



City of Lake Geneva, 626 Geneva St, Lake Geneva, WI 53147- 262.248.3673- www.cityoflakegeneva.gov

CITY OF LAKE GENEVA PLAN COMMISSION

MONDAY, APRIL 17, 2023 - 6:00 PM

COUNCIL CHAMBERS, CITY HALL

Members:

Mayor Klein, Alderperson Fesenmaier, Commissioners: John Gibbs, Joel Hoiland, Cindy Forster Fueredi, James Marquardt, and Kyle Cary

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1. Links to the City of Lake Geneva's live video stream can be found at <https://cityoflakegeneva.gov/319/City-Meetings-Video-Stream>

2. Television: Watch live broadcast of the meeting on Spectrum Cable Channel 25

3. Listen to audio via phone: (602) 333-2017 (Long distance rates may apply) (888) 204-5987 (Toll Free)

Access Code: 9746153

AGENDA

1. Meeting called to order by Charlene Klein.
2. Roll Call
3. Approve Minutes of the March 20, 2023 Plan Commission meeting as distributed
4. Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will be limited to five (5) minutes.
5. Acknowledgment of Correspondence
6. Downtown Design Review:
 - a. Application by Letitia Bennett d.b.a. Venture Investment Partners N3102 Grandview Dr. Lake Geneva for a request of an application for Downtown Design Review of an exterior sign request for 717 W. Main St. Tax Key No. ZOP00278
7. Proposed Conceptual Plan for Symphony Bay Phase 8. Applicant Fairwyn SB, Inc. 875 Townline Rd. Suite 103 Lake Geneva the request for review of a step 1 of the Planned Development request for the proposed 70-acre development currently located in the Town of Bloomfield Tax Key No. MB500003
8. Public Hearing and Recommendation for a Conditional Use Permit request by Robin Kokodynski, 1591 Orchard Ln., to allow for the installation of exterior renovations which is located in the Estate Residential – 1 (ER-1) zoning district, Tax Key No. ZA455800001
9. Public Hearing and Recommendation for a Conditional Use Permit request by Gregory Anagnos

N1567 Clover Rd. Lake Geneva to allow the installation of an extension that would allow exterior food sales at 272 Broad St. Unit A for an Outdoor Commercial Entertainment land use, which is in the Central Business (CB) zoning district, Tax Key No. ZOP00244

10. Public Hearing and Recommendation for a Conditional Use Permit request from Kurt Jennison N3382 County Rd. H to allow for an Indoor Commercial Entertainment land use (Pool Hall) in the Central Business (CB) zoning district at 772 W. Main St. Suite 01 Tax Key No. ZOP00321

11. Staff update items

12. Adjournment

QUORUM OF CITY COUNCIL MEMBERS MAY BE PRESENT

Requests from persons with disabilities, who need assistance in order to participate in this meeting, should be made to the City Clerk's office, in order for appropriate Accommodations.

CITY OF LAKE GENEVA PLAN COMMISSION MINUTES
MONDAY, MARCH 20, 2023 - 6:00 PM
COUNCIL CHAMBERS, CITY HALL

Members: Mayor Klein, Alderperson Fesenmaier, Commissioners: John Gibbs, Joel Hoiland, Cindy Forster Fueredi, James Marquardt, and Kyle Cary

Meeting called to order by Charlene Klein.

Commissioner Cary chaired the meeting and called the meeting to order at 6:00 p.m.

Roll Call.

Present: Klein, Fesenmaier, Hoiland, Cary, and Gibbs

Absent: Marquardt and Fueredi

Approve Minutes of the January 16, 2023 Plan Commission meeting as distributed.

Motion by Hoiland to approve the minutes, second by Cary. No discussion. Motion carried 5-0

Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will be limited to five (5) minutes.

Tony Rinella - 997 S Lake Shore Dr: Requested tabling agenda item #8 for concerns about drainage problems and a request for time to review the ultimate plans. Rinella states the previous proposal was not in alignment with the Comprehensive Plan or in compliance with Section 98-205(9) of the Lake Geneva Municipal Code.

Alexis Rinella - 997 S Lake Shore Dr: Requested tabling agenda item #8, referencing Section 66-362, for a city engineer to review. Also requested City Arborist to visit the location because of concerns about tree destruction and drainage problems.

John Dreffin - 1070 S Lake Shore Dr #92-A: Spoke on behalf of the 62 unit owners in Vista Del Lago, in opposition to any multi-family dwellings proposed on agenda item #8. Requesting having only a single family home.

Jerry Orf - 1006 S Lake Shore Dr: Spoke about drainage concerns on agenda item #8.

Patricia Solheim - 636 Sue Ann Dr: Stated concerns about drainage and flooding on agenda item #8.

Tom Reed, Interstate Insurance Group, - 100 W Main St: Spoke in opposition to items 4-7 on agenda item #12.

Frank Guske, Lake Geneva Lane, - 192 E Main St: Spoke in opposition to agenda item #12, items 4-7.

Bill Henry - N2165 Wilderland Dr: Requesting preliminary drawings be made available to better assess the impact of the HWY 50 project and any proposed ordinance changes along that corridor. Agenda Item #12.

Spryo Condos, 1760 Hillcrest Dr & 100 Broad St: Spoke on behalf of the Business Improvement District, in opposition to items 4-7 on agenda item #12. Request to remove 4-7, make an amendment to the ordinance and remove them from the ordinance.

Stephanie Klett, Visit Lake Geneva - 527 Center St: Requests we hold an open meeting on agenda item #12, before any direction is given to staff for next steps. Also, they offered to host the meeting to bring together Visit Lake Geneva & The Business Improvement District members.

Acknowledgment of Correspondence.

Cary noted there were eighteen items of correspondence received from eighteen homeowners within Vista Del Lago homeowners association in opposition to the proposed new build on 999 S Lake Shore Dr. and we received continued correspondence from Claire, Thompson & Pollard in opposition to proposed changes to Zoning Code 98.

Downtown Design Review:

Application by MC Property Management INC; 123 Center Street, for a request to change the exterior colors of the building in the Central Business (CB) Downtown Design Overlay Zoning District, Tax Key Nos. ZMIL00001 - 00034

Representatives from Mill Creek Hotel presented their color choices for the exterior of their building from the historical color swatch. Administrator Walling confirmed their color choice, Whiffle Blue, is an approved Plan

Commission color.

Motion by Hoiland to approve, second by Gibbs Motion carried 5-0.

Application by Denise and Jeff Podhajsky; W303510577 Phantom Woods Road, Mukwonago WI for a request to change the exterior awnings of the building located at 264 Center Street, in the Central Business (CB) Downtown Design Overlay Zoning District, Tax Key No. ZOP00259

Denise & Jeff, business owners of 262 & 264 Center St. presented/discussed their submission for changing the exterior awnings.

Motion by Klein to approve, second by Cary. Motion carried 5-0

Review and Recommendation for a proposed land division condominium conversion request submitted by Younquist-Nading LLC; 255 Havenwood Drive, to create a 2-unit condominium building as identified in the documents generated by Farris, Hansen & Associates dated 12/14/2022 Job No. 10807 for Tax Key No. ZOP00002E

Dale Thrope, Esq. spoke on behalf of Dr. Youngquist proposed land division @ 255 Havenwood Dr. Fesenmaier asked about how the storm water runoff is managed. Dr. Youngquist addresses the question. The property is well sloped and drained and there are no current water issues.

Motion by Hoiland to approve, second by Fesenmaier. Motion carried 5-0.

Review and Recommendation for a proposed land division creating a Certified Survey Map (CSM) request submitted by John Engerman d.b.a. Woodley Assets; W3411 Linton Road. Lake Geneva, to create 2 buildable single family lots, as identified in the documents generated by Paul H. Van Henkelum, dated 03/02/2023 Job No. 22460 for Tax Key No. ZA206600002

John Engerman addressed the commission regarding the proposed planned development. The revised proposal is now for creating two totally conforming SR-4 lots. No multi-family homes, there will be two single family residences. Jackie Mich, City Planner, verified this is correct and permitted. Hoiland asked Administrator Walling how many SR-4's had been broken up into 2 or 3 lots. Walling provided an example of a property on Dodge St. that was broken into 7 lots and was zoned SR-4. This project does not have to come back to the Plan Commission. Fesenmaier asked for confirmation if it was a single family house, that there would not be a need to go to the Plan Commission. Jackie Mich, City Planner, confirmed no Plan Commission would be required. Fesenmaier states concerns pertaining to Chapter 66.362 and the location of the water shed. Fesenmaier would like to continue this item. Administrator Walling confirmed these items are in the staff report. Gibbs, asked John if anyone took him up on his offer to meet with him. They did meet. John confirmed this would be a spec home and no short-term rentals.

Motion by Gibbs to approve, second by Cary. Motion carried 3-2.

Review and Recommendation for a proposed land CSM request submitted by Avalon Property LLC; 875 Geneva Parkway, to create 1 single commercial lot by combining 4 tax parcels, as identified in the documents generated by Farris, Hansen & Associates dated, 11/17/2022 for Tax Key Nos. ZLGBP00010A; ZYUP00157; ZYUP00158; & NLY3100002

Peter Jergan - N2629 Sunset Blvd: Peter is the agent for Avalon Properties. He presented the proposal. Sonja, confirming this is a land division request. Reconfiguration of parcels and achieving what we would like to see on that land, 4 parcels combined into one 5 acre parcel. At the southern end of the parcel is being platted for an outlet. The staff report recommended approval. Peter confirmed that an addition would be made in the future.

Motion by Hoiland to approve, second by Gibbs. Motion carried 5-0.

Public Hearing and Recommendation for a Zoning Map Amendment submitted by Avalon Property LLC; 875 Geneva Parkway, to allow for the zoning designation of Planned Business Park (PBP) from the current Planned Business (PB) zoning classification Tax Key Nos. ZYUP00157; ZYUP00158; & NLY3100002

Peter Jergan - N2629 Sunset Blvd: Peter is the agent for Avalon Properties. Peter presented their request for a zoning change.

Staff recommendation for approval.

Motion by Cary to close the public hearing, second by Gibbs. Motion carried 5-0
Motion by Hoiland to approve, second by Gibbs. Motion carried 5-0.

Public Hearing and Recommendation for a Conditional Use Permit to allow for a Husbandry land use (goat grazing) in the Rural Holding (RH) zoning district at the Hillmoor property located at 333 E. Main Street; Tax Key No. ZYUP00131

Jackie Mich, City Planner; presenting an overview of the proposed Conditional Use request. Recommendation for approval.

Motion by Klein to close the public hearing, second by Cary. Motion carried 5-0.
Discussion follows between the Commission and City Planner regarding location in the property.
Motion by Hoiland to approve to include the entire property of 333 E Main St, including the affirmative set of findings and additional conditions of approval recommended by staff, second by Gibbs. Motion carried 5-0.

Discussion and direction to staff on next steps for enhanced building and site design standards

Mayor Klein noted that she would like the commissioners to come together in a workshop type setting to discuss the design standards that have been adapted from the previously proposed gateway ordinance.

City Planner Mich stated that she would like the Commission to identify which items from the previously proposed ordinance to explore further. She added that items 4-7 of the proposed gateway ordinance were the most problematic for the public. A suggestion was made that those standards only be applied to a new development and leave the existing as is. Mich encouraged the commission to identify how the workshop should be structured and what the end goal is.

Administrator Walling noted the budget for this item has been exhausted and voiced concern over the ability to fund the review of comprehensive plan amendments. Gibbs stated that he is not in favor of the proposed gateway ordinance as relates to existing businesses, but that the standards could be applied to any new construction. General discussion regarding the possible creation/implementation of a gateway design standard continued.

The Plan Commission recommended that the City Planner review sections one through three of the previously proposed gateway ordinance and prepare communication to the possible affected business owners. No action taken.

Adjournment

Motion by Hoiland to adjourn, second by Klein. Motion carried 5-0. Meeting adjourned at 8:07 p.m.



City of Lake Geneva
Building and Zoning
626 Geneva Street
Lake Geneva, WI 53147

APPLICATION FOR DOWNTOWN DESIGN REVIEW

Site Address & Parcel No.:

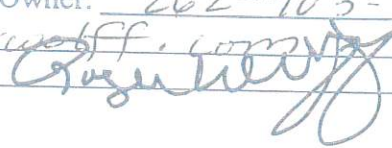
707 W MAIN ST
LAKE GENEVA, WI 53147

Name & Address of Current Building Owner:

VENTURE INVESTMENT PARTNERS LLP
PO BOX 460
LAKE GENEVA, WI 53147

Telephone Number of Current Building Owner: 262-903-3222

Email Address: roger@rogerweber.com

Owner Signature: 

Name & Address of Applicant:

LETITIA BENNETT
N3102 GRANDVIEW DR.
LAKE GENEVA, WI 53147

Telephone Number of Applicant: 920-723-1317

Email Address: tlb@shopmaxielg.com

Proposed Design Change:

Zoning District: CB

Names & Address of Architect, Engineer, and/or Contractor of Project:

Description of Project:

HANGING SIGN

Date: 3/28/23 Signature of Applicant: 

Cost Recovery # _____

Petitioner Name _____

Project Address _____

OFFICE USE ONLY

Description of Request _____

Agreement for Services

REIMBURSABLE BY THE PETITIONER / APPLICANT. The city may retain the services of the professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposals coming before the Plan commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any financing charges that may accrue. The City applies the charges for these services to the Petitioner. The City Administrator at any time may require an applicant to submit an advance deposit of \$500 to \$5,000 depending on the complexity and anticipated involvement of the City's consultants or continuing advance deposits against future billings by the City for recovery of costs provide by this ordinance 98-935(4). An advanced deposit shall be required for the application related to Extraterritorial matters. Surplus deposits shall be returned to the Applicant at the conclusion of the project.

LETITIA BENNETT, as applicant/petitioner for

Project:

HANGING SIGN

Project Address:

707 W MAIN ST LAKE GENEVA

Parcel No. _____

Name:

LETITIA BENNETT

Address:

N3102 GRANDVIEW DR.

LAKE GENEVA, WI 53147

Cell Phone: (920) 723-1317

Phone: () - - -

Email: tisha@shopmoxie.lg.com

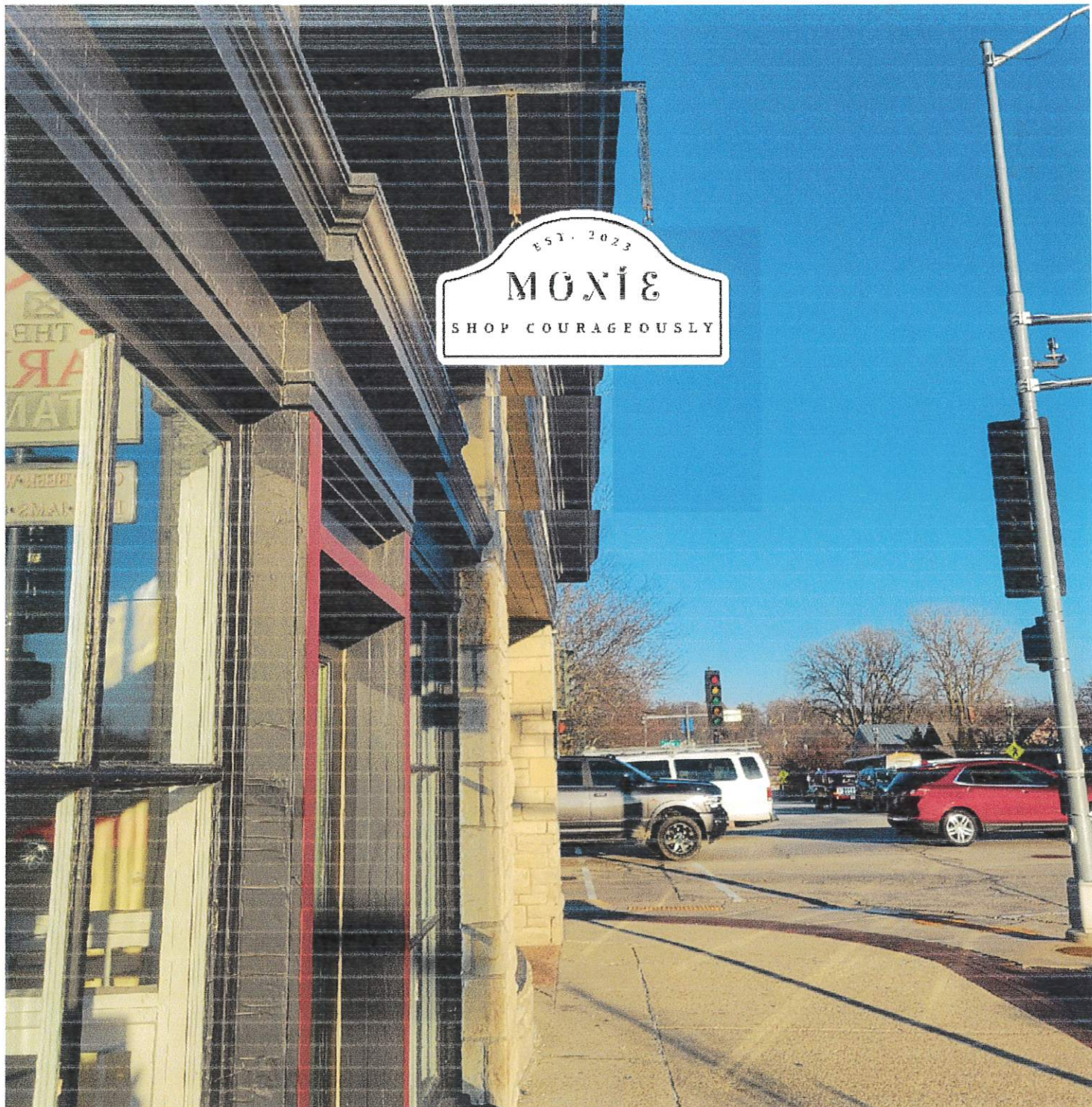
Dated this 28 Day of MARCH, 20 23

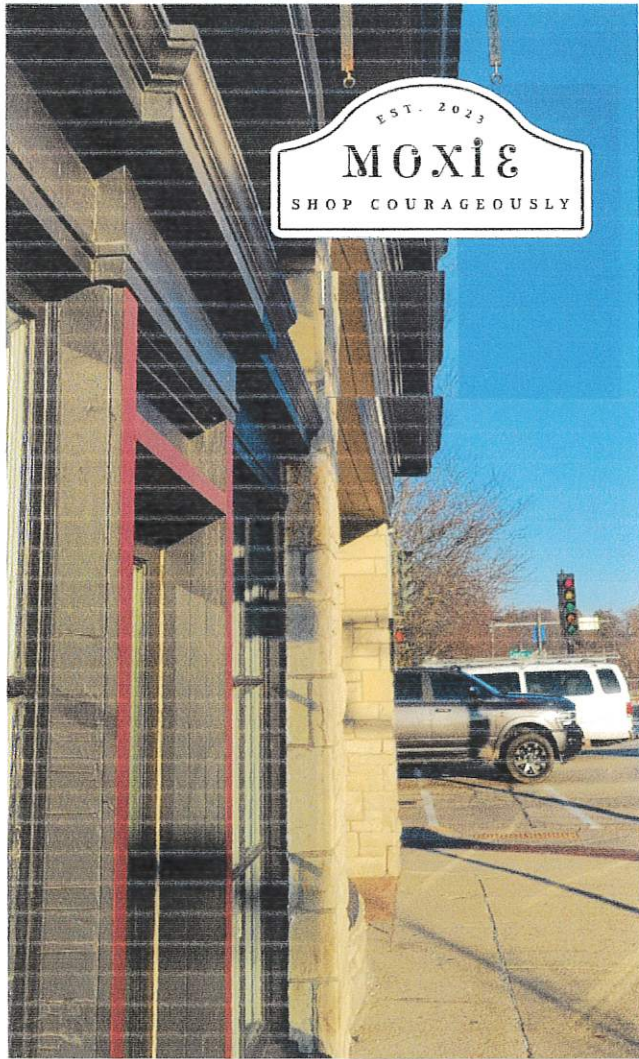
LETITIA BENNETT

Printed Name of Applicant / Petitioner

L Bennett

Signature of Applicant/Petitioner





16"

32"

material 19mm PVC
 letter and boarder, cut vinyl
 size 32"X16"
 color, black on white
 two sided

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: April 17, 2023

Agenda Item: 6a

Applicant:

Letitia Bennitt
d.b.a. Venture Investment Partners LLP
N3102 Grandview Dr.
Lake Geneva

Request:

717 W. Main St
Downtown Design Review exterior signage in
the Central Business (CB) zoning district
Tax Key No. ZOP00278

Description:

The applicant is submitting an application for Downtown Design Review to allow for exterior signage to the building located at 717 W. Main St in the Central Business (CB) zoning district, Tax Key No. ZOP00278.

