EXISTING	208 V	1	--	3952 VA	19 A	--	--	--	NDISC	EC	EC	PANEL B	B-4.6	2#8, 1#8 GND IN 3/4" C.	
UFV	URINAL FLUSH VALVE	120 V	1	--	120 VA	1 A	--	--	--	--	--	--	PANEL B	B-19	2#12, 1#12 GND IN 3/4" C.	

ABBREVIATIONS: CFMVR - COMBINATION NON-FUSED DISCONNECT & FULL VOLTAGE NON-REVERSING MOTOR STARTER VFD - VARIABLE FREQUENCY DRIVE WITH DISCONNECT MTS - MOTOR RATED TOGGLE SWITCH FDISC - FUSED DISCONNECT SWITCH NDISC - NON FUSED DISCONNECT SWITCH EDISC - ELEVATOR DISCONNECT SWITCH WITH SHUNT TRIP CR - CONTROL RELAY OR PACKAGED CONTROL PANEL FPC - FIRE PROTECTION CONTRACTOR PC - PLUMBING CONTRACTOR MC - MECHANICAL HVAC CONTRACTOR EC - ELECTRICAL CONTRACTOR GPC - GENERAL CONTRACTOR SRR - SINGLE RECEPTACLE																
GENERAL NOTES: A. ELECTRICAL CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH CONTRACTOR SUPPLYING EQUIPMENT PRIOR TO ALL TRADES ORDERING EQUIPMENT TO ENSURE THE PROPER SELECTION AND COST IMPLICATIONS OF EQUIPMENT SELECTION. COSTS INCURRED DUE TO CHANGES SHALL BE DEFERRED TO THE TRADE SUPPLYING THE EQUIPMENT. B. SINGLE-PHASE MOTOR RATED TOGGLE SWITCH (MTS): PROVIDE SWITCH WITH A TOGGLE HANDLE OPERATOR AND WITH AN OPTIONAL HANDLE GUARD IN A NEMA TYPE 1 ENCLOSURE TO PREVENT ACCIDENTAL OPERATION OF THE TOGGLE OPERATOR. AND TO ALLOW THE TOGGLE OPERATOR TO BE PADLOCKED IN EITHER THE ON OR OFF POSITION (COOPER WIRING #7589 OR EQUAL). REFERENCE ELECTRICAL SPECIFICATION FOR STARTER AND DISCONNECT FEATURES / REQUIREMENTS. C. REFERENCE ELECTRICAL ONE-LINE DIAGRAM AND PANELBOARD SCHEDULES FOR OVERCURRENT PROTECTION AND CIRCUIT CONDUCTOR SIZING. D. EQUIPMENT IN SCHEDULE WITHOUT A LOCATION NOTED ARE EITHER ROOF MOUNTED OR ON THE SITE.																
NOTES: 1. INTERLOCK WITH LIGHTING CONTROL SYSTEM FOR TIMED CONTROL. PROVIDE LIGHTING ROOM CONTROLLER TO CONTROL LOAD. 2. NEMA 5-15R.																

IN ASSOCIATION WITH

SHEET TITLE
ELECTRICAL SCHEDULES

PROJECT TITLE
CITY OF LAKE GENEVA
LAKE GENEVA PUBLIC LIBRARY

DATE ISSUED 6/18/2121
ISSUED FOR BIDDING
REV. NO. DATE
1 09/17/21

PROJECT NUMBER
2019411

SHEET

E6.2