The City reviews all exterior alteration in the CB zoning district to confirm that they conform to the Downtown Design standards, particularly quantity, size, and color requirements.

Staff Recommendations:

Staff recommend *approval* of the Alteration and installation request as submitted.

APPLICATION TO INITIATE PLANNED DEVELOPMENT PROCESS

City of Lake Geneva

Site Address/Parcel No. and full Legal Description required (attach separate sheet if necessary):

Parcel #MB500003

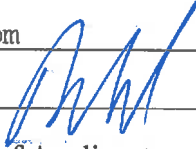
See attached legal description

Name and Address of Current Owner: Bloomfield Holdings, LLC

875 Townline Road, Suite 103, Lake Geneva, WI 53147

Telephone No. with area code & Email of Current Owner: 262.248.5010

brian@fairwyn.com

Owner Signature: 

Name and Address of Applicant:

Fairwyn SB, Inc.

875 Townline Road, Suite 103, Lake Geneva, WI 53147

Telephone No. with area code & Email of Applicant: 262.248.5010

brian@fairwyn.com

Proposed Use: Phase 8 of the Symphony Bay age targeted community.

Approximately 140 detached single family homes.

Zoning District in which land is located: agricultural unincorporated Bloomfield

Names and Addresses of architect, professional engineer and contractor of project:

Kapur and Associates - 7711 N. Port Washington Road, Milwaukee, WI 53217

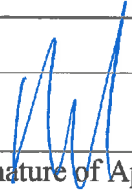
Fairwyn SB, Inc. - 875 Townline Road, Suite 103, Lake Geneva, WI 53147

Short statement describing activities to take place on site:

Single family residential neighborhood

4/11/23

Date


Signature of Applicant

LEGAL DESCRIPTION
SYMPHONY BAY PHASE 8

The East 1/2 of the Northwest 1/4 of Section 5, Township 1 North, Range 18 East, of Fourth Principal Meridian, lying in the Town of Bloomfield, County of Walworth, and State of Wisconsin, excepting therefrom lands conveyed in Warranty Deed recorded March 18, 1916, in the Register of Deeds Office for Walworth County, Volume 146, page 39, as Document No. 208082; further excepting lands conveyed in Warranty Deed recorded February 1, 1962, in the Register of Deeds Office for Walworth County, Volume 574, page 453, as Document No. 536270. Also excepting that portion lying north of the relocated Town Line Road as said road is described in Document No. 536270.

PROJECT NARRATIVE

Phase 8 of the Symphony Bay development represents approximately 70 acres of unincorporated land outside the City of Lake Geneva, but within the City's planning area. The land is designated as Planned Neighborhood on the City's comprehensive land use map. The property is within the Lake Geneva water and sewer facilities service area. The Symphony Bay Phase 5 lift station was designed to accommodate flows from Phase 8.

The general property location is noted on the attached maps. The property is located outside the corporate limits of the City of Lake Geneva, west of North Street, south of Townline Road and north of Bloomfield Road at the far southeast corner of the City.

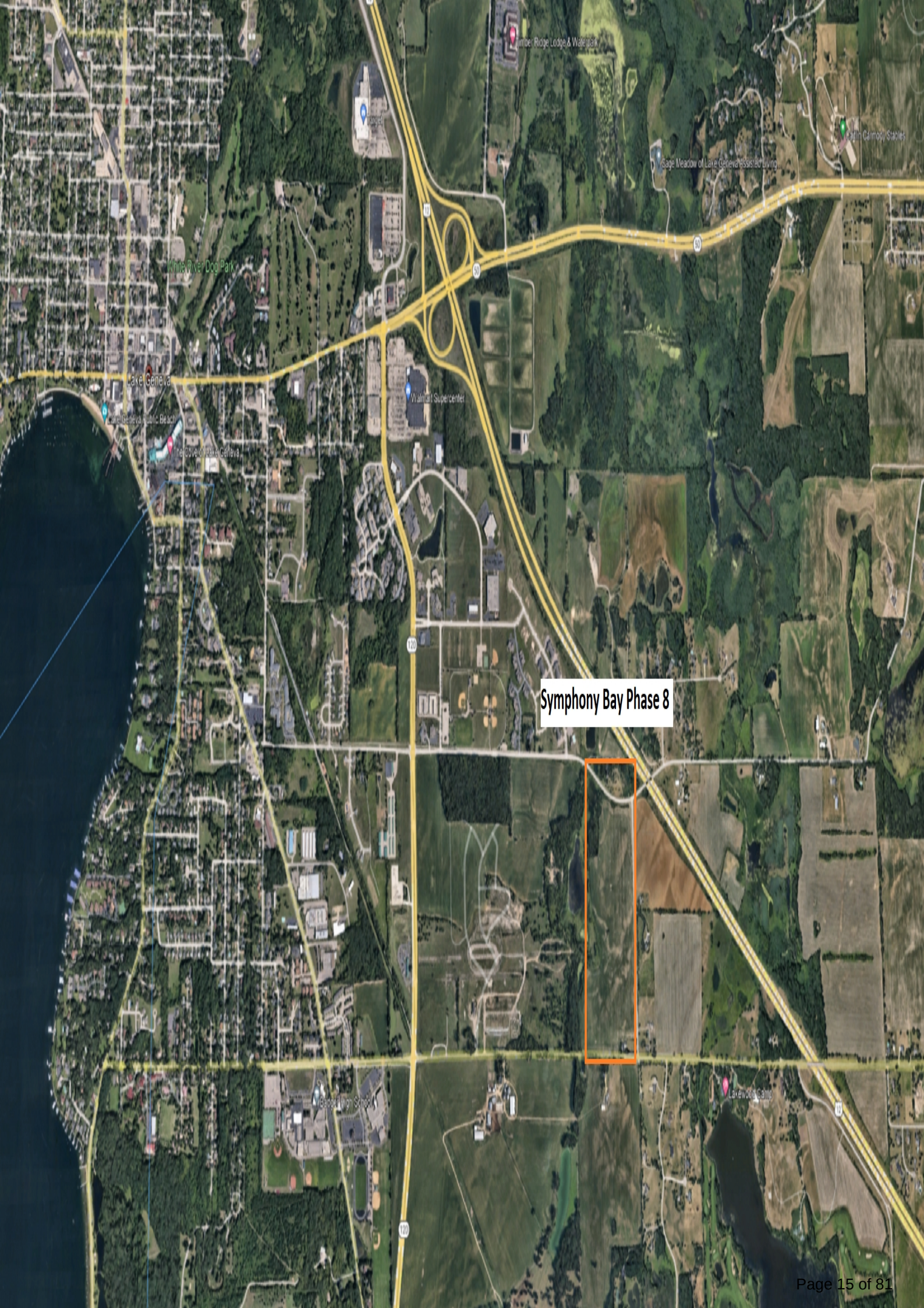
- a) **Project Description:** The Developer, Fairwyn is proposing the development of an approximately 140 home age targeted active adult community as a logical extension of The Symphony Bay community. The attached concept site plan depicts how the site will be developed.

Residents in this phase 8 area will have access to the full array of offerings that all residents of Symphony Bay now enjoy, including an onsite clubhouse with pool, lakeside lodge at Buttons Bay, over 2 miles of walking trails that are interconnected with the City's regional trail system. In addition to those physical amenities, the low maintenance lifestyle aspects of Symphony Bay provide lawn maintenance and snow removal provided by the home owners association.

- b) **Unit Types and Land Uses:** The development will mirror the homes and land use design incorporated in earlier phases of Symphony Bay.
- i) Homes will be constructed on the same 50 foot wide by 120 foot deep Nautical Series lot currently constructed in Symphony Bay. Minimum side yard setbacks will be 5'.
 - ii) We will continue to provide the same ranch home designs as currently offered in Symphony Bay. Homes sizes range from 1,590 square feet to 1,940 square feet. Flexibility of a second-floor bonus and storage areas will remain available as well.
- c) **Approximate Density:** The project plans contemplate approximately 140 dwelling units on the 70 acres of land. The resultant density is 2.0 dwelling units per is far below the expected density of a mixed use Planned Neighborhood.
- d) **Natural Features:** The conceptual site plan has been developed by Fairwyn's land planning consultant, Teska and Associates In addition to a strong municipal planning background, Teska has vast experience in land planning communities throughout the region in an environmentally responsible manner.

The wetland areas on the property's west boundary, has been incorporated into the land plan, and will be enhanced with a walking trail system. A walking path will be provided to connect Phase 8 to Symphony Bay walking trail. The trails will provide resident walking access to the natural areas within the site. The trail system interconnects with the community regional trail network and will be available to all residents of Lake Geneva. All development related activities will remain sensitive to this natural amenity.

- e) **Relationship to Nearby Properties and Streets:** Access to Phase 8 will be provided at North Road and Bloomfield Road. To create a greater sense of community and security, and to discourage “cut through” traffic, roadways are purposely designed in a curvilinear fashion.
- f) **General Relationship to Master Plan:** The proposed plan is consistent with the goals of the City master plan and future land use plan Planned Neighborhood designation.
- g) **Rationale for PD Zoning:** The requested PD zoning best provides the flexibility in regulation necessary to accommodate the standards typical of an active adult type community. Density remains at 50% of City expectation in a Planned Neighborhood.
- h) **Zoning Standards:** We are requesting zoning allowances as provided in the Symphony Bay recommendation memorandum from City Planner, Vandewalle & Associates dated February 15, 2016
- i) **Zoning Exemptions:** We are requesting zoning allowances as necessary to facilitate the proposed project including relief to accommodate the proposed lot sizes and setbacks provided in the Symphony Bay recommendation memorandum from City Planner, Vandewalle & Associates dated February 15, 2016

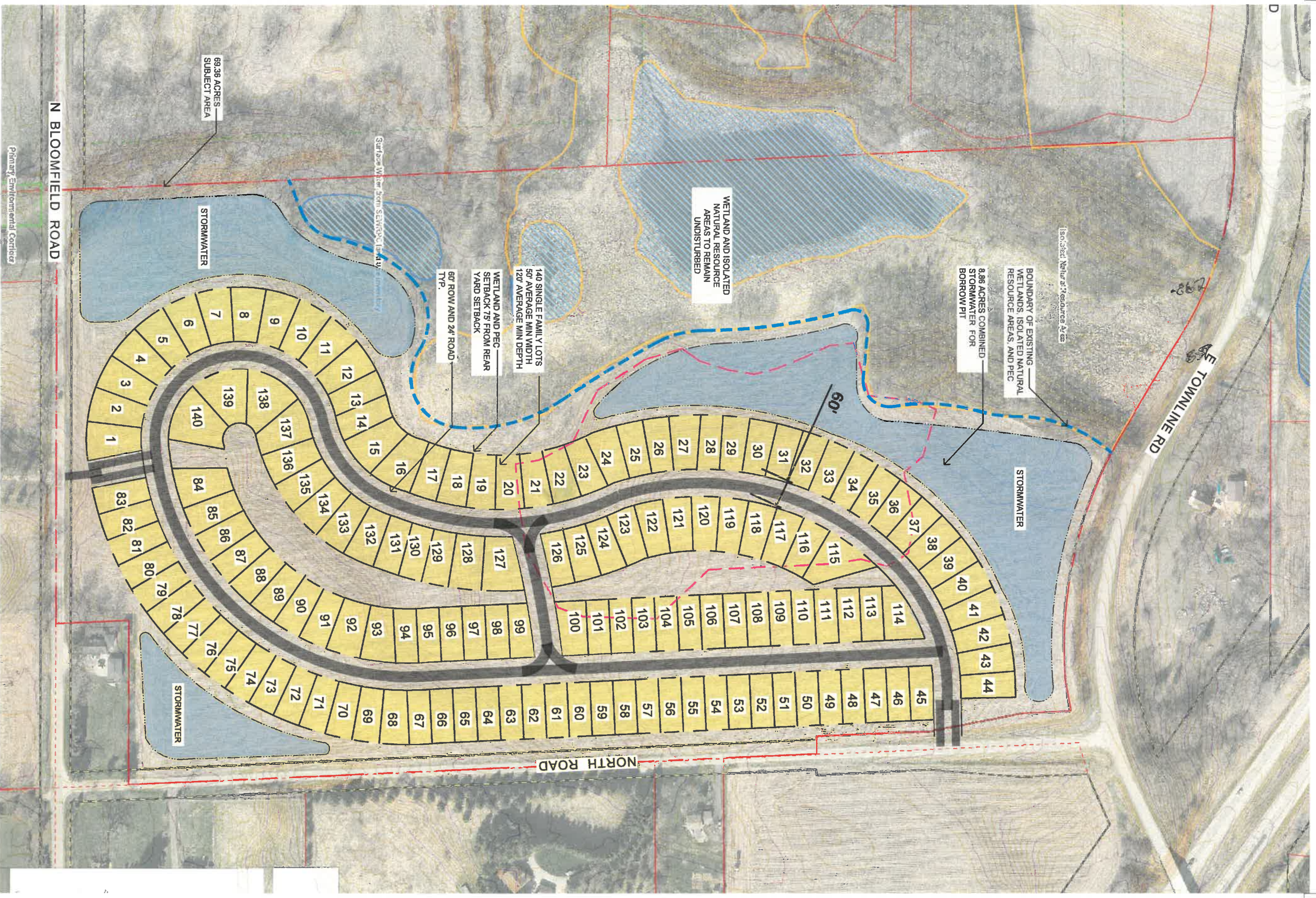


Symphony Bay Phase 8



Symphony Bay Phases 1 - 7

Phase 8



Conceptual Plan

FAIRWYN SYMPHONY BAY

LAKE GENEVA, WISCONSIN



March 31, 2021





VANDEWALLE & ASSOCIATES INC.

To: City of Lake Geneva
From: City Planner, Michael A. Slavney, FAICP
Date: 15 February 2016
Re: List of Zoning Flexibilities for the Single Family lots in the Symphony Bay Planned Development

The Planned Development should enable the following items of zoning flexibility for the Single-Family Lots in Symphony Bay:

1. A reduction of minimum lot size for the single-family lots from 9,000 square feet in SR-4 to 6,000 square feet in Symphony Bay.
2. A reduction of minimum lot width for the single-family lots from 75 feet in SR-4 to 50 feet in Symphony Bay.
3. A reduction of minimum street frontage for the single-family lots from 50 feet in SR-4 to 35 feet in Symphony Bay.
4. A reduction of minimum side yard setbacks for the single-family lots from 6 feet in SR-4 to 5 feet in Symphony Bay for the 50 foot wide lots.
5. A reduction of minimum combined side yard setbacks for the 50 foot wide single-family lots from 15 feet in SR-4 to 10 feet in Symphony Bay.
6. A reduction of minimum combined side yard setbacks for the 50 foot wide single-family lots from 15 feet in SR-4 to 10 feet in Symphony Bay.
7. A reduction of minimum dwelling unit separation setbacks for the single-family lots from 12 feet in SR-4 to 10 feet in Symphony Bay.
8. Establish a maximum height for entry features of twenty feet.

Approval of items of zoning flexibility for the Duplex Lots in Symphony Bay should wait until specific floor plans, and the resulting required setbacks, are submitted for City approval.



Kelly C Frazier Design, LLC

March 2, 2023

Mr. Fred Walling
Building Inspector / Zoning Administrator
City of Lake Geneva
626 Geneva Street
Lake Geneva, WI 53147

RE: APPLICATION FOR CONDITIONAL USE IN ER-1 DISTRICT
NEW COVERED ENTRY, NEW LANDSCAPING INCLUDING PATIO & WALKS OF EXISTING RESIDENCE
FOR
MR. and MRS. ANDREW & ROBIN KOKODYNSKI
1591 ORCHARD LANE
LAKE GENEVA, WISCONSIN 53147

Dear Mr. Walling, City Staff and Members of the Plan Commission:

Andrew and Robin Kokodynski at 1591 Orchard Lane in the Lake Geneva Manor Subdivision in the City of Lake Geneva wish to add covered entry, new chimney (chimney already built per 2022 building permit issued), new terrace/patio, walks and landscaping to the Existing Residence.

The *Property* is Lot 1 of Certified Survey Map No. 4558 being a parcel consolidation of all Lot 21 and part of Lots 17, 18, 20 and 22 of Block 31 of Lake Geneva Manor Sub. Tract No. 17 located in part of the Government Lot 2 in the Northwest $\frac{1}{4}$ of the Southeast $\frac{1}{4}$ of Section 35, Town 2 North, Range 17 East, City of Lake Geneva, Walworth County, Wisconsin as recorded on Oct 15, 2014 as Document number 893334 and is designated as Tax Key #ZZ455800001.

Under the Lake Geneva Zoning Ordinance, the property is zoned ER-1, Estate Residential District. This lot is substandard under the bulk requirements of the ER-1 District in that the lot area is 14,925 square feet (0.34 acres) and the lot is irregular abutting two streets with varying widths, 70.17' at Orchard Lane (east) side and 65.97' at Lakeview Drive (west) side. The existing home does not meet the setback requirements of the ER-1 Zoning District, but is considered legal non-conforming structure on a legal substandard lot as it was built prior to adoption of the current zoning designation.

Under the Zoning Ordinance 98.407(3)(a&b), Existing Single Family Residences on legal substandard lots within the ER-1 Zoning District can be added/remodeled upon approval of a Conditional Use per all the zoning requirements of the SR-4 Zoning District, EXCEPT Landscape Surface Ratio (LSR) minimum, which shall remain 60% per ER-1 requirement.

Although the proposed LSR 73% exceeds the 60% minimum required, per Section 98.407(3)(a) & (b), an increase in impervious surface from the current LSR requires review and approval of Storm Water Management Plan with improvements, grading and erosion control plans by the City Engineer to ensure full compliance with the City's stormwater quality and quantity standards.

For the proposed conditional use as described above, submittal includes the following:

- *Application for Conditional Use* and required fee \$100.00 per 98-408er Section 98-408(3)(a)
(Paid with DRT submittal 02/08/23)
- *Agreement for Services*, signed by the Owner (submitted with DRT submittal, 02/08/23)
- A. *Lake Geneva Zoning Map showing location of Subject Property for Conditional Use* with zoning district enlarged map of subdivision and map of properties within 300' of subject property (Walworth County Property Map)
- B. *Existing Plat of Survey of Subject Site* showing existing buildings, driveway, lot dimensions, graphic scale, and north arrow
- C. *Proposed Plat of Survey / Site plan* with all lot dimensions, proposed additions, existing and proposed landscape/hardscape plan
Storm Water Management / Grading Plan w/ proposed drainage system to support the increase of impervious surface which meets setback requirements of the SR-4 zoning and the LSR minimum required in the ER-1 zoning
Soil Erosion Control Plan &
Operation & Maintenance Plan. *Prepared by Farris Hansen and Associates, Inc.*
- D. *Architectural Site/Landscape/Hardscape Plan and Impervious Surface Key Plan* with calculations with Proposed Elevations/Sections for Covered Porch and Chimney and Landscaping Plan by B&J Tree and Landscape Service, Inc
- E. *Written Justification of the proposed Conditional Use*

Thank you for your consideration of our project. Please let me know if you need additional information or have any questions.

Sincerely,



Kelly C. Frazier
Kelly C. Frazier Design, LLC

APPLICATION FOR CONDITIONAL USE

City of Lake Geneva

Site Address/Parcel No. and full Legal Description required (attach separate sheet if necessary):

1591 Orchard Lane, Tax Id: ZA455800001 Legal description: Lot 1 of Certified Survey Map. 4558 being a parcel consolidation of all of Lot 21 and part of the Lots 17, 18, 20, and 22 of block 31 of Lake Geneva Manor, Tract Number 17, located in part of the Governmental Lot 2 in the NW 1/4 of the SE 1/4 of Section 35, Town 2 North, Range 17 East, City of Lake Geneva, Walworth County WI as recorded on Oct. 15, 2014 as Document Number 893334.

Name and Address of Current Owner: _____

Andrew & Robin Kokodynski, 1591 Orchard Lane, Lake Geneva, WI 53147

Telephone No. with area code & Email of Current Owner: _____

Robin Kokodynski 262-949-3005, email: r.kokodynski@gmail.com

Owner Signature: _____

Name and Address of Applicant: _____

Andrew & Robin Kokodynski, 1591 Orchard Lane, Lake Geneva, WI 53147

Kelly C Frazier Design LLC, 141 N. Water St Unit 33, Milwaukee, WI 53202

Telephone No. with area code & Email of Applicant: Robin Kokodynski, See above

Kelly Frazier, ph: 262-215-0586, email: kelly@kcfdesignllc.com

Farris, Hansen & Associates, ph: 262-723-2098, email: chris@farrishansen.com

Proposed Conditional Use: Property is located in the ER-1 zoning district but doesn't meet the lot size, is considered a legal substandard property, therefore, per Section 98-407(3), any additions, structures, or paved areas allows permission to use some of the provisions of the SR-4 zoning (with exceptions & requirements per change to ordinance dated Aug. 17, 2021) with a review and approval conditional use permit.

Zoning District in which land is located: ER-1 Estate Residential

Names and Addresses of architect, professional engineer and contractor of project:

Kelly Frazier, Kelly C Frazier Design, LLC, 141 N. Water St. Unit 33, Milwaukee, WI 53202

Farris Hansen and Associates, Inc., 7 Ridge Ct., PO Box 437, Elkhorn, WI 53121

Short statement describing activities to take place on site:

Open covered front porch added at front entry and chimney added at rear of home, paved patio added at west side of house with various paved walks added and replaces existing brick/stone patios, walk from street removed for shorter walk from existing driveway, various planting areas with raised planting areas reworked for grade changes that control drainage at high side of lot to direct to natural low grade at southeast, yard and pop-up drainage system with rain garden feature proposed per storm water management plan to control drainage where natural low grade exists.

Conditional Use Fee payable upon filing application: \$400.00 [\$100.00 for Application Under Sec. 98-407(3)]

02/07/2023

Date

Robin Kokodynski

(owner's signature -see DRT submittal from 02/07/2023)

Signature of Applicant

_____ Cost Recovery # _____
Petitioner Name _____ Project Address _____
OFFICE USE ONLY _____ Description of Request _____

Agreement for Services

REIMBURSABLE BY THE PETITIONER / APPLICANT. The city may retain the services of the professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposals coming before the Plan commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any financing charges that may accrue. The City applies the charges for these services to the Petitioner. The City Administrator at any time may require an applicant to submit an advance deposit of **\$500 to \$5,000 depending on the complexity and anticipated involvement of the City's consultants** or continuing advance deposits against future billings by the City for recovery of costs provide by this ordinance 98-935(4). **An advanced deposit shall be required for the application related to Extraterritorial matters.** Surplus deposits shall be returned to the Applicant at the conclusion of the project.

Project: Andrew & Robin Kokodynski, as applicant/petitioner for
Kokodynski Residence
Project Address: 1591 Orchard Lane, Lake Geneva, WI 53147
Parcel No. ZA455800001
Name: Andrew and Robin Kokodynski
Address: 1591 Orchard Lane, Lake Geneva, WI 53147

Cell Phone: (262) - 949 - 3005 Phone: (____) - _____ - _____

Email: r.kokodynski@gmail.com

Dated this 07 Day of February, 20 23

Robin Kokodynski

Printed Name of Applicant / Petitioner

Robin Kokokdyski

(owner's signature -see DRT submittal from 02/07/2023

Signature of Applicant/Petitioner

Applicant/Petitioner agrees that in addition to those normal costs payable by an applicant/petitioner (e.g., filing or permit fees, publication expenses, recording fees, etc.), that in the event the action applied or petitioned for requires the City of Lake Geneva, in the judgment of its staff, to obtain additional professional service(s), (e.g., engineering, surveying, planning, legal) than would be routinely available "in house" to enable the City to properly address, take appropriate action on, or determine the same, applicant/petitioner shall reimburse the City for the costs thereof

Section 98-935 Fees:

(1) Fees for Procedures or Permits Requested by a Private Party: The fees for the procedures and permits established by this Chapter shall be established by resolution of the Common Council of the City of Lake Geneva

(2) Fees for Procedures Requested by the City of Lake Geneva: There shall be no fee in the case of applications filed in the public interest by the Common Council or the Plan Commission, other agency, or official of the City of Lake Geneva.

(3) Payment of Fees: Fees shall be payable at the time applications are filed with the appropriate officer of the City (per the requirements of this Chapter), and are not refundable.

(4) Professional Consultant Review Services: The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposal coming before the Plan Commission. The City may apply the charges for these services to the Petitioner. The City will require the Petitioner to sign a professional consultant review services form. The City Administrator at any time may require an applicant to submit an advance deposit of **\$500 to \$5,000 depending on the complexity and anticipated involvement of the City's consultants** or continuing advance deposits against future billings by the City for recovery of costs provide by this ordinance 98-935(4). **An advanced deposit shall be required for the application related to Extraterritorial matters.** The City may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until such fees are paid by the Petitioner. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal. Review fees which are applied to a Petitioner, but which are not paid, may be assigned by the City as a special assessment to the subject property.

CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR: CONDITIONAL USE REVIEW AND APPROVAL (Requirements per Section 98-905)

This form should be used by the Applicant as a guide to submitting a complete application for a conditional use and by the City to process said application. Parts II and III should be used by the Applicant to submit a complete application; Parts I - IV should be used by the City as a guide when processing said application.

I. RECORDATION OF ADMINISTRATIVE PROCEDURES

____ Pre-submittal staff meeting scheduled:

Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

Follow-up pre-submittal staff meetings scheduled for:

____ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

____ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

____ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

____ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

____ Application form filed with Zoning Administrator: Date: _____ by: _____

____ Application fee of \$ ____ received by Zoning Administrator: Date: _____ by: _____

____ Reimbursement of professional consultant costs agreement executed: Date: _____ by: _____

II. APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 8 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 1 initial draft application packet and 1 digital copy for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (1 Copy and 1 Digital Copy to Zoning Administrator) Date: _____ by: _____

↓ *Draft Final Packet (8 Copies and 1 Digital Copy to Zoning Administrator)* Date: _____ by: _____

↓

____ (a) **A map of the proposed conditional use:**

- ____ Showing all lands for which the conditional use is proposed;
- ____ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;
- ____ Map and all its parts are clearly reproducible with a photocopier;
- ____ Map size of 11" by 17" and map scale not less than one inch equals 800 ft;
- ____ All lot dimensions of the subject property provided;
- ____ Graphic scale and north arrow provided.

____ (b) **A map, such as the Land Use Plan Map, of the generalized location of the subject property in relation to the City as a whole:**

____ (c) **A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations;**

_____ (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.

_____ (e) Written justification for the proposed conditional use:

_____ Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. *(See below)*

III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

See attached submittal packet

2. How is the proposed conditional use, in its specific location, in harmony with the purposed, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

See attached submittal packet

3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?

See attached submittal packet

4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

See attached submittal packet

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

See attached submittal packet

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

See attached submittal packet

IV. FINAL APPLICATION PACKET INFORMATION

____ Receipt of 1 full scale copy in blue/line or black/line
of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ Receipt of 8 reduced (8.5" by 11" text and 11" x 17" graphics)
copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ A digital copy of Final Application Packet shall be emailed to the
Building and Zoning Department upon submittal deadline. Date: _____ by: _____

____ Certification of complete Final Application Packet and
required copies to the Zoning Administrator by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice published on _____ and _____ by: _____

____ Conditional Use recorded with the County Register of Deeds Office: Date: _____ by: _____

**A. MAPS OF PROPOSED CONDITIONAL USE
(LAND USE MAP OF CITY OF LAKE GENEVA)
(WALWORTH COUNTY PROPERTY MAP)**

Kokodynski Residence

Lake Geneva Manor

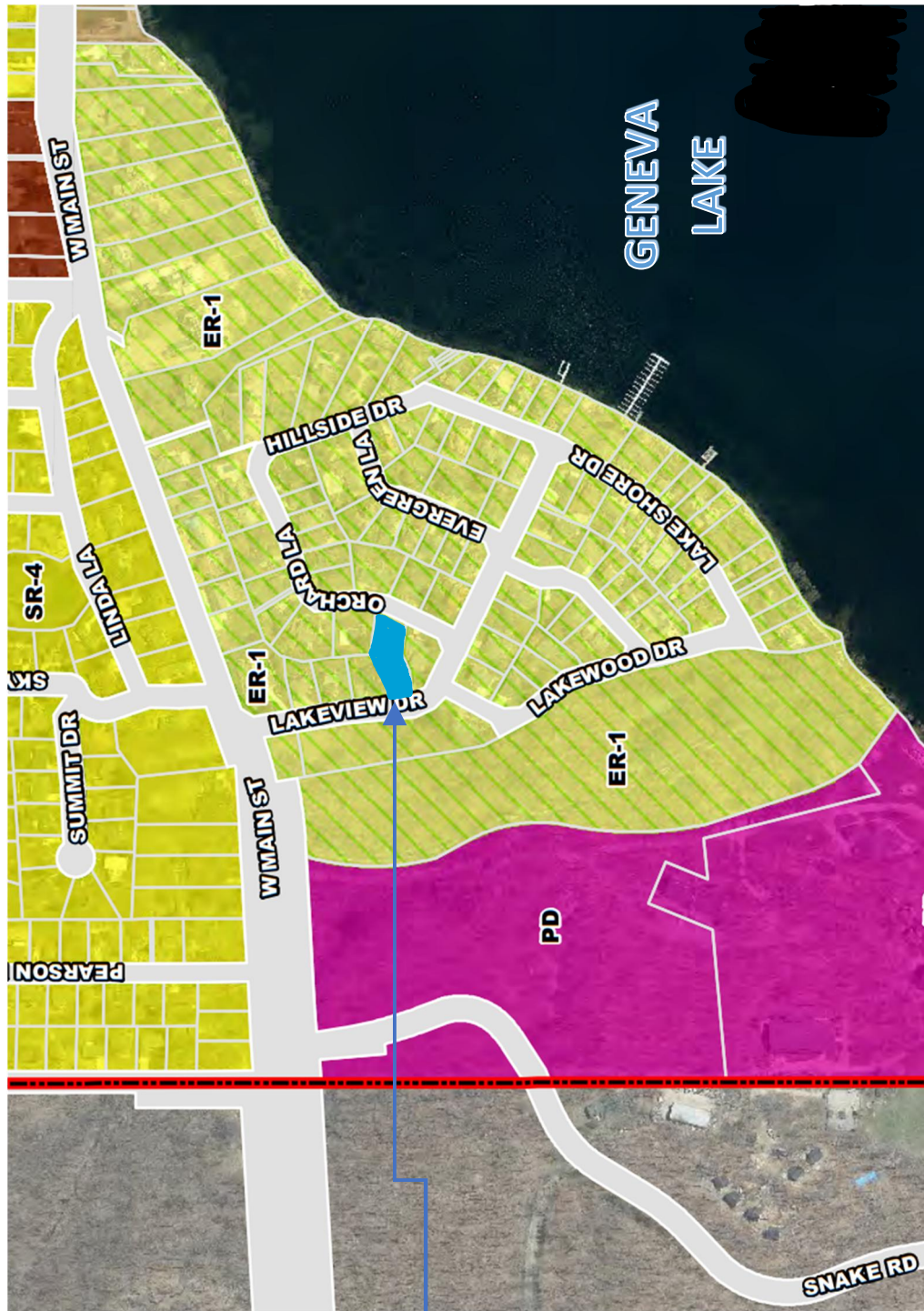


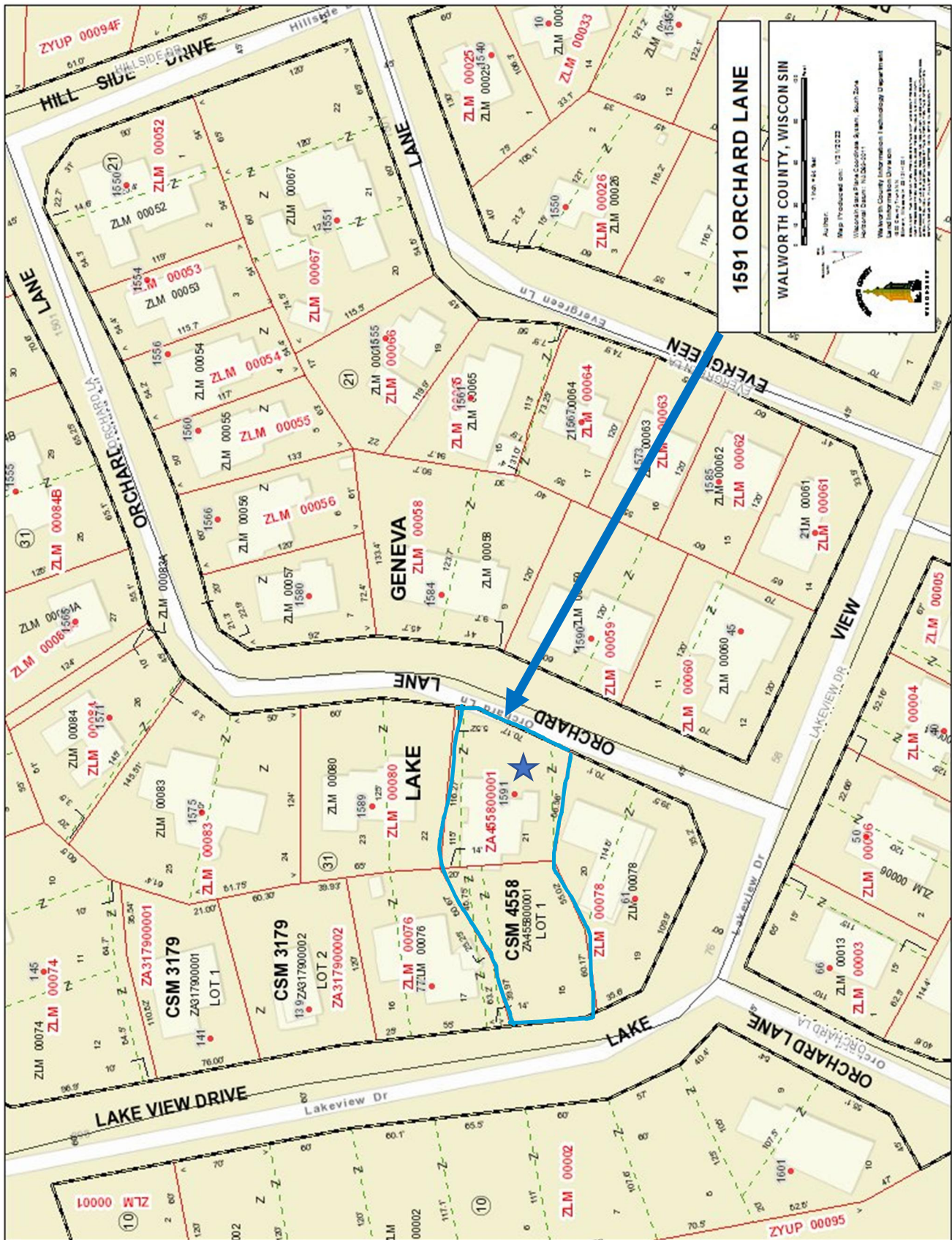
KAPUR
LAKE-GENEVA

Enlargement

Kokodynski Residence

1591 Orchard Lane
Lake Geneva Manor

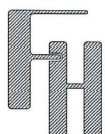




WALWORTH COUNTY PROPERTY MAP

B. EXISTING PLAT OF SURVEY OF SUBJECT SITE

PLAT OF SURVEY
LOT 1 OF CERTIFIED SURVEY MAP NO. 4558
LOCATED IN THE NW 1/4 OF THE SE 1/4 OF SECTION 35, TOWN 2 NORTH, RANGE 17 EAST
CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN



PLAT OF SURVEY
LOT 1 CSM 4558
1591 ORCHARD LANE
LAKE GENEVA, WI 53147

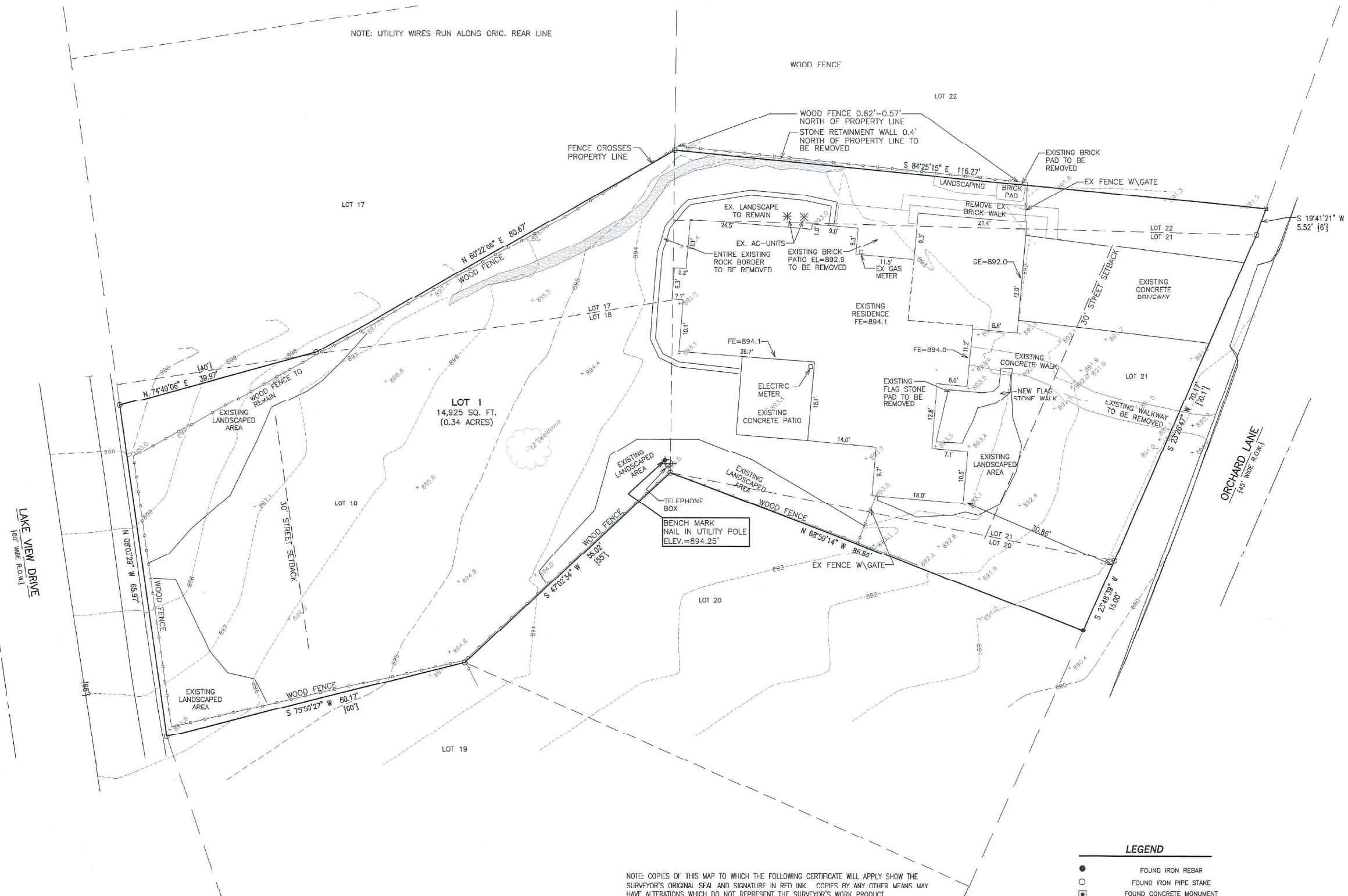
— WORK ORDERED BY —
ANDREW & ROBIN KOKODYNSKI
1591 ORCHARD LANE
LAKE GENEVA, WI 53147

FARRIS, HANSEN & ASSOCIATES, INC.
ENGINEERING — ARCHITECTURE — SURVEYING
7 RIDGWAY COURT P.O. BOX 437
ELKHORN, WISCONSIN 53121
OFFICE: (262) 723-2098 FAX: (262) 723-5886

REVISIONS

PROJECT NO.
9114.22
DATE
10/24/2022
SHEET NO.
1 OF 1

GRID NORTH
WISCONSIN STATE PLANE COORDINATE SYSTEM
SOUTH PLANE COORDINATE SYSTEM
NORTH LINE OF THE SE 1/4 OF
SECTION 35-2-17 BEARS
N 89°45'50" W



NOTE: COPIES OF THIS MAP TO WHICH THE FOLLOWING CERTIFICATE WILL APPLY SHOW THE SURVEYOR'S ORIGINAL SEAL AND SIGNATURE IN RED INK. COPIES BY ANY OTHER MEANS MAY HAVE ALTERATIONS WHICH DO NOT REPRESENT THE SURVEYOR'S WORK PRODUCT.

I HEREBY CERTIFY THAT THE ABOVE DESCRIBED PROPERTY HAS BEEN SURVEYED UNDER MY DIRECTION AND THAT THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY AND ITS EXTERIOR BOUNDARIES. THIS SURVEY IS MADE FOR THE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO WITHIN ONE YEAR FROM THE DATE HEREOF.

DATED: 10/24/2022
CHRISTOPHER A. HODGES P.L.S. 2760



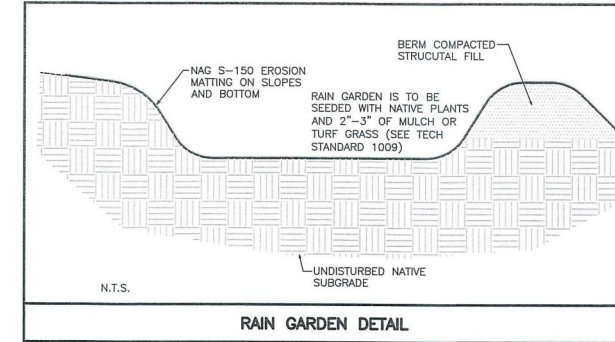
X:\PROJECTS\9114\9114_22\ACAD\9114_22.dwg

MAP SCALE IN FEET - ORIGINAL 1"=10'

- C. PROPOSED PLAT OF SURVEY / SITE PLAN,
STORM WATER MANAGEMENT PLAN,
GRADING, and SOIL EROSION CONTROL PLAN
& Operation & Maintenance Plan
Prepared by Farris Hansen & Associates, Inc.

PLAT OF SURVEY - PERMIT PLAT
LOT 1 OF CERTIFIED SURVEY MAP NO. 4558

LOCATED IN THE NW 1/4 OF THE SE 1/4 OF SECTION 35, TOWN 2 NORTH, RANGE 17 EAST
CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN



WISCONSIN STATE PLANE COORDINATE SYSTEM
SOUTH ZONE (NAD-83)
SECTION 35-27-17
N 89°45'00" W



PERMIT PLAT
LOT 1 CSM 4558
1591 ORCHARD LANE
LAKE GENEVA, WI 53147

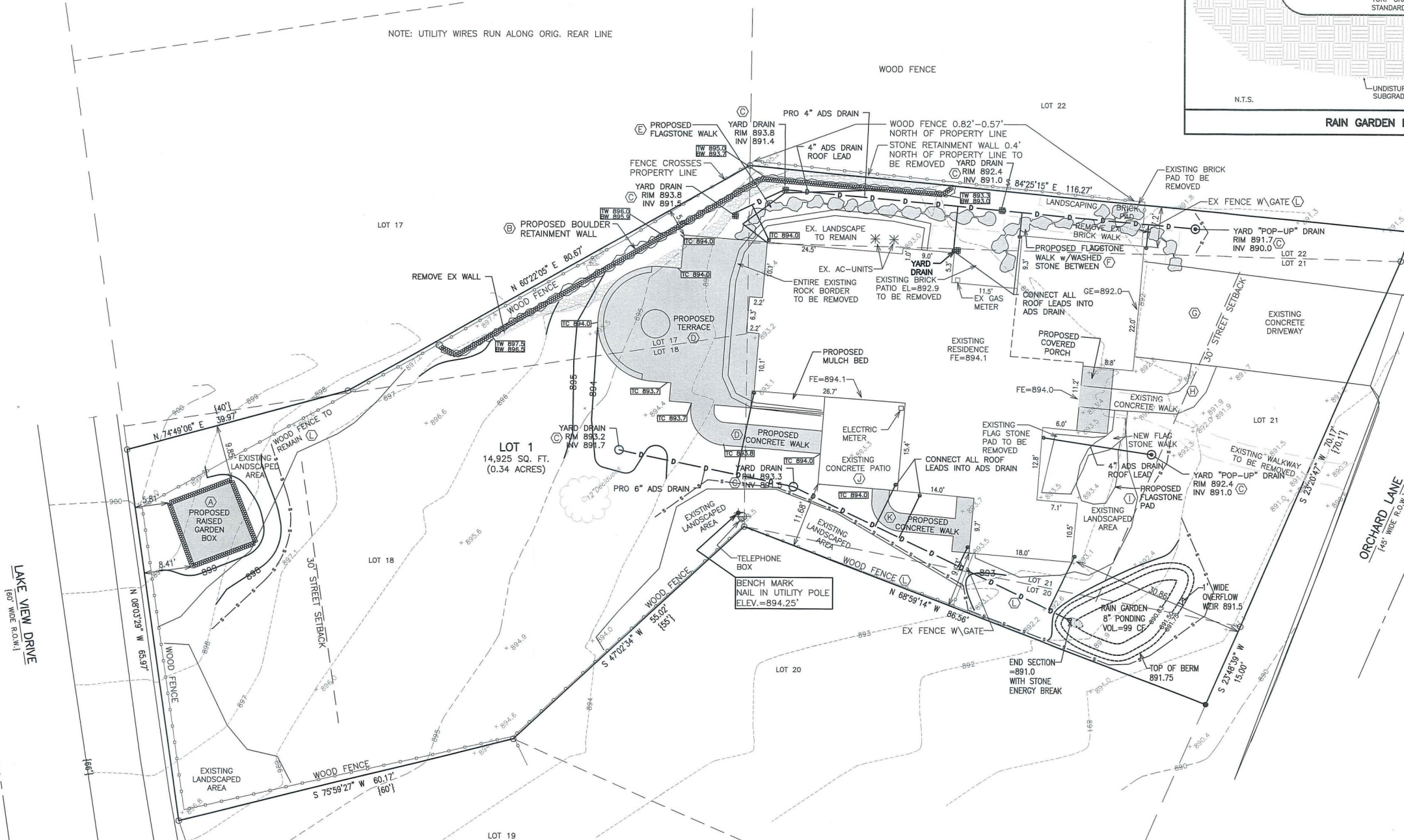
WORK ORDERED BY -
ANDREW & ROBIN KOKODYNSKI
1591 ORCHARD LANE
LAKE GENEVA, WI 53147

FARRIS, HANSEN & ASSOCIATES, INC.
ENGINEERING - ARCHITECTURE - SURVEYING
7 RIDGEWAY COURT P.O. BOX 437
ELKHORN, WISCONSIN 53121
OFFICE: (262) 723-2098 FAX: (262) 723-5866

REVISIONS
1-24-23
ADD ROOF LEADS
2/03/2023-DHC
IMPERVIOUS TABLE

02/29/2023 -TS
ADD RAIN GARDEN

PROJECT NO.
9114.22
DATE
10/24/2022
SHEET NO.
1 OF 1



LEGEND

- FOUND IRON REBAR
- FOUND IRON PIPE STAKE
- FOUND CONCRETE MONUMENT
- {XXX} RECORDED AS
- UTILITY POLE
- PRO SPOT ELEVATION
- DIRECTION OF OVERLAND FLOW
- SILT FENCE
- RETAINING WALL
- TW/BW TOP OF WALL/BOTTOM OF WALL
- TC TOP OF CONCRETE

CONSTRUCTION SEQUENCE

- 1) SILT FENCING INSTALLED
- 2) VEGETATION TO BE CLEARED
- 3) TOPSOIL STRIPPED
- 4) FOUNDATIONS DUG & POURED
- 5) FRAMING CONSTRUCTION COMPLETED
- 6) PATIO & LANDSCAPING FEATURES COMPLETED

AREA TO BE RESTORED WITH TOPSOIL AS SOON AFTER FOUNDATION AND FRAMING AS POSSIBLE FOLLOWED WITH GRASS SEEDING AND MULCH.

AREA WITHIN SILT FENCING TO BE CLEARED OF UNDERBRUSH WITH ONLY NECESSARY LARGE TREES REMOVED.

NOTE: ALL SILT FENCING SHALL BE MAINTAINED IN A STABLE CONDITION FULLY BRACED AND STAKED TO PREVENT MOVEMENT BY RUNOFF UNTIL A DENSE TURF IS ESTABLISHED OVER ALL DISTURBED GROUND SURFACES. DURING OR AFTER EVERY STORM THEY SHALL BE CHECKED. ACCUMULATIONS OF SILT TOPSOIL AND ANY OTHER CONSTRUCTION DEBRIS SHALL BE ROUTINELY REMOVED.

NOTE: COPIES OF THIS MAP TO WHICH THE FOLLOWING CERTIFICATE WILL APPLY SHOW THE SURVEYOR'S ORIGINAL SEAL AND SIGNATURE IN RED INK. COPIES BY ANY OTHER MEANS MAY HAVE ALTERATIONS WHICH DO NOT REPRESENT THE SURVEYOR'S WORK PRODUCT.

I HEREBY CERTIFY THAT THE ABOVE DESCRIBED PROPERTY HAS BEEN SURVEYED UNDER MY DIRECTION AND THAT THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY AND ITS EXTERIOR BOUNDARIES. THIS SURVEY IS MADE FOR THE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO WITHIN ONE YEAR FROM THE DATE HEREOF.

DATE: 10/24/2022

CHRISTOPHER A. HODGES P.L.S. 2760

RAIN GARDEN BMP CALCULATIONS

INCREASE IN IMPERVIOUS AREA 421 SF
SOIL TYPE: SILT LOAM
SOIL INFILTRATION RATE: 0.3 IN/HR
RAIN GARDEN SIZING FACTOR(SF)* 0.23
BMP VOLUME REQUIRED (SF X INCREASE IN IMPERV. AREA) 96 CU.FT.

RAIN GARDEN BMP STORAGE

HIGH WATER LEVEL 891.5'
PONDING DEPTH 8"
VOLUME OF STORAGE @ 891.5' 99 CU.FT.

* SIZING FACTOR BASED ON 100% RUNOFF VOL. AND 8" PONDING DEPTH PER WDNR TECH STANDARDS

BUILDING COVERAGE CALCULATIONS:

LOT AREA: 14,925 SF
BUILDING COVERAGE ALLOWED 40%: 5,970 SF

PROPOSED BUILDING COVERAGE:

-EXTG HOUSE/GARAGE FOOTPRINT: 2,310 SF
-PROPOSED COVERED FRONT PORCH: 68 SF
-PROPOSED CHIMNEY (WEST): 11 SF

PROPOSED BUILDING TOTAL: 2,389 SF

CONCLUSION: **MEETS MAX COVERAGE

2,389 SF DIVIDED BY 14,935 SF = 16%
2,389 SF < 5,970 SF MAX. ALLOWED
16% < 40% MAX. ALLOWED

LANDSCAPE SURFACE RATIO CALCULATIONS:

LOT AREA: 14,925 SF
LSR MIN ALLOWED 60%: 8,955 SF

PROPOSED BUILDING/IMPERVIOUS SURFACES:

(A) NEW RAISED GARDEN BOX: 44 SF
(B) RETAIN'G WALL AT PLANTER: 95 SF
(C) NEW YARD DRAINS (8 @ 1 SF): 8 SF
(D) NEW TERRACE W/ SITTING WALL: 735 SF
(E) NEW FLAGSTONE PATH TO REAR: 71 SF
(F) NEW FLAGSTONE PATH AT GARAGE: 75 SF
(G) EXISTING DRIVEWAY: 618 SF
(H) NEW WALK TO COVERED PORCH: 63 SF
(I) FLAGSTONE PATIO AT FRONT: 85 SF
(J) EXTG PATIO -SOUTH: 218 SF
(K) WALK AT SOUTH TO SOUTH PATIO: 82 SF
(L) EXTG/RECONFIG FENCE (ON LOT ONLY): 103 SF

TOTAL IMPERVIOUS LANDSCAPING: 2,197 SF
TOTAL IMPERVIOUS BUILDING: 2,389 SF

TOTAL IMPERVIOUS COVERAGE: 4,586 SF

CONCLUSION: **MEETS MINIMUM COVERAGE

14,925 SF (LOT) - 4,586 SF IMPERVIOUS SF = 10,339 SF OF GREENSPACE REMAINING
10,339 SF > 8,955 SF MIN. REQUIRED
POST-CONSTRUCTION LSR: 69% > 60% REQUIRED

PRE-CONSTRUCTION (EXISTING)

BUILDING/IMPERVIOUS SURFACES:

EXTG PATIO -SOUTH: 218 SF
EXTG STOOP & PATIO AT ENTRY & WALK: 305 SF
EXISTING DRIVEWAY: 618 SF
EXTG FENCE (ON LOT ONLY): 103 SF
EXTG PATH AT GARAGE: 131 SF
EXTG PATIO AT NORTH ENTRY: 123 SF
EXTG RETAIN'G WALL AT PLANTER: 95 SF
EXTG BORDER AT PLANTER (WEST & NORTH): 41 SF
EXTG ROCK BED (WEST): 221 SF

TOTAL IMPERVIOUS LANDSCAPING: 1,855 SF
TOTAL EXTG IMPERVIOUS BUILDING: 2,310 SF

TOTAL IMPERVIOUS COVERAGE: 4,165 SF

***PROPOSED INCREASE OF IMPERVIOUS SPACE: (3%) 421 SF

14,925 SF (LOT) - 4,165 SF IMPERVIOUS SF = 10,760 SF OF GREENSPACE REMAINING
PRE-CONSTRUCTION LSR: 72%

OPERATION & MAINTENANCE PLAN

February 2023

Kokodynski Residence

1591 Orchard land
City of Lake Geneva, WI

It is anticipated that the Owner, ANDREW & ROBIN KOKODYNSKI will become responsible for the operation and maintenance of the stormwater system upon completion of construction. Until such time, the contractor will be responsible for operation and maintenance.

The contractor selected to complete the site work construction will be responsible for the operation and maintenance of the temporary erosion control measures during construction and the stormwater management system during the construction phase of the project. Erosion control measures shall be installed and maintained as shown on site plans for the project in accordance with details shown on the plan. Erosion control shall be maintained as detailed on the site plan.

The following maintenance and inspection recommendations are taken from WDNR's Technical Standard 1009 and shall become part of the operation and maintenance plan for the stormwater management system located on the site:

RAIN GARDEN

- (1) Inspection. A plan to inspect the rain garden a minimum of three times per growing season to remove nuisance or invasive plants and identify problems with excess moisture, soil erosion, berm settling or failure of any other component.
- (2) Plants and weeds. Cut and remove nuisance or invasive species, remove excessive dead plant material annually, and replace desired species that may have died in significant numbers.
- (3) Erosion control and berm settling. Stabilize eroding soil and repair damage or settling that may occur on the berm if it affects the ponding area or discharge flow path.

- (4) Compaction. If the rain garden retains surface water for greater than 72 hours, soil compaction mitigation may be needed. Soil compaction mitigation includes taking action to decrease bulk density of the soil, which might be accomplished by a combination of mechanical, vegetative and/or chemical means. Examples of compaction mitigation include: deep tilling, deep ripping, soil amendment and establishment of deep-rooted vegetation. If turf grass is currently present, switch to deep-rooted native species.

Hire or train individuals who are able to identify all stages of life as well as common weeds and invasive plants. These individuals should also be knowledgeable about effective control methods for common weeds.

It is not recommended to use a rain garden for snow storage since snow is often associated with deicers and other sediment and debris, which will damage the plants and soil.

Table 1. Typical Maintenance Activities for Rain Garden Areas

ACTIVITY	FREQUENCY
Inspect rain garden to remove nuisance or invasive plants and identify problems with excess moisture, soil erosion, berm settling or failure of any other component	At least three times per growing season
Water plants	As needed for several weeks after planting, and during drought conditions thereafter
Monitor water level after a large rainfall to ensure drainage	As needed, especially during the first year
Remove nuisance or invasive plants	As needed per inspections
Re-plant void areas	As needed per inspections
Treat diseased trees and shrubs	As needed per inspections
Repair eroded areas and any berm damage or settling	As needed per inspections
Remove trash and debris	As needed per inspections
Remove excessive dead plant material	Annually (spring recommended)

**D ARCHITECTURAL SITE/LANDSCAPE/HARDSCAPE PLAN
PROPOSED ELEVATIONS/SECTIONS FOR COVERED PORCH
AND CHIMNEY
LANDSCAPE PLAN by B&J Tree and Landscape Service, Inc**



**KELLY C FRAZIER
DESIGN, LLC**
141 N. WATER ST
UNIT #33
MILWAUKEE, WI
53202
PH: 262.215.0586
KELLY@KCFDESIGNLLC.COM
CUSTOM HOME DESIGN
&
PLANNING

© KELLY C FRAZIER DESIGN, LLC
DESIGN & DRAWINGS ARE EXCLUSIVE
PROPERTY OF KCFDESIGN, LLC.
The original drawings and specifications
(including electronic computer files)
prepared for this project are instruments
of the Designer's service, and shall remain
the property of KCFDESIGN, LLC. Both the
Owner and Builder, (including owner's and
builder's agents, suppliers, contractors and
subcontractors) shall use these documents
only with respect to this specific project.
These documents, Design or working
drawings and computer files shall not be
altered, reproduced or used for other
parties not related specifically to this
owner and/or project location without
written notice and/or compensation to
KCFDESIGN, LLC.

REMODELING FOR
ANDREW & ROBIN KOKODYNSKI
1591 ORCHARD LANE
GENEVA MAJOR
LAKE GENEVA, WISCONSIN

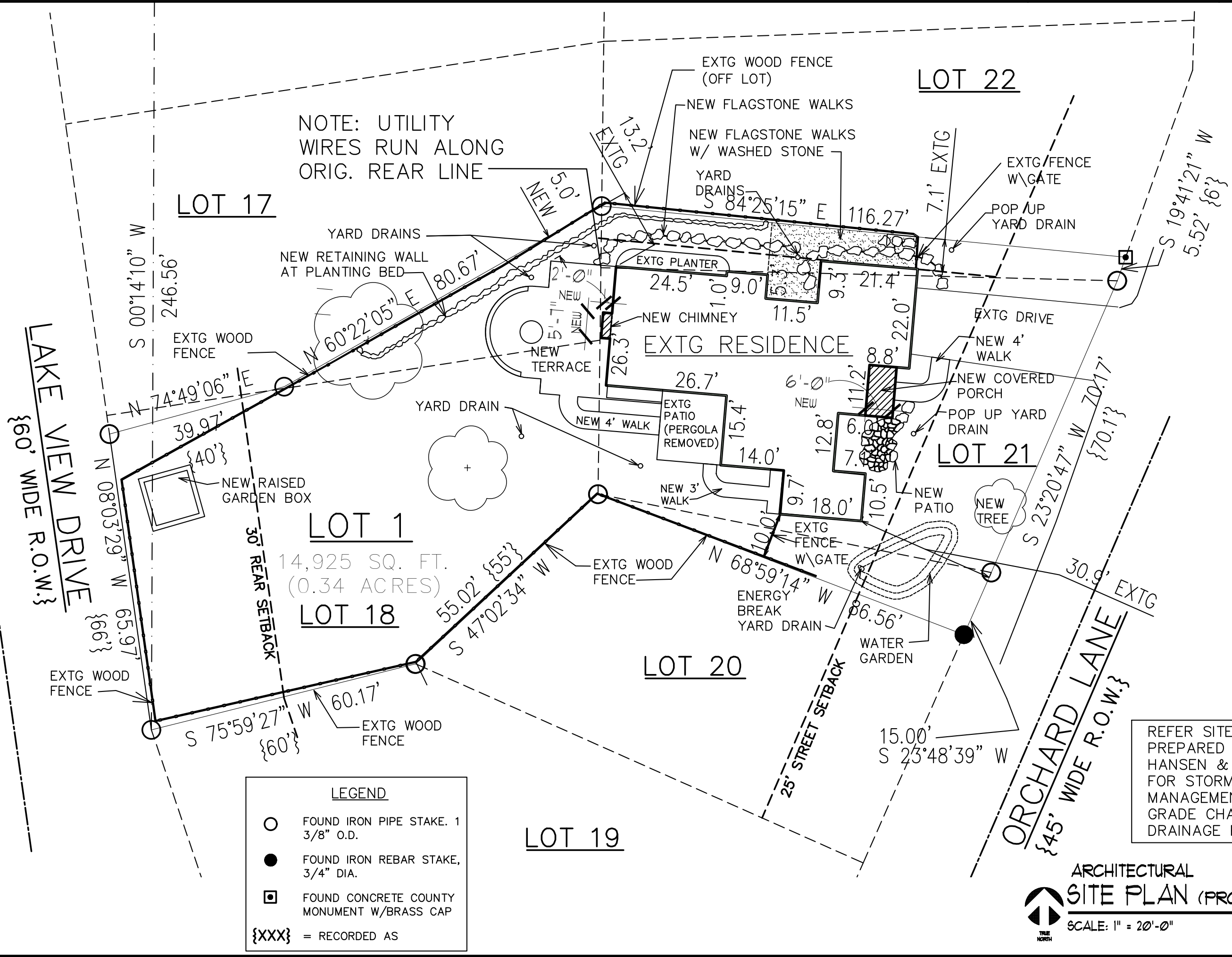
PROJECT NO.
2021.09

REVISIONS

■	PRELIMINARY
■	BID/APPROVAL
■	PERMIT
□	CONSTRUCTION

DATE
03.02.23

SHEET
CUP1



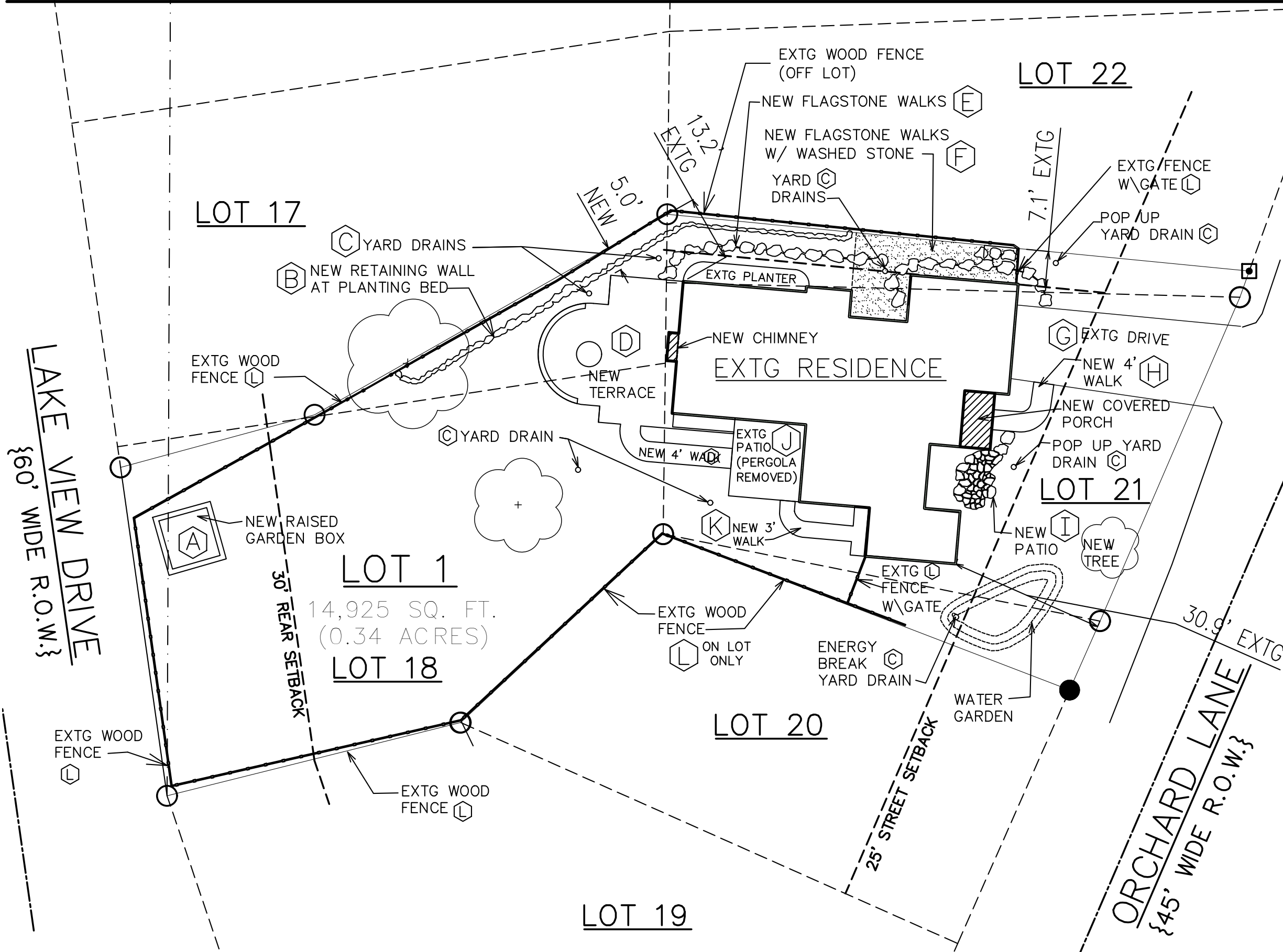
NOTE: UTILITY
WIRES RUN ALONG
ORIG. REAR LINE

REFER SITE PLAN
PREPARED BY FARRIS
HANSEN & ASSOCIATES
FOR STORM WATER
MANAGEMENT PLAN FOR
GRADE CHANGES AND
DRAINAGE PLAN

ARCHITECTURAL
SITE PLAN (PROPOSED)
SCALE: 1" = 20'-0"

LEGEND

- FOUND IRON PIPE STAKE. 1 3/8" O.D.
- FOUND IRON REBAR STAKE, 3/4" DIA.
- ◻ FOUND CONCRETE COUNTY MONUMENT W/BRASS CAP
- {XXX} = RECORDED AS



BUILDING COVERAGE CALCULATIONS:	
LOT AREA:	14,925 SF
BUILDING COVERAGE ALLOWED 40%:	5,970 SF
PROPOSED BUILDING COVERAGE:	
-EXTG HOUSE/GARAGE FOOTPRINT:	2,310 SF
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D NEW TERRACE W/ SITTING WALL:	735 SF
E NEW FLAGSTONE PATH TO REAR:	71 SF
F NEW FLAGSTONE PATH AT GARAGE:	75 SF
G EXISTING DRIVEWAY:	618 SF
H NEW WALK TO COVERED PORCH:	63 SF
I FLAGSTONE PATIO AT FRONT:	85 SF
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L EXTG/RECONFIG FENCE (ON LOT ONLY):	103 SF

TOTAL IMPERVIOUS LANDSCAPING:	2,197 SF
TOTAL IMPERVIOUS BUILDING:	2,389 SF
TOTAL IMPERVIOUS COVERAGE: 4,586 SF	
CONCLUSION: **MEETS MINIMUM COVERAGE	
14,925 SF (LOT) - 4,586 SF IMPERVIOUS SF =	
10,339 SF OF GREENSPACE REMAINING	
10,339 SF > 8,955 SF MIN. REQUIRED	
POST-CONSTRUCTION LSR: 69% > 60% REQUIRED	

PRE-CONSTRUCTION (EXISTING) BUILDING/IMPERVIOUS SURFACES:	
EXTG PATIO -SOUTH:	218 SF
EXTG STOOP & PATIO AT ENTRY & WALK:	305 SF
EXISTING DRIVEWAY:	618 SF
EXTG FENCE (ON LOT ONLY):	103 SF
EXTG PATH AT GARAGE:	131 SF
EXTG PATIO AT NORTH ENTRY:	123 SF
EXTG RETAIN'G WALL AT PLANTER:	95 SF
EXTG BORDER AT PLANTER (WEST & NORTH):	41 SF
EXTG ROCK BED (WEST):	221 SF
TOTAL IMPERVIOUS LANDSCAPING:	1,855 SF
TOTAL EXTG IMPERVIOUS BUILDING:	2,310 SF
TOTAL IMPERVIOUS COVERAGE: 4,165 SF	
***PROPOSED INCREASE OF IMPERVIOUS SPACE: (3%) 421 SF	
14,925 SF (LOT) - 4,165 SF IMPERVIOUS SF =	
10,760 SF OF GREENSPACE REMAINING	
PRE-CONSTRUCTION LSR: 72%	

REFER SITE PLAN PREPARED BY FARRIS HANSEN & ASSOCIATES FOR STORM WATER MANAGEMENT PLAN FOR GRADE CHANGES AND DRAINAGE PLAN

BUILDING & LSR COVERAGE KEY PLAN
SCALE: 1"=20'

KELLY C FRAZIER DESIGN, LLC
141 N. WATER ST
UNIT #33
MILWAUKEE, WI 53202
PH: 262.215.0586
KELLY@KCFDESIGNLLC.COM

CUSTOM HOME DESIGN & PLANNING

REMODELING FOR
ANDREW & ROBIN KOKODYNSKI
1591 ORCHARD LANE
GENEVA MAJOR
LAKE GENEVA, WISCONSIN

PROJECT NO.
2021.09

REVISIONS

PRELIMINARY
BID/APPROVAL
PERMIT
CONSTRUCTION

DATE
03.02.23

SHEET
CUP 2



PROPOSED NEW COVERED PORCH
EAST (STREET) ELEVATION
SCALE: 1/4" = 1'-0"



KELLY C FRAZIER
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CUSTOM HOME DESIGN
&
PLANNING

© KELLY C FRAZIER DESIGN, LLC
DESIGN & DRAWINGS ARE EXCLUSIVE
PROPERTY OF KCFDESIGN, LLC.
The original drawings and specifications
(including electronic computer files)
prepared for this project are instruments
of the Designer's service, and shall remain
the property of KCFDESIGN, LLC. Both the
Owner and Builder, (including owner's and
builder's agents, suppliers, contractors and
subcontractors) shall use these documents
solely with respect to this specific project.
KCFDESIGN, LLC shall retain all common
law, copyright, and statutory rights to
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parties not related specifically to this
owner and/or project location without
written notice and/or compensation to
KCFDESIGN, LLC.

REMODELING FOR
ANDREW & ROBIN KOKODYNSKI
1591 ORCHARD LANE
GENEVA MAJOR
LAKE GENEVA, WISCONSIN

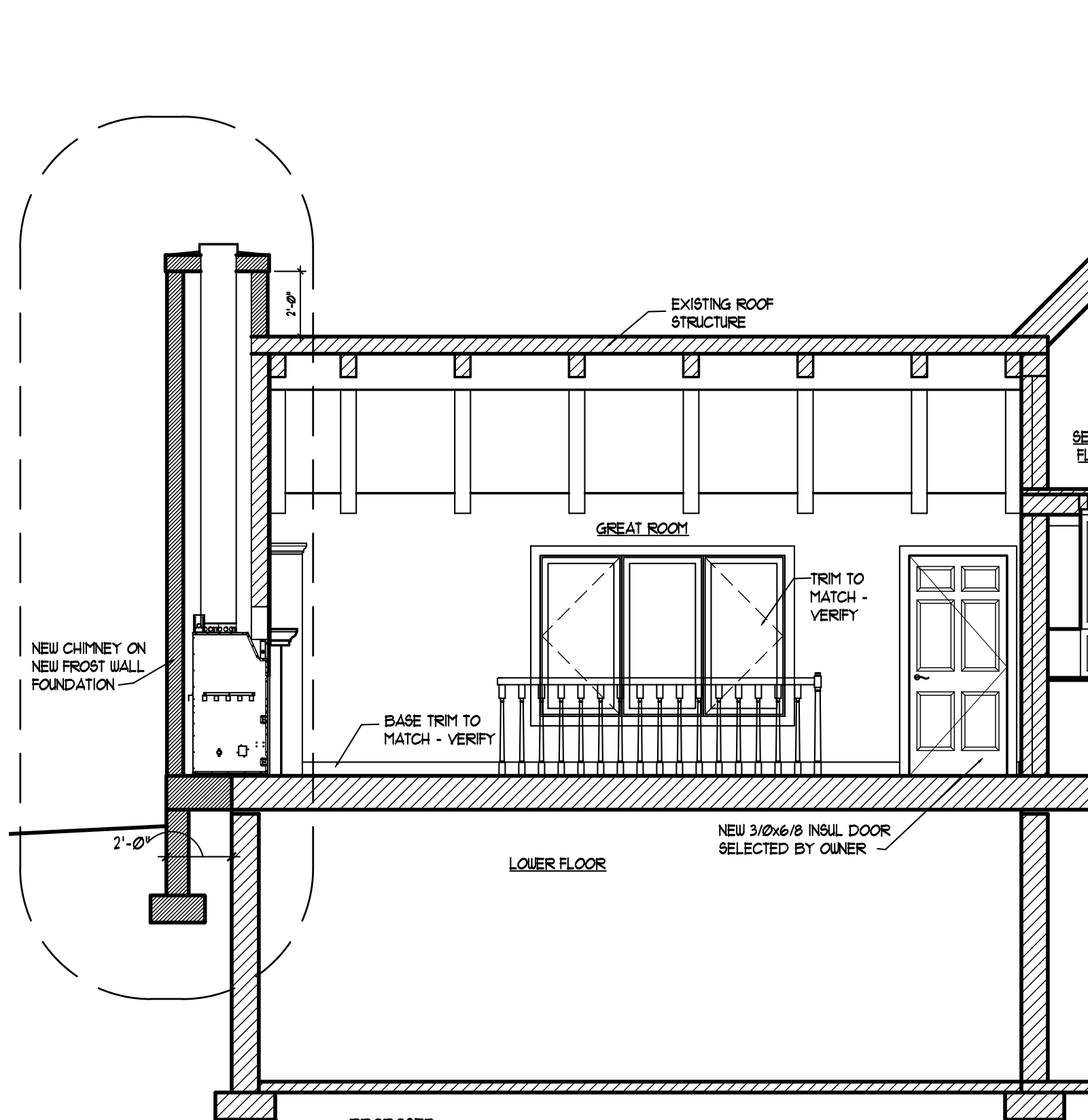
PROJECT NO.
2021.09

REVISIONS

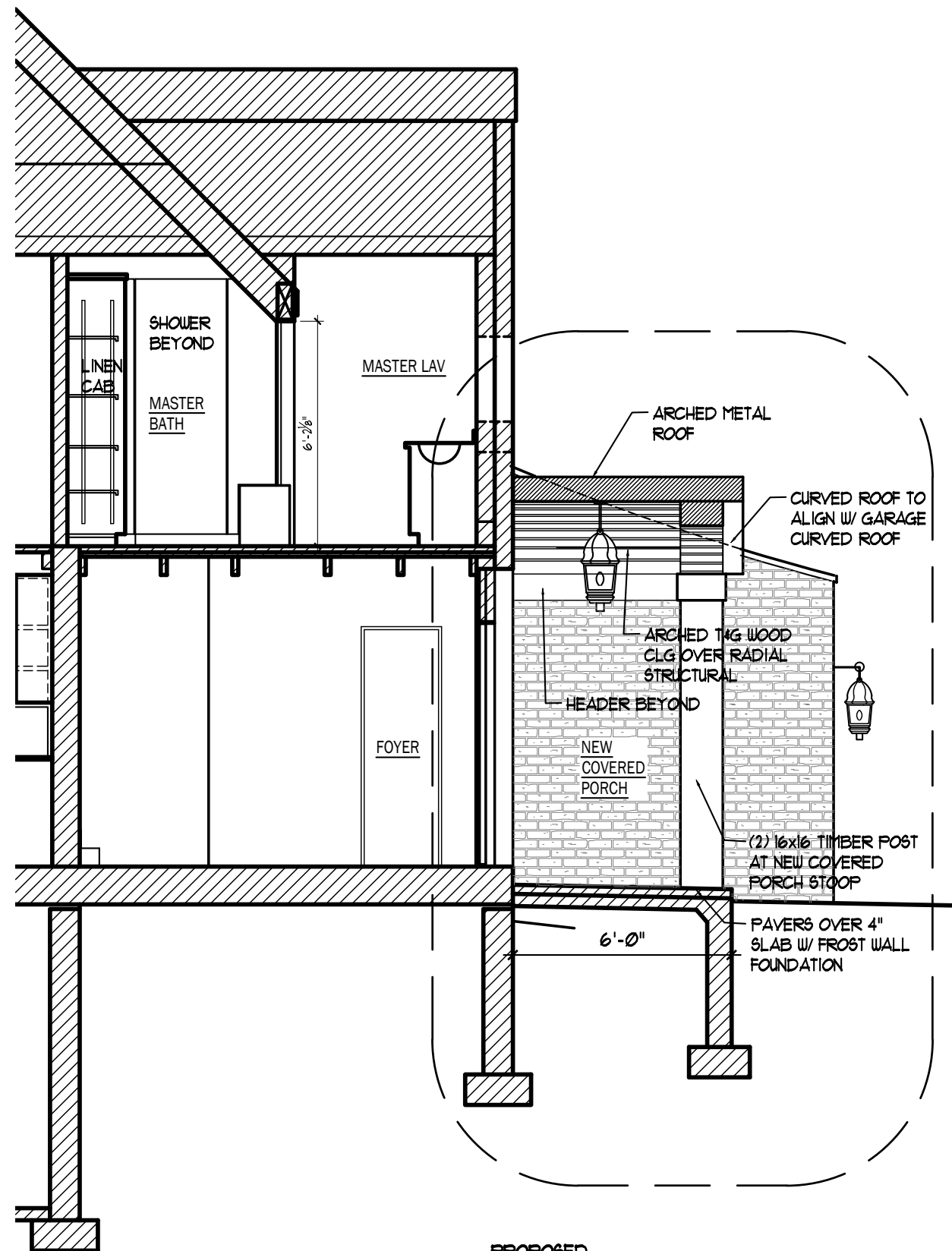
PRELIMINARY
BID/APPROVAL
PERMIT
CONSTRUCTION

DATE
03.02.23

SHEET
CUP3



**PROPOSED
SECTION AT CHIMNEY**
SCALE: 1/4" = 1'-0"



**PROPOSED
COVERED FRONT PORCH SECTION**
SCALE: 1/4" = 1'-0"



**KELLY C FRAZIER
DESIGN, LLC**
141 N. WATER ST
UNIT #33
MILWAUKEE, WI
53202
PH: 262.215.0586
KELLY@KCFDESIGNLLC.COM
CUSTOM HOME DESIGN
&
PLANNING

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parties not related specifically to this
owner and/or project location without
written notice and/or compensation to
KCFDESIGN, LLC.

REMODELING FOR
ANDREW & ROBIN KOKODYNSKI
1591 ORCHARD LANE
GENEVA MAJOR
LAKE GENEVA, WISCONSIN

PROJECT NO.
2021.09

REVISIONS

- PRELIMINARY
- BID/APPROVAL
- PERMIT
- CONSTRUCTION

DATE
03.02.23

SHEET

CUP4

1591 ORCHARD LANE LAKE GENEVA WI 53147

1. ALL LANDSCAPING SHALL BE INSTALLED IN ACCORDANCE WITH CITY, VILLAGE OR OTHER LOCAL LANDSCAPING OR CONSTRUCTION SPECIFICATIONS
2. ALL INDIVIDUAL TREES TO RECEIVE 3" CLEAN DOUBLE SHREDDED HARDWOOD MULCH, 4.5" DIAMETER MOW
3. ALL PLANTING BEDS TO RECEIVE 3" MIN. DOUBLE SHREDDED HARDWOOD MULCH
4. ALL PLANTING BEDS TO BE SHOVELLED GENE
5. ALL PLANT MATERIAL TO BE SPECIMEN QUALITY AND MEET THE AMERICAN STANDARDS OF NURSERY STOCK, WHICH IS PUBLISHED BY THE ANA (AMERICAN ASSOCIATION OF NURSERYMEN)
6. ALL PLANTS UNLESS OTHERWISE SPECIFIED ARE TO BE BALLED & BURLAPPED OR APPROVED CONTAINER STOCK
7. ALL TREE SHRUB, BACK FILL TO MIX TO BE:
 - 4 PARTS CLEAN PULVERIZED TOPSOIL
 - 1 PART MUSHROOM COMPOST
8. ALL PERENNIAL PLANTING MIX TO BE 3 PARTS CLEAN PULVERIZED TOPSOIL
 - 1 PART MUSHROOM COMPOST
 - 1 PART SAND
 - 40 # / 100 SF GYPSUM
 - (1" 2" OF THIS MIX IN 6" DEEP)
9. CONTRACTOR TO SUBMIT IN WRITING TO PROPERTY OWNERS, A ONE YEAR-100% PLANT GUARANTEE TO COMMENCE ON THE DAY OF PROJECT COMPLETION
10. CONTRACTOR RESPONSIBLE FOR CALLING DIGGERS HOTLINE 1-800-242-8511 TO LOCATE ALL UTILITIES PRIOR TO STARTING PROJECT
11. CONTRACTOR RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS REQUIRED FOR PROJECT INSTALLATION
12. CONTRACTOR TO ADJUST PLANTINGS FOR UNDERGROUND UTILITIES, ESCAPE WINDOWS, CONDENSER UNITS, UTILITY METERS AND OVERHEAD UTILITY LINES

REBUILD EXISTING RETAINING WALL

1-1 1/2" NATURAL WASHED STONE

FLAGSTONE PATH AND PAD FOR GARBAGE CAN

CONCRETE DRIVEWAY

RAIN GARDEN

#	Quantity:	Name:	Size
1.		Cape Broeze Switchgrass	1 gal.
2.		Pardon Me Daylily	1 gal.
3.	3 flats	Green Carpet Panchandra	OT
4.	7.	'Weswee' Salvia	1 gal.
5.	5.	Midnight Rose Corabella	1 gal.
6.	6 1/2	Bevan's Variety Geranium	1 gal.
7.	3.	Karl Foerster' Feather Reed Grass	1 gal.
8.	8.	'Summer Beauty' Allium	1 gal.
9.	7.	'Snowcap' Shasta Daisy	1 gal.
10.	3.	'Sarah Bernhard' Peony	1 gal.
11.	10.	'Becky' Daylily	1 gal.
12.	8.	'Kim's Knee High' Coneflower	1 gal.
13.	8.	Karl Foerster' Feather Reed Grass	1 gal.
14.	11.	'Stella De Oro' Daylily	1 gal.
15.	9.	Goldsturm' Black eyed Susan	1 gal.
16.	10.	Russian Sage	1 gal.
17.	7.	'Jethro Tull' Coreopsis	1 gal.
18.	5.	'Ruby Star' Coneflower	1 gal.
19.	12.	'Becky' Shasta Daisy	1 gal.
20.	7.	Pardon Me Daylily	1 gal.
21.	7.	'Moonbeam' Coreopsis	1 gal.
22.	12.	'Summer Beauty' Allium	1 gal.
23.	24.	'Blue Hill' Salvia	1 gal.
24.	5.	'Little Spire' Russian Sage	1 gal.
25.	8.	'Becky' Shasta Daisy	1 gal.
26.	5.	'Becky' Shasta Daisy	1 gal.
27.	7.	'Becky' Shasta Daisy	1 gal.
28.	7.	Bevan's Variety' Geranium	1 gal.
29.	9.	Rheinland Asilite	1 gal.

Quantity:	Name:	Size:
13-	'Miss Kim' Lilac	5 gal.
1-	'Little Devil' Ninebark	3 gal.
1-	'Dark Horse' Weigela	3 gal.
7-	'Bobo' Hydrangea	3 gal.
21*	'Green Velvet' Boxwood	21"
1-	'Sienna Glen' Maple	3.5" DIA
1-	'Strawberry Sundae' Hydrangea	5 gal.
3-	'Incrediball' Hydrangea	5 gal.
1-	'Autumn Brilliance' Serviceberry	6H
5-	'Dwarf' Korean Lilac	5 gal.
2-	'Dwarf Burning Bush	5 gal.

#	Quantity:	Name:	Size:
1.	4 Flats	'BlueFlag' Iris	Q
2.	4 Flats	'Yellow Fox' Sadge	Q
3.	1 Flat	'Riddles' Goldenrod	Q
4.	4 Flats	'Northern' Bedstraw	Q
5.	4 Flats	'Halberd Leaf' Rose Mallow	Q

Landscape Design & Installation
W2795 Krueger Road - Lake Geneva WI 53147
Member of Arborist Association,
Landscape Contractor Association &
Unilock Authorized Contractor
(262)248-3653 - Fax (262)248-0340
Design By: Blake Castleman
Scale: 1" = 10 Feet
Date: 5/12/2022

E. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

PROPOSED ADDITIONS & LANDSCAPING TO EXISTING RESIDENCE

for

MR. and MRS. ANDREW KOKODYNSKI

1591 ORCHARD LANE, LAKE GENEVA MANOR

LAKE GENEVA, WISCONSIN 53147

1. **The Subject Property is 1591 Orchard Lane, Lake Geneva Manor Subdivision** and was originally subdivided many years ago and existed long before the current Lake Geneva Zoning Ordinance requirements were adopted. The original intent of the creation of the ER-1 Estate Residential Zoning District was to restrict the development of residential lakeshore and properties with lake rights by limiting the subdivision of existing lots to create new buildable lots. The proposed Conditional Use request will still maintain the residential use for which it was intended and is in keeping with the harmony of the Lake Geneva Comprehensive Plan, zoning ordinance adopted with all amendments.
2. **The Subject Property is zoned ER-1 located in Lake Geneva Manor Subdivision.** Since the creation of these lots were subdivided prior to the ER-1 designation, many of the existing lots do not meet the current ER-1 Residential Bulk Requirements. ***Therefore, per Zoning Ordinance 98.407 Substandard Lot Regulations were adopted to allow special considerations for the lots that don't meet the ER-1 Residential Bulk Requirements.***

Under the Zoning Ordinance Section 98.407(3)(a) & (b), existing Single Family Residences on legal substandard lots within the ER-1 Zoning District can be added/remodeled upon review and approval of a Conditional Use per all the zoning requirements of the SR-4 Zoning District, EXCEPT Landscape Surface Ratio (LSR) minimum, which shall remain 60% per ER-1 requirement.

The SR-4 Zoning District allows for a minimum Lot Area of 9,000 square feet, a minimum Lot Width of 75', a minimum Street Frontage of 50', Street Setback of 25', Rear Lot Line Setback of 30', and Side Lot Line Setback of 6' minimum with a total combined Side Yard Setback of 15', and Maximum building coverage of 40%. The existing home with the proposed covered entry porch added on east/front and chimney added on west/rear (chimney already built per building permit approved Summer, 2022) will still meet the SR-4 setback requirements at street yard, side yards, rear yard setback and height max. (32' for LG Manor) and meets the Maximum Building Coverage at 16% (40% max allowed), under the SR-4 Single Family Zoning District requirements.

This Conditional Use request also requires review and approval of the proposed site plan requesting various changes, that include an additional patio at west/rear of home, additional flagstone & concrete walks, raised planting bed and reconstruction/reconfiguration of existing patios, walks and existing boulder retaining walls at higher grade on north and west side of lot (that currently retains the grade difference between adjacent lots). Per the plans and area calculation shown on drawings, the proposed LSR is 70% with the additions and landscape changes (meeting the 60% min. required) but will decrease the existing/current LSR (73%) by 3%. ***Although the proposed LSR 73% meets the 60% minimum required, per Section 98-407(3)(b), an increase in impervious surface from the current LSR requires review and approval of Storm Water Management Plan with improvements, grading and erosion control plans by the City Engineer to ensure full compliance with the City's stormwater quality and quantity standards.***

We do not believe it was the intention of the City to penalize the owners of existing legal substandard residential lots or prevent them from constructing or remodeling an existing Single-family Residence,

which is why this special consideration was adapted. **As described above and depicted in the plan submittal, the proposed conditional use request meets the special consideration for the subject property, therefore, *is in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva.***

3. **The granting of approval of this proposed Conditional Use would not be a substantial detriment to the adjacent properties because the proposed minor additions to the existing house meet and exceed the bulk standard of the allowed use of the SR-4 Single Family Residential standards and the existing and proposed impervious surface changes resulting in LSR of 73% meets the min. LSR of 60% min. allowed by conditional use.**

The Site plan/storm water management prepared by Farris Hansen and Associates, Inc. proposes the necessary grading and swales to direct storm water run-off from existing and proposed building and impervious surfaces on site to eight on-site subsurface yard drains. The storm management method proposed incorporates collection of roof downspouts (currently utilized already) to existing/new subsurface piping to connect to new yard drains and water garden feature. The system of yard drains and subsurface piping will direct storm water to underground directing it to a rain garden feature at the southeast corner of the lot (lowest grade) thus reducing the surface run-off that naturally occurs to the street and adjacent properties. Operation & Maintenance Plan is also included to ensure the operation of storm water management for future. ***We believe this method is sufficient to handle the decrease of LSR of 3% from the existing LSR (70%) to the proposed 73% and would not adversely affect the health, safety or general welfare of the public, or the provisions of the Zoning Ordinance or Comprehensive Master Plan.***

4. **The proposed Conditional Use would be in compliance with the long-range plans of the City of Lake Geneva in that it would maintain this property as a high quality single family residential use. *All proposed changes to home and property is in keeping and maintaining quality single family residences at the current density was the original intention in the creation of the ER-1 District in these lake access areas.***
5. **The Subject Property is currently served by City sanitary sewer and water, electric and gas. The proposed additions and landscape plan do not impact any changes to these facilities that currently is utilized. Lake Geneva Manor Subdivision does not have a complete underground storm water management system, but relies on surface drainage of the streets and curb system. *With the storm water management currently utilized and proposed modifications for the minor decrease of 3% LSR, we feel this project would not impose an undue burden on any improvements, utilities or services provided by public agencies serving the subject property.***
6. **Single Family Residences are a permitted use within the ER-1 Estate Residential District and are in keeping with the intent of the Master Plan of the City of Lake Geneva. This lot does not currently meet the Bulk Residential Requirements of the ER-1 District. *Therefore, per Zoning Ordinance 98.407 Substandard Lot Regulations were adopted to allow special considerations for the lots that don't meet the ER-1 Residential Bulk Requirements but require review and approval of Conditional Use for any improvements. The proposed construction of minor additions and proposed hardscaping/ landscaping that meet the zoning requirements per Section 98-407(3)(a)&(b) and utilizes storm water management practices to control the decreased LSR of 3%, we believe that approval of this Conditional Use would have little or minimal impact to the public benefits or adverse impact since it is not a change from what is currently allowed.***

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: April 17, 2023

Agenda Item #8

Applicant:

Andrew & Robin Kokodynski
1591 Orchard Lane
Lake Geneva, WI 53147

Request:

1591 Orchard Lane
Proposed Conditional Use Permit for addition of a covered front porch, chimney; replacement of paved walks/patios; and improved landscaping and stormwater management utilizing the SR-4 zoning district in the ER-1 zoning district

Description:

The applicant is submitting a proposal for a Conditional Use Permit (CUP) to utilize the Single-Family Residential SR-4 zoning district requirements for minor residential additions and improvements for a property located at 1591 Orchard Lane. The property is located in the Estate Residential ER-1 zoning district and is seeking use of certain SR-4 zoning standards, as per Section 98-407(3). All surrounding properties are also zoned ER-1.

The property contains a single-family residence. Proposed changes to the building exterior include construction of a new covered front porch with metal roof, new chimney at the rear of the house, and new door on the south building façade. Proposed site improvements include grading and stormwater management, the installation of a new concrete patio and terrace, additional paved flagstone and concrete walkways, a raised planting bed, rain garden, as well as the reconstruction of existing patios, paved walkways, and stone retaining walls all located within the rear yard of the property.

The project will result in a 69% landscaped area across the site, complying with the minimum Landscape Surface Ratio of 60% established for the ER-1 Zoning District. However, because the proposed improvements will increase the amount of impervious surface over existing conditions, the applicant is required to prepare a stormwater study to address increased stormwater impacts. The applicant has provided this study, which has been reviewed by Kapur Associates.

Staff Review:

The proposed project meets all of the requirements for the ER-1 Zoning District except for the side yard building setbacks. There is a provided side yard setback distance of 9 feet from the property line to the residence; this condition is preexisting and will not be changed by this project. The existing side yard setbacks satisfy the requirements of the SR-4 Zoning District of 6 feet.

In sum, the proposed use complies with all applicable requirements of Section 98-206(1) pertaining to Residential land uses, Table 98-402: Residential Bulk Standards, and the requirements of Section 98-407(3) pertaining to the use of SR-4 Zoning Standards accessory structure bulk zoning regulations in the ER-1 Zoning District.

Action by the Plan Commission:

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUP; and,
- Provide specific suggested *requirements/conditions* to modify the project as submitted.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
1. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:

1. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
2. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
3. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
4. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
5. The proposed conditional use is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation:

1. Staff recommends that the Plan Commission recommend approval of the proposed conditional use as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.
3. Staff recommends the following *additional condition of approval* be attached:
 - a. none

Suggested Motions:

- *Approve:* I recommend approval of the proposed *Conditional Use Permit for Andrew & Robin Kokodynski, 1591 Orchard Lane, Lake Geneva, WI 53147 for the proposed use of the SR-4 zoning standards in the ER-1 Zoning District as per Section 98-407(3) for exterior renovations at the property located at 1591 Orchard Lane in the ER-1 Zoning District, Tax Key No. ZA455800001*, including the affirmative set of findings, and any additional conditions of approval recommended by staff.

- *Deny: I recommend denial of the Conditional Use Permit for Andrew & Robin Kokodynski, 1591 Orchard Lane, Lake Geneva, WI 53147 for the proposed use of the SR-4 zoning standards in the ER-1 Zoning District as per Section 98-407(3) for exterior renovations at the property located at 1591 Orchard Lane in the ER-1 Zoning District, Tax Key No. ZA455800001, because [provide rationale for denial, based on substantial evidence].*

*Jackie Mich, AICP
City Planning Consultant
Vandewalle & Associates*

Memo to City of Lake Geneva

To: Fred Walling, Zoning Administrator **Date:** March 28, 2023

From: Naomi Rauch, P.E.
262-758-6032

CC: Kelly Frazier – Kelly C. Frazier Design
Chris Hodges – Farris, Hansen and Associates
Robin Kokodynski
Dave Nord – City Administrator
Amanda Rotondi – Building and Zoning Administrative Assistant
Tom Earle – Director of Public Works
Josh Gajewski – Utility Director

Subject: **CONDITIONAL USE/SITE PLAN RECOMMENDED APPROVAL – 1591 Orchard Lane**
Kapur Project #23.0151 Phase 01

BACKGROUND AND REQUEST:

A Conditional Use Permit application was submitted by Mr. and Mrs. Kokodynski for the construction of new landscaping, covered entry, walks, patio and rain garden at 1591 Orchard Lane (PIN ZZ455800001). The proposed improvements will create an additional 421 SF of impervious surface.

The following plan and calculations were submitted for review:

- **Plat of Survey Permit Plat Lot 1 CSM 4558**, prepared by Farris Hansen, one sheet, dated October 24, 2022, last revised February 20, 2023.
- **Operations and Maintenance Plan**, February 2023 (2 sheets).

Comments:

Kapur recommends approval of the Conditional Use Permit application for 1591 Orchard Lane based on the information reviewed above. This approval is subject to the following conditions:

1. The proposed rain garden has been sized for 100% runoff volume control from the additional 421 SF of impervious surface. Installation and maintenance of the rain garden shall be consistent with the WDNR Technical Standard Rain Garden 1009. Please note that Table 1 of the technical guidance specifies a 10-ft setback to a full basement foundation or a 5-ft from the building foundation frost footing. The setback is measured from the edge of the ponding area (elevation 891.5). The design engineer shall verify appropriate setbacks have been met.
2. Sedimentation and erosion control measures are required to be placed prior to excavation and construction. It is the responsibility of the applicant/contractor to monitor the condition of the





construction site and ensure the sedimentation and erosion control measures remain in place and functioning through final stabilization.

3. Restoration of the property shall take place as soon as possible after final grading. Temporary erosion control measures shall be removed after final restoration has been achieved.
4. Construction site debris and sediment shall not be tracked off-site or onto Orchard Lane.

The plans have been reviewed for conformance with generally accepted engineering practices and City of Lake Geneva policies. Although the material has been reviewed, the applicant is ultimately responsible for the thoroughness and accuracy of the plans and supplemental data and for compliance with state, county, and other local ordinances and procedures.

Please contact me if you have any questions or comments pertaining to this project.

1 hard copy
1 dig. fnl

\$1400

stand

APPLICATION FOR CONDITIONAL USE

City of Lake Geneva

Site Address/Parcel No. and full Legal Description required (attach separate sheet if necessary):

Parcel # 272 Unit A Broad St Lake Geneva, WI 53147
ZDP00244

Name and Address of Current Owner: HANS Melges

MELGES Property Holdings, 1100 Edwards Blvd. 26. WI 53147

Telephone No. with area code & Email of Current Owner: 262-745-3755
hm@melgesreal estate.com

Owner Signature: Hans Melges

Name and Address of Applicant:

Gregory Aragnos N1567 Clover Rd, Lake Geneva, WI 53147

Telephone No. with area code & Email of Applicant: 262-745-1114
chefgreg1962@icloud.com

Proposed Conditional Use: An extension of food sales with
food concession in patio area located against
building of such address.

Zoning District in which land is located: _____

Names and Addresses of architect, professional engineer and contractor of project:

NONE N/A

Short statement describing activities to take place on site:

Sale of gelato novelties and other
items sold within store / water & lemonade
gelato sandwich & lemon sorbet

Conditional Use Fee payable upon filing application: \$400.00 [\$100.00 for Application Under Sec. 98-407(3)]

2-15-2023
Date

[Signature]
Signature of Applicant

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
CONDITIONAL USE REVIEW AND APPROVAL (Requirements per Section 98-905)**

This form should be used by the Applicant as a guide to submitting a complete application for a conditional use and by the City to process said application. Parts II and III should be used by the Applicant to submit a complete application; Parts I - IV should be used by the City as a guide when processing said application.

I. RECORDATION OF ADMINISTRATIVE PROCEDURES

☒ **Pre-submittal staff meeting scheduled:**

Date of Meeting: _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

Follow-up pre-submittal staff meetings scheduled for:

_____ **Date of Meeting:** _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

_____ **Date of Meeting:** _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

_____ **Date of Meeting:** _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

_____ **Date of Meeting:** _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

_____ **Application form filed with Zoning Administrator:** **Date:** _____ **by:** _____

_____ **Application fee of \$ _____ received by Zoning Administrator:** **Date:** _____ **by:** _____

_____ **Reimbursement of professional consultant costs agreement executed:** **Date:** _____ **by:** _____

II. APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 8 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 1 initial draft application packet and 1 digital copy for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (1 Copy and 1 Digital Copy to Zoning Administrator)

Date: _____ *by:* _____



Draft Final Packet (8 Copies and 1 Digital Copy to Zoning Administrator)

Date: _____ *by:* _____



_____ (a) **A map of the proposed conditional use:**

- ☒ Showing all lands for which the conditional use is proposed;
- ☒ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;
- ☒ Map and all its parts are clearly reproducible with a photocopier;
- ☒ Map size of 11" by 17" and map scale not less than one inch equals 800 ft;
- ☒ All lot dimensions of the subject property provided;
- ☒ Graphic scale and north arrow provided.

_____ (b) **A map, such as the Land Use Plan Map, of the generalized location of the subject property in relation to the City as a whole:**

_____ (c) **A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations;**

_____ (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.

_____ (e) Written justification for the proposed conditional use:

_____ Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. (See below)

III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

presented as an extension of inside food sales
alternating items never to exceed 2 items

2. How is the proposed conditional use, in its specific location, in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

It will be far enough away from public access
and will not be a walking traffic hindrance.
a grab a go type of food sale.

3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?

This will not pose any threat to
grid concerns or issues

4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

Having extra trash receptacles to ease use
of city garbages, sell items with little or
no waste.

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

yes it will impose any
undue burden

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

yes

IV. FINAL APPLICATION PACKET INFORMATION

- ____ Receipt of 1 full scale copy in blueline or blackline
of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____
- ____ Receipt of 8 reduced (8.5" by 11" text and 11" x 17" graphics)
copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____
- ____ A digital copy of Final Application Packet shall be emailed to the
Building and Zoning Department upon submittal deadline. Date: _____ by: _____
- ____ Certification of complete Final Application Packet and
required copies to the Zoning Administrator by City Clerk: Date: _____ by: _____
- ____ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: _____ by: _____
- ____ Class 2 Legal Notice published on _____ and _____ by: _____
- ____ Conditional Use recorded with the County Register of Deeds Office: Date: _____ by: _____

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
SITE PLAN REVIEW AND APPROVAL (Requirements per Section 98-908)**

This form should be used by the Applicant as a guide to submitting a complete application for a site plan review and by the City to process said application. Part II should be used by the Applicant to submit a complete application; Parts I - III should be used by the City as a guide when processing said application.

I. RECORDATION OF ADMINISTRATIVE PROCEDURES

____ Pre-submittal staff meeting scheduled:

Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

Follow-up pre-submittal staff meetings scheduled for:

____ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

____ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

____ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

____ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

____ Application form filed with Zoning Administrator: Date: _____ by: _____

____ Application fee of \$ _____ received by Zoning Administrator: Date: _____ by: _____

____ Reimbursement of professional consultant costs agreement executed: Date: _____ by: _____

II. APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 8 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 1 initial draft application packet and 1 digital copy for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (1 Copy and 1 Digital Copy to Zoning Administrator)

Date: _____ by: _____



Draft Final Packet (8 Copies and 1 Digital Copy to Zoning Administrator)

Date: _____ by: _____



____ (a) **A written description of the intended use describing in reasonable detail the:**

- ____ Existing zoning district(s) (and proposed zoning district(s) if different);
- ____ Land use plan map designation(s);
- ____ Current land uses present on the subject property;
- ____ Proposed land uses for the subject property (per Section 98-206);
- ____ Projected number of residents, employees, and daily customers;
- ____ Proposed amount of dwelling units, floor area, impervious surface area, and landscape surface area, and resulting site density, floor area ratio, impervious surface area ratio, and landscape surface area ratio;
- ____ Operational considerations relating to hours of operation, projected normal and peak water usage, sanitary sewer or septic loadings, and traffic generation;

- _____ Operational considerations relating to potential nuisance creation pertaining to noncompliance with the performance standards addressed in Article VII (Sections 98-701-98-721) including: street access, traffic visibility, parking, loading, exterior storage, exterior lighting, vibration, noise, air pollution, odor, electromagnetic radiation, glare and heat, fire and explosion, toxic or noxious materials, waste materials, drainage, and hazardous materials;
- _____ If no nuisances will be created (as indicated by complete and continuous compliance with the provisions of Article VII), then include the statement "The proposed development shall comply with all requirements of Article VII.";
- _____ Exterior building and fencing materials (Sections 98-718 and 98-720);
- _____ Possible future expansion and related implications for points above;
- _____ Any other information pertinent to adequate understanding by the Plan Commission of the intended use and its relation to nearby properties.

_____ (b) **A Small Location Map** at 11" x 17" showing the subject property, all properties within 300 feet, and illustrating its relationship to the nearest street intersection. (A photocopy of the pertinent section of the City's Official Zoning Map with the subject property clearly indicated shall suffice to meet this requirement.)

_____ (c) **A Property Site Plan drawing which includes:**

- _____ A title block which indicates the name, address and phone/fax number(s) of the current property owner and/or agent(s) (developer, architect, engineer, planner) for project;
- _____ The date of the original plan and the latest date of revision to the plan;
- _____ A north arrow and a graphic scale (not smaller than one inch equals 100 feet);
- _____ A reduction of the drawing at 11" x 17";
- _____ A legal description of the subject property;
- _____ All property lines and existing and proposed right-of-way lines with bearings and dimensions clearly labeled;
- _____ All existing and proposed easement lines and dimensions with a key provided and explained on the margins of the plan as to ownership and purpose;
- _____ All required building setback lines;
- _____ All existing and proposed buildings, structures, and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities, and walls;
- _____ The location and dimension (cross-section and entry throat) of all access points onto public streets;
- _____ The location and dimension of all on-site parking (and off-site parking provisions if they are to be employed), including a summary of the number of parking stalls provided versus required by the Ordinance;
- _____ The location and dimension of all loading and service areas on the subject property and labels indicating the dimension of such areas;
- _____ The location of all outdoor storage areas and the design of all screening devices;
- _____ The location, type, height, size and lighting of all signage on the subject property to include a photometric plan;
- _____ The location, height, design/type, illumination power and orientation of all exterior lighting on the subject property -- including the clear demonstration of compliance with Section 98-707;
- _____ All engineering requirements for utilities, site designs, etc;
- _____ The location and type of any permanently protected green space areas;
- _____ The location of existing and proposed drainage facilities for storm water;

____ In the legend, data for the subject property on:

- ____ Lot Area;
- ____ Floor Area;
- ____ Floor Area Ratio (b/a);
- ____ Impervious Surface Area;
- ____ Impervious Surface Ratio (d/a);
- ____ Building Height.

N/A

____ (d) **A Detailed Landscaping Plan of the subject property:**

- ____ Scale same as main plan (> or equal to 1" equals 100')
- ____ Map reduction at 11" x 17"
- ____ Showing the location of all required buffer yard and landscaping areas
- ____ Showing existing and proposed Landscape Point fencing
- ____ Showing berm options for meeting said requirements
- ____ Demonstrating complete compliance with the requirements of Article VI
- ____ Providing individual plant locations and species, fencing types and heights, and berm heights;

N/A

____ (e) **A Grading and Erosion Control Plan:**

- ____ Same scale as the main plan (> or equal to 1" equals 100')
- ____ Map reduction at 11" x 17"
- ____ Showing existing and proposed grades including retention walls and related devices, and erosion control measures.

N/A

____ (f) **Elevation Drawings of proposed buildings or remodeling of existing buildings:**

- ____ Showing finished exterior treatment;
- ____ With adequate labels provided to clearly depict exterior materials, texture, color and overall appearance;
- ____ Perspective renderings of the proposed project and/or photos of similar structures may be submitted, but not in lieu of adequate drawings showing the actual intended appearance of the buildings.

NOTE: Initiation of Land Use or Development Activity: Absolutely no land use or development activity, including site clearing, grubbing, or grading shall occur on the subject property prior to the approval of the required site plan. Any such activity prior to such approval shall be a violation of law and shall be subject to all applicable enforcement mechanisms and penalties.

NOTE: Modification of an Approved Site Plan: Any and all variation between development and/or land use activity on the subject property and the approved site plan is a violation of law. An approved site plan shall be revised and approved via the procedures of Subsections 98-908(2) and (4) so as to clearly and completely depict any and all proposed modifications to the previously approved site plan, prior to the initiation of said modifications.

III.FINAL APPLICATION PACKET INFORMATION

____ Receipt of 1 full scale copy in blue line or black line

of complete Final Application Packet by Zoning Administrator:

Date: _____ by: _____

____ Receipt of 8 reduced (8.5" by 11" text and 11" x 17" graphics)

copies of complete Final Application Packet by Zoning Administrator:

Date: _____ by: _____

____ A digital copy of Final Application Packet shall be emailed to the Building and Zoning Department upon submittal deadline.

Date: _____ by: _____

Development Review Committee (DRC) Application

Complete as much detailed information as possible to allow for a comprehensive departmental review prior to a Development Review Committee meeting. This application must be returned to the Building Inspector, with all conceptual plans, designs and other information prior to the scheduling a DRC meeting.

Applicant Information

Property Address 272 Broad St Unit A
Applicant name Gregory Anagnos
Applicant email chefgreg1962@netzero.com Phone Number 262-745-1114
Architect/Contractor/Designer Name N/A
Architect/Contractor/Designer Email _____ Phone Number _____
Type of Construction: New _____ Addition _____ Remodel _____
Type of Development: Single-family _____ Multi-family _____ Commercial N/A Industrial _____
Type of Business _____

Engineering

Site Plans should include the following: Project title and owner's/developer's name and address noted, architect's and/or engineer's name and address noted, property boundaries and dimensions, abutting property zoning classifications, general description of building materials, façade and roof detail, setback lines indicated, easements for access, if any, 100-year floodplain identification, existing and proposed topography shown at a contour interval of one foot, indicating proposed grade and location of improvements, signage and outdoor lighting, number of parking spaces provided, type, size and location of all structures with all building dimensions shown, location of existing and general location of proposed sanitary sewers, storm sewers, water-mains, and any proposed stormwater management facilities, location, extent and type of proposed landscaping and landscaping plantings and buffers to adjacent property, including fencing or other screening, location of pedestrian sidewalks and walkways, graphic outline of any development staging that is planned, driveway locations and sizes, handicap accessibility, environmental concerns (odor, smoke, noise, graphic scale and north arrow.

- Storm water management provisions provided? YES / NO
 - As-built/certification notification
- Erosion control plan provided? YES / NO
- Wetlands, floodplains, environmental corridors, groundwater Identified. YES / NO
- Utility Plans Provided
 - Watermain
 - Sanitary Sewer
 - Storm Water
- Is a Land Division required? YES / NO
- Access points and dimensions shown? YES / NO
 - WISDOT Right-of-way?
 - County Right-of-way?
- Estimated Traffic impacts NONE
 - Traffic Study Required YES/NO
 - Traffic Control Plan Required YES/NO
 - Will construction affect street parking or intersections? YES / NO

- Paving Materials, Typical Sections? YES / NO
- WDNR Notice of Intent required? (Land disturbance more than 1 acre)? YES / NO
- Watermain extension required? YES / NO
- Sanitary sewer extension required? YES / NO
- SEWRPC Service Area Amendment needed? YES / NO
- Is a Chapter 30 Permit (wetland/waterway) required? YES / NO
- Proposed building/expansion dimensions None
- Will there be signage? YES / NO type (mounted, freestanding) _____
- Exterior lighting plans? YES / NO
- What kind of noise or level of noise will the business have? None
- Detailed property Site Plan? YES / NO Date of Plan: 3-1-23
- Green Space Calculations (Existing vs. Proposed) YES / NO
- Are landscape plans provided? YES / NO
- Is a Land Division required? YES / NO

Water/Sewer Utilities

If an existing structure please circle the following:

- Will existing sewer & water connections be used? YES / NO
- Will your project require the installation of a grease interceptor? YES / NO

If the development is Commercial or Industrial, please provide the following:

- Water service size requirement N/A
- Estimated daily water usage in gallons per day N/A
- Estimated maximum water flow in gallons per minute N/A
- Number of bathrooms N/A
- Brief description of process (if Industrial) _____

If the development is a multi-family dwelling, please provide the following:

- Number of units N/A
- Number of bedrooms in each unit N/A
- Water service size requirement _____

Equipment
needed

Proposed Use

2x 6' Stainless steel Tables that fold up

1 x 60" chest freezer

Use -

To sell items from gelateria outside
in designated area against the building
away from sidewalk traffic.

Items will be RTE frozen novelties.
Ready to eat.

Waste will be a minimum
Cups, spoons, napkins

I plan on having Extra garbage cans⁽²⁾
to accommodate the refuse.
they are designated by exit of patio

Tables and freezer in green marker

Garbage in red marker



- Legend**
- Street Name
 - Private Roads
 - County Municipality
 - Alley
 - Right-Of-Way
 - Hydrology
 - ETZ
 - City Limits

Note

Data on this map may or may not be accurate, current, or otherwise reliable. For reference only.

0 27.92 55.8

Feet

© Kapur and Associates, Inc. 03/02/2023



Legend

- Street Network
- Private Roads
- County Municipalities
- Zoning Code
 - Residential Single-Family Detached
 - Residential Medium-Density
 - Residential Single-Family Detached 2
 - Residential Single-Family Detached 3
 - Residential Single-Family Detached 4
 - Residential Single-Family Detached 5
 - Residential Single-Family Detached 6
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 - Residential Single-Family Detached 8
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 - Residential Single-Family Detached 100
- Other Codes
 - Commercial
 - Industrial
 - Public
 - Religious
 - Recreational
 - Residential
 - Special
 - Utility
 - Water
 - Waste
 - Other

Note

Data on this map may or may not be accurate, current, or otherwise reliable. For reference only.

Engineers, Architects and Surveyors
P.O. BOX 487
7 RIDGEWAY COURT
ELIHORN, WISCONSIN 53121

RECEIVED
JUN 27 1966

(10' STRIP VOL. 142 P. 99)

(SOUTH)

5 0°05'E 51.00'

NYW COR. PARCEL TO NIS. ELEC
VOL. 149, P. 483

SIGHT & SOUND

THUMBS UP

5 89° 56' 30" E
(EAST)

A diagram showing a vertical wall. A horizontal force of 0.02 is applied at the top, pointing to the right. A vertical force of 0.4 is applied at the base, pointing upwards. The wall is represented by a vertical line with diagonal hatching on the left side.

84

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structure

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thereto with

mis

100

NORTH 51.00'

CONG. WALK

PLAT OF SURVEY OF

BROAD STREET

PLAT OF SURVEY OF BROAD STREET

Commencing at the NW corner of Lot 1, Block 26 in the Village of Geneva (now City of Lake Geneva) according to the recorded plat of said Village of record in the office of the Registrar of Deeds in and for Walworth County; thence West in the North line of said Lot, 85 feet to the East line of that strip of land 10 feet in width conveyed by J. W. Whiteside to Maggie Larsen by deed dated April 2, 1917 and recorded in said Registrar of Deeds office in Volume 142 of Deeds, page 99; thence South 51 feet in the East line of said 10 foot strip of land to the NW corner of lands conveyed by Maggie Larsen to Southern Wisconsin Electric Company by deed dated April 28, 1917 and recorded in said Registrar of Deeds office in Volume 149 of Deeds on page 483 thence East 85 feet in the North line of land so conveyed to said Southern Wisconsin Electric Company to the East line of said Lot 1; thence North in the East line of said Lot 1 to the place of beginning.

I hereby certify that the above described property has been surveyed under my direction and that the above map is a true representation thereof and shows the size and location of the property, its exterior boundaries, the location of all visible structures and dimensions of all principal buildings thereon, boundary fences, apparent easements, roadways and visible encroachments, if any. This survey is made for the use of the present owners of the property, and also for those who purchase, mortgage, or guarantee the title thereto within one (1) year from the date hereof.

WORK ORDERED BY: LAKESHORE REAL ESTATE FOR BERNARD POLEK

Dated this 25th day of June, 1986

PROJECT NO. 1967.084

Robert A. Farris
Robert A. Farris, R.L.S.

ROAD SCALE IN FEET
WEST LINE ROAD ST. ASSIGNED 896. NORTH
FOUND GRASS GUT IN CURBSETS AT ALL LOT CORNERS

(1-1-14)

7-750-f

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: April 17, 2023

Agenda Item #9

Applicant:

Gregory Anagnos
N1567 Clover Road
Lake Geneva, WI 53147

Request:

272 Broad Street
Unit A
Proposed Conditional Use Permit for Outdoor
Commercial Entertainment

Description:

The applicant is submitting a proposal for a Conditional Use Permit (CUP) for an Outdoor Commercial Entertainment land use for the property located at 272 Broad Street, Unit A.

The subject property is zoned Central Business (CB). Adjacent properties to the south and west are zoned Central Business (CB). Properties to the east across Broad Street and north across Geneva Street are also zoned Central Business (CB).

The property currently contains a multi-tenant commercial building, featuring two existing tenants. The proposed use will be to expand the sale of gelato and frozen treats onto the existing on-site patio area by establishing an outdoor food stand where they will sell gelato and associated frozen novelty food items. The concessions stand is proposed on the south side of the on-site patio area adjacent to the building, with trash receptacles located at entrance and exit points from the site. This property is located within the Central Business zoning district and is exempt from minimum parking requirements.

Staff Review:

The proposed use complies with all applicable requirements of 98-206(4)(j) pertaining to Outdoor Commercial Entertainment land uses.

Action by the Plan Commission:

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUP; and,
- Provide specific suggested *requirements/conditions* to modify the project as submitted.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:

272 Broad Street, Unit A CUP - Page 1 of 3

Commented [EV1]: I assume that current business operations are not being altered, and that this addition is solely for an outdoor selling area. However, we should confirm with applicant whether there will be any changes to hours of operation and number of staff...

Additionally, will there be any exterior modifications or signage additions? All signage/exterior changes need to go to downtown design review board.

Commented [JM2R1]: I would assume that is correct. Your condition of approval would cover that well.

1. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
1. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

5. The proposed conditional use is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation:

1. Staff recommends that the Plan Commission recommend approval of the proposed conditional use as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.
3. Staff recommends the following *additional conditions of approval* be attached:
 - a. Applicant shall confirm whether there will be any changes to the businesses' general operations or hours of operation.
 - b. Any exterior painting or modifications, including the installation of permanent signage, shall require review and approval by the Downtown Design Review Board.

Suggested Motions:

- *Approve:* I recommend approval of the proposed *Conditional Use Permit for Gregory Anagnos, N1567 Clover Road, Lake Geneva, WI 53147 for a proposed Outdoor Commercial Entertainment land use for the property located at 272 Broad Street, Unit A, in the Central Business (CB) zoning district, Tax Key No. ZOP 00244*, including the affirmative set of findings, and any additional conditions of approval recommended by staff.
- *Deny:* I recommend denial of the proposed *Conditional Use Permit for Gregory Anagnos, N1567 Clover Road, Lake Geneva, WI 53147 for a proposed Outdoor Commercial Entertainment land use for the property located at 272 Broad Street, Unit A, in the Central Business (CB) zoning district, Tax Key No. ZOP 00244*, because *[provide rationale for denial, based on substantial evidence]*.

Jackie Mich, AICP
City Planning Consultant
Vandewalle & Associates

↑ WEST

Scale = 1"



KOUZINA

8

GELATERIA

MEDUSK

WINDOW

s/s Table

Freezer

s/s Table

TREE

DEEP THERM UNIT 13

5

GARBAGE

GARBAGE

APPLICATION FOR CONDITIONAL USE

City of Lake Geneva

Site Address/Parcel No. and full Legal Description required (attach separate sheet if necessary):

772 W. Main St Lake Geneva WI 53147 Suite 01
Landmark Center

Name and Address of Current Owner: Al Poas / Suvretta Limited Partnership
Lake Forest IL 60045

Telephone No. with area code & Email of Current Owner: (312) 270.4478
aapoas@gmail.com

Owner Signature: *[Signature]* A.A. POAS, PRESIDENT, CRESTA INVESTMENTS,
INC., GP OF SUVRETTA LP

Name and Address of Applicant:

Kurt Jennison
N3382 County rd H Lake Geneva WI 53147

Telephone No. with area code & Email of Applicant: (262) 745.8893
kurt.jennison@gmail.com

Proposed Conditional Use: Commercial Indoor Entertainment

Zoning District in which land is located: Central Business

Names and Addresses of architect, professional engineer and contractor of project:

N/A limited needs paint, flooring etc.

Short statement describing activities to take place on site:

Small pool hall including beer & wine, tournaments,
league and pool after school program.

Conditional Use Fee payable upon filing application: \$400.00 [\$100.00 for Application Under Sec. 98-407(3)]

2/20/23
Date

[Signature]
Signature of Applicant

APPLICATION FOR CONDITIONAL USE

City of Lake Geneva

Site Address/Parcel No. and full Legal Description required (attach separate sheet if necessary):

772 W. Main St Lake Geneva WI 53147 suite 01
Landmark Center

Name and Address of Current Owner:

Al Paas / Suvretta Limited Partnership
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Telephone No. with area code & Email of Current Owner:

(312) 270-4478
aapaas@gmail.com

Owner Signature: _____

Name and Address of Applicant:

Kurt Jennison
N3382 County Rd H Lake Geneva WI 53147

Telephone No. with area code & Email of Applicant:

(262) 745-8893
kurt.jennison@gmail.com

Proposed Conditional Use:

Commercial Indoor Entertainment

Zoning District in which land is located:

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Names and Addresses of architect, professional engineer and contractor of project:

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Small pool hall including beer & wine, tournaments,
league and pool after school program.

Conditional Use Fee payable upon filing application: \$400.00 [\$100.00 for Application Under Sec. 98-407(3)]

Date

2/20/23

Signature of Applicant



**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
CONDITIONAL USE REVIEW AND APPROVAL (Requirements per Section 98-905)**

This form should be used by the Applicant as a guide to submitting a complete application for a conditional use and by the City to process said application. Parts II and III should be used by the Applicant to submit a complete application; Parts I - IV should be used by the City as a guide when processing said application.

I. RECORDATION OF ADMINISTRATIVE PROCEDURES

____ Pre-submittal staff meeting scheduled:

Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

Follow-up pre-submittal staff meetings scheduled for:

____ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

____ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

____ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

____ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

____ Application form filed with Zoning Administrator: Date: _____ by: _____

____ Application fee of \$ _____ received by Zoning Administrator: Date: _____ by: _____

____ Reimbursement of professional consultant costs agreement executed: Date: _____ by: _____

II. APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 8 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 1 initial draft application packet and 1 digital copy for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (1 Copy and 1 Digital Copy to Zoning Administrator) Date: _____ by: _____

↓ *Draft Final Packet (8 Copies and 1 Digital Copy to Zoning Administrator)* Date: _____ by: _____

↓

____ (a) A map of the proposed conditional use:

- ____ Showing all lands for which the conditional use is proposed;
- ____ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;
- ____ Map and all its parts are clearly reproducible with a photocopier;
- ____ Map size of 11" by 17" and map scale not less than one inch equals 800 ft;
- ____ All lot dimensions of the subject property provided;
- ____ Graphic scale and north arrow provided.

____ (b) A map, such as the Land Use Plan Map, of the generalized location of the subject property in relation to the City as a whole:

____ (c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations;

_____ (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.

_____ (e) Written justification for the proposed conditional use:

_____ Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. (See below)

III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

Lake Geneva Billiard Club will provide entertainment to tourist and locals while bringing a new sport to the area

2. How is the proposed conditional use, in its specific location, in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

It will not change anything in downtown Lake Geneva other than bringing more entertainment to the area

3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?

The Lake Geneva Billiard Club would bring minimal change to the downtown other than adding another attraction.

4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

The proposed land use is completely within the 772 W. Main St Facility

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

NO exterior impact CB does not require parking needs

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

yes

IV. FINAL APPLICATION PACKET INFORMATION

- ____ Receipt of 1 full scale copy in blue/line or black/line of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____
- ____ Receipt of 8 reduced (3.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____
- ____ A digital copy of Final Application Packet shall be emailed to the Building and Zoning Department upon submittal deadline. Date: _____ by: _____
- ____ Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk: Date: _____ by: _____
- ____ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: _____ by: _____
- ____ Class 2 Legal Notice published on _____ and _____ by: _____
- ____ Conditional Use recorded with the County Register of Deeds Office: Date: _____ by: _____

CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
SITE PLAN REVIEW AND APPROVAL (Requirements per Section 98-908)

This form should be used by the Applicant as a guide to submitting a complete application for a site plan review and by the City to process said application. Part II should be used by the Applicant to submit a complete application; Parts I - III should be used by the City as a guide when processing said application.

I. RECORDATION OF ADMINISTRATIVE PROCEDURES

___ Pre-submittal staff meeting scheduled:

Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

Follow-up pre-submittal staff meetings scheduled for:

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

___ Application form filed with Zoning Administrator: Date: _____ by: _____

___ Application fee of \$ ___ received by Zoning Administrator: Date: _____ by: _____

___ Reimbursement of professional consultant costs agreement executed: Date: _____ by: _____

II. APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 8 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 1 initial draft application packet and 1 digital copy for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (1 Copy and 1 Digital Copy to Zoning Administrator)

Date: _____ by: _____

↓

Draft Final Packet (8 Copies and 1 Digital Copy to Zoning Administrator)

Date: _____ by: _____

↓

___ (a) **A written description of the intended use describing in reasonable detail the:**

___ Existing zoning district(s) (and proposed zoning district(s) if different);

___ Land use plan map designation(s);

___ Current land uses present on the subject property;

___ Proposed land uses for the subject property (per Section 98-206);

___ Projected number of residents, employees, and daily customers;

___ Proposed amount of dwelling units, floor area, impervious surface area, and landscape surface area, and resulting site density, floor area ratio, impervious surface area ratio, and landscape surface area ratio;

___ Operational considerations relating to hours of operation, projected normal and peak water usage, sanitary sewer or septic loadings, and traffic generation;

~~Operational considerations relating to potential nuisance creation pertaining to noncompliance with the performance standards addressed in Article VII (Sections 98-701-98-721) including: street access, traffic visibility, parking, loading, exterior storage, exterior lighting, vibration, noise, air pollution, odor, electromagnetic radiation, glare and heat, fire and explosion, toxic or noxious materials, waste materials, drainage, and hazardous materials;~~

- ~~_____ If no nuisances will be created (as indicated by complete and continuous compliance with the provisions of Article VII), then include the statement "The proposed development shall comply with all requirements of Article VII.";~~
- ~~_____ Exterior building and fencing materials (Sections 98-718 and 98-720);~~
- ~~_____ Possible future expansion and related implications for points above;~~
- ~~_____ Any other information pertinent to adequate understanding by the Plan Commission of the intended use and its relation to nearby properties.~~

_____ (b) **A Small Location Map** at 11" x 17" showing the subject property, all properties within 300 feet, and illustrating its relationship to the nearest street intersection. (A photocopy of the pertinent section of the City's Official Zoning Map with the subject property clearly indicated shall suffice to meet this requirement.)

_____ (c) **A Property Site Plan drawing which includes:**

- ~~_____ A title block which indicates the name, address and phone/fax number(s) of the current property owner and/or agent(s) (developer, architect, engineer, planner) for project;~~
- ~~_____ The date of the original plan and the latest date of revision to the plan;~~
- ~~_____ A north arrow and a graphic scale (not smaller than one inch equals 100 feet);~~
- ~~_____ A reduction of the drawing at 11" x 17";~~
- ~~_____ A legal description of the subject property;~~
- ~~_____ All property lines and existing and proposed right-of-way lines with bearings and dimensions clearly labeled;~~
- ~~_____ All existing and proposed easement lines and dimensions with a key provided and explained on the margins of the plan as to ownership and purpose;~~
- ~~_____ All required building setback lines;~~
- ~~_____ All existing and proposed buildings, structures, and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities, and walls;~~
- ~~_____ The location and dimension (cross-section and entry throat) of all access points onto public streets;~~
- ~~_____ The location and dimension of all on-site parking (and off-site parking provisions if they are to be employed), including a summary of the number of parking stalls provided versus required by the Ordinance;~~
- ~~_____ The location and dimension of all loading and service areas on the subject property and labels indicating the dimension of such areas;~~
- ~~_____ The location of all outdoor storage areas and the design of all screening devices;~~
- ~~_____ The location, type, height, size and lighting of all signage on the subject property to include a photometric plan;~~
- ~~_____ The location, height, design/type, illumination power and orientation of all exterior lighting on the subject property – including the clear demonstration of compliance with Section 98-707;~~
- ~~_____ All engineering requirements for utilities, site designs, etc;~~
- ~~_____ The location and type of any permanently protected green space areas;~~
- ~~_____ The location of existing and proposed drainage facilities for storm water;~~

_____ In the legend, data for the subject property on:

- _____ Lot Area;
- _____ Floor Area;
- _____ Floor Area Ratio (b/a);
- _____ Impervious Surface Area;
- _____ Impervious Surface Ratio (d/a);
- _____ Building Height.

_____ (d) **A Detailed Landscaping Plan of the subject property:**

- _____ Scale same as main plan (> or equal to 1" equals 100')
- _____ Map reduction at 11" x 17"
- _____ Showing the location of all required buffer yard and landscaping areas
- _____ Showing existing and proposed Landscape Point fencing
- _____ Showing berm options for meeting said requirements
- _____ Demonstrating complete compliance with the requirements of Article VI
- _____ Providing individual plant locations and species, fencing types and heights, and berm heights;

_____ (e) **A Grading and Erosion Control Plan:**

- _____ Same scale as the main plan (> or equal to 1" equals 100')
- _____ Map reduction at 11" x 17"
- _____ Showing existing and proposed grades including retention walls and related devices, and erosion control measures.

_____ (f) **Elevation Drawings of proposed buildings or remodeling of existing buildings:**

- _____ Showing finished exterior treatment;
- _____ With adequate labels provided to clearly depict exterior materials, texture, color and overall appearance;
- _____ Perspective renderings of the proposed project and/or photos of similar structures may be submitted, but not in lieu of adequate drawings showing the actual intended appearance of the buildings.

NOTE: Initiation of Land Use or Development Activity: Absolutely no land use or development activity, including site clearing, grubbing, or grading shall occur on the subject property prior to the approval of the required site plan. Any such activity prior to such approval shall be a violation of law and shall be subject to all applicable enforcement mechanisms and penalties.

NOTE: Modification of an Approved Site Plan: Any and all variation between development and/or land use activity on the subject property and the approved site plan is a violation of law. An approved site plan shall be revised and approved via the procedures of Subsections 98-908(2) and (4) so as to clearly and completely depict any and all proposed modifications to the previously approved site plan, prior to the initiation of said modifications.

III.FINAL APPLICATION PACKET INFORMATION

_____ Receipt of 1 full scale copy in blue/line or black/line
of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

_____ Receipt of 8 reduced (8.5" by 11" text and 11" x 17" graphics)
copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

_____ A digital copy of Final Application Packet shall be emailed to the
Building and Zoning Department upon submittal deadline. Date: _____ by: _____

Development Review Committee (DRC) Application

Complete as much detailed information as possible to allow for a comprehensive departmental review prior to a Development Review Committee meeting. This application must be returned to the Building Inspector, with all conceptual plans, designs and other information prior to the scheduling a DRC meeting.

Applicant Information

Property Address 772 W. Main St Suite C01
Applicant name Kurt Jennison
Applicant email kurt.jennison@gmail.com Phone Number 262-745-8893

Architect/Contractor/Designer Name N/A
Architect/Contractor/Designer Email _____ Phone Number _____

Type of Construction: New _____ Addition _____ Remodel _____
Type of Development: Single-family _____ Multi-family _____ Commercial _____ Industrial _____
Type of Business _____

Engineering

N/A Frank Walling

Site Plans should include the following: Project title and owner's/developer's name and address noted, architect's and/or engineer's name and address noted, property boundaries and dimensions, abutting property zoning classifications, general description of building materials, façade and roof detail, setback lines indicated, easements for access, if any, 100-year floodplain identification, existing and proposed topography shown at a contour interval of one foot, indicating proposed grade and location of improvements, signage and outdoor lighting, number of parking spaces provided, type, size and location of all structures with all building dimensions shown, location of existing and general location of proposed sanitary sewers, storm sewers, water-mains, and any proposed stormwater management facilities, location, extent and type of proposed landscaping and landscaping plantings and buffers to adjacent property, including fencing or other screening, location of pedestrian sidewalks and walkways, graphic outline of any development staging that is planned, driveway locations and sizes, handicap accessibility, environmental concerns (odor, smoke, noise, graphic scale and north arrow.

- Storm water management provisions provided? YES / NO
 - As-built/certification notification
- Erosion control plan provided? YES / NO
- Wetlands, floodplains, environmental corridors, groundwater Identified. YES / NO
- Utility Plans Provided
 - Watermain
 - Sanitary Sewer
 - Storm Water
- Is a Land Division required? YES / NO
- Access points and dimensions shown? YES / NO
 - WISDOT Right-of-way?
 - County Right-of-way?
- Estimated Traffic impacts _____
 - Traffic Study Required YES/NO
 - Traffic Control Plan Required YES/NO
 - Will construction affect street parking or intersections? YES / NO

- Paving Materials, Typical Sections? YES / NO
- ~~WDNR Notice of Intent required? (Land disturbance more than 1 acre)? YES / NO~~
- Watermain extension required? YES / NO
- Sanitary sewer extension required? YES / NO
- SEWRPC Service Area Amendment needed? YES / NO
- Is a Chapter 30 Permit (wetland/waterway) required? YES / NO
- Proposed building/expansion dimensions _____
- Will there be signage? YES / NO type (mounted, freestanding) _____
- Exterior lighting plans? YES / NO
- What kind of noise or level of noise will the business have? _____
- Detailed property Site Plan? YES / NO Date of Plan: _____
- Green Space Calculations (Existing vs. Proposed) YES / NO
- Are landscape plans provided? YES / NO
- Is a Land Division required? YES / NO

Water/Sewer Utilities

If an existing structure please circle the following:

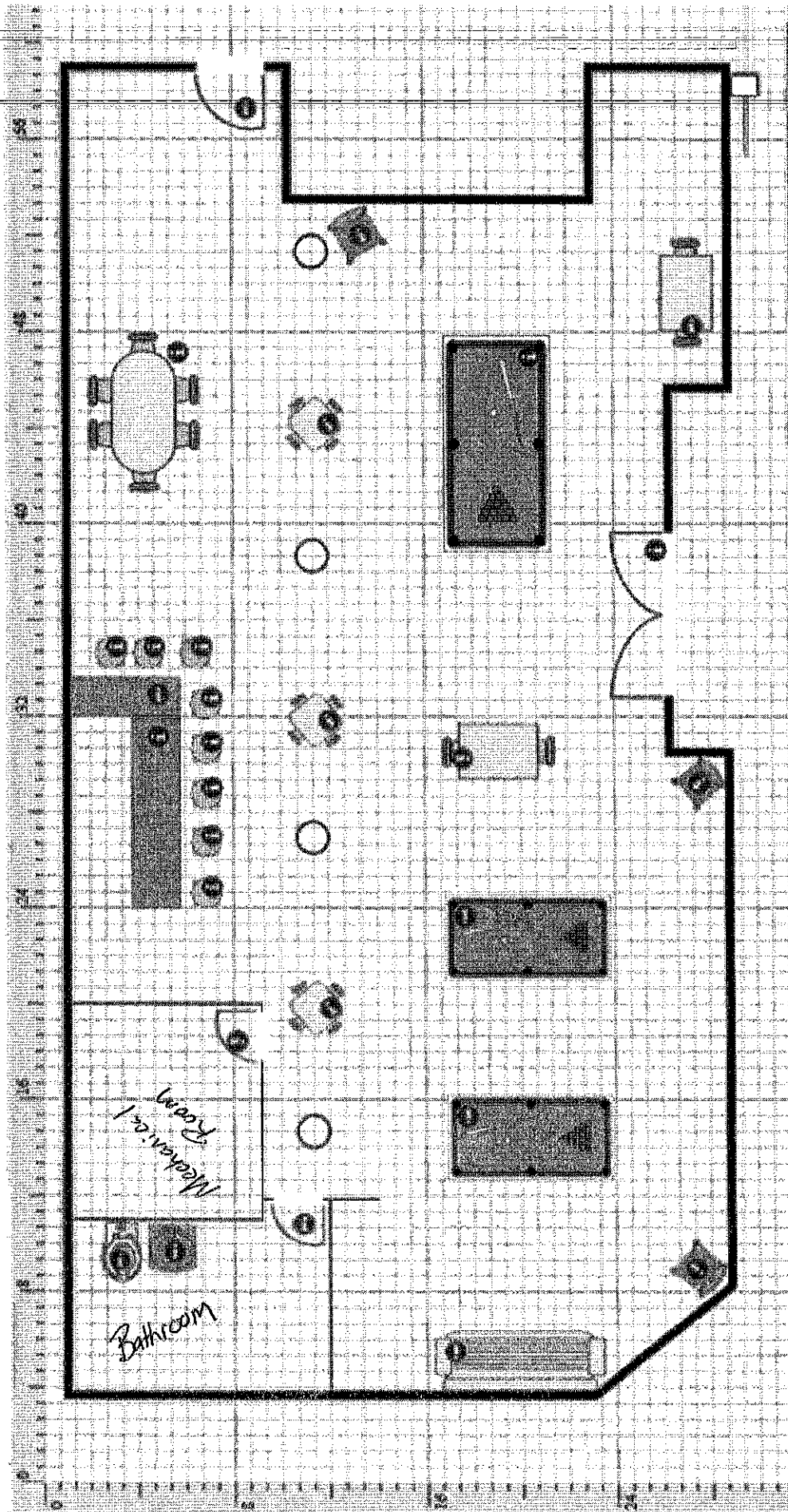
- Will existing sewer & water connections be used? YES / NO
- Will your project require the installation of a grease interceptor? YES / NO

If the development is Commercial or Industrial, please provide the following:

- Water service size requirement _____
- Estimated daily water usage in gallons per day _____
- Estimated maximum water flow in gallons per minute _____
- Number of bathrooms _____
- Brief description of process (if Industrial) _____

If the development is a multi-family dwelling, please provide the following:

- Number of units _____
- Number of bedrooms in each unit _____
- Water service size requirement _____



STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: April 17, 2023

Agenda Item #10

Applicant:

Kurt Jennison
N3382 County Road H
Lake Geneva, WI 53147

Request:

772 W. Main Street
Suite 01
Lake Geneva, WI 53147
Tax Key No. ZOP 00321
Proposed Conditional Use Permit for Large-Scale
Indoor Commercial Entertainment

Description:

The applicant is submitting a proposal for a Conditional Use Permit (CUP) for a Large-Scale Indoor Commercial Entertainment land use for the property located at 772 West Main Street, Suite 01. The proposed use is subject to the requirements of Section 98-206(4)(i) pertaining to Large-Scale Indoor Commercial Entertainment land uses, which consist of indoor commercial services such as restaurants, taverns, theaters, bowling alleys, arcades, and similar uses.

The subject property is zoned Central Business (CB) and all surrounding properties are also zoned CB. The property currently contains a multi-tenant building. Suite 01, located on the lower level of the building with access through a first-floor entrance off of Broad Street, will a pool hall called Lake Geneva Billiard Club that will serve beer, wine, and limited food options (appetizers and frozen pizzas). The establishment will operate under Class B and Class C liquor licenses and be staffed by 3-4 employees. The proposed pool hall will accommodate approximately 30-34 patrons, with intended operations hours between 2:00 p.m. to 2:00 a.m. Monday through Thursday and 11: 00 a.m. through 2:00 a.m. Friday through Sunday. There will be no exterior modifications, and the occupant will use existing signage space provided by the Landmark Center Building.

Staff Review:

The proposed use complies with all applicable requirements of 98-206(4)(i) pertaining to Large-Scale Indoor Commercial Entertainment land uses. Because this property is located within the CB zoning district, it is exempt from minimum parking requirements.

Commented [JM1]: Write a quick sentence reminding everyone what a large-scale indoor commercial entertainment land use is. :)
Here's what the code says:

Large-scale indoor commercial entertainment land uses include all land uses which provide entertainment services entirely within an enclosed building, which is over 2,000 gross square feet and/or which serves alcohol. Examples of such land uses include restaurants, taverns, theaters, bowling alleys, arcades, roller rinks, and pool halls.

Feel free to modify the above text to make it more user friendly.

Commented [EV2]: Applicant has provided next to no information about their proposal... we need:

- Description of business
- Operating hours
- Number of staff
- Details on whether they are selling food or drinks... what kind of liquor licenses are required?
- Will children be allowed? They indicate the desire to host after school programs with children but also indicate they will be selling alcohol.
- Where in the building is Suite 1?
- Will there be any exterior modifications or signage? All signage/exterior changes need to go to downtown design review board

Commented [JM3R2]: Good list of questions

Action by the Plan Commission:

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUP; and,
- Provide specific suggested *requirements/conditions* to modify the project as submitted.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
1. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
1. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any

other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.

3. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
4. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
5. The proposed conditional use is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
6. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation:

1. Staff recommends that the Plan Commission recommend approval of the proposed conditional use as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.
3. Staff recommends the following *additional condition of approval* be attached:
 - a. none

Suggested Motions:

- *Approve:* I recommend approval of the proposed *Conditional Use Permit for Kurt Jennison, N3382 County Road H, Lake Geneva, WI 53147 for a proposed Commercial Indoor Entertainment land use for the property located at 772 W. Main Street, Suite 01, in the Central Business (CB) zoning district, Tax Key No. ZOP 00321*, including the affirmative set of findings, and any additional conditions of approval recommended by staff.
- *Deny:* I recommend denial of the proposed *Conditional Use Permit for Kurt Jennison, N3382 County Road H, Lake Geneva, WI 53147 for a proposed Commercial Indoor Entertainment land use for the property located at 772 W. Main Street, Suite 01, in the Central Business (CB) zoning district, Tax Key No. ZOP 00321*, because *[provide rationale for denial, based on substantial evidence]*.

Jackie Mich, AICP
City Planning Consultant
Vandewalle & Associates