



City of Lake Geneva, 626 Geneva St, Lake Geneva, WI 53147- 262.248.3673- www.cityoflakegeneva.gov

CITY OF LAKE GENEVA PLAN COMMISSION
MONDAY, NOVEMBER 20, 2023 - 6:00 PM
COUNCIL CHAMBERS, CITY HALL

Members:

Mayor Charlene Klein, Alderperson Joan Yunker, Commissioners: John Gibbs, Joel Hoiland, Cindy Forster Fueredi, James Marquardt, and Kyle Cary

CITY HALL WILL BE OPEN TO THE PUBLIC DURING ALL MEETINGS. THE CITY OF LAKE GENEVA IS HOLDING ALL MEETINGS VIRTUALLY AS WELL AS IN PERSON. IF YOU WISH TO LISTEN OR WATCH THE MEETING YOU MAY DO SO BY USING THE FOLLOWING:

1. Links to the City of Lake Geneva's live video stream can be found at <https://cityoflakegeneva.gov/319/City-Meetings-Video-Stream>

2. Television: Watch live broadcast of the meeting on Spectrum Cable Channel 25

3. Listen to audio via phone: (602) 333-2017 (Long distance rates may apply) (888) 204-5987 (Toll Free)

Access Code: 9746153

AGENDA

1. Meeting called to order by Charlene Klein
2. Roll Call
3. Approve Minutes of the October 16, 2023 Plan Commission meeting as distributed
4. Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will be limited to five (5) minutes
5. Acknowledgment of Correspondence
6. Review and Recommendation to vacate and discontinue a portion of Logan Street in Block 2 of Wheeler Addition
7. Continued - Conceptual review of a proposed development by **Basso Builders** for the property currently located in the Town of Bloomfield Tax Key No. MA56400002
8. Review and recommendation for a Zoning Map Designation for the property located at **N3219 County Trunk H** (Elkhorn Rd.) for permanent zoning of Planned Office (PO) to complete the process of annexation. Applicant Ron Amman, RJ Ammon Properties
9. Public Hearing and Recommendation for a Conditional Use Permit (CUP) for James E. Willet, 14628 John Humphrey Dr. Orland Park, IL 60462 for a building addition to the home at **1320 W. Main St.** located in the Estate Residential – 1 (ER-1) zoning district tax key no. ZYUP00094H
10. Public Hearing and Recommendation to amend the existing Zoning Code section 98-206(8)(y) regarding Short Term Rental guidelines

11. Building and Zoning Administrators Report

12. Review and discuss 2024 Comprehensive Plan Implementation budget item recommendations

13. Adjournment

QUORUM OF CITY COUNCIL MEMBERS MAY BE PRESENT

Requests from persons with disabilities, who need assistance in order to participate in this meeting, should be made to the City Clerk's office, in order for appropriate Accommodations.

CITY OF LAKE GENEVA AMENDED PLAN COMMISSION MINUTES
MONDAY, OCTOBER 16, 2023 - 6:00 PM
COUNCIL CHAMBERS, CITY HALL

Members: Mayor Charlene Klein, Alderperson Joan Yunker, Commissioners: John Gibbs, Joel Hoiland, Cindy Forster Fueredi, James Marquardt, and Kyle Cary

Meeting called to order by Charlene Klein
Mayor Klein called the meeting to order at 6:00 p.m.

Roll Call

Present: Klein, Yunker, Gibbs, Hoiland, Foster-Fueredi, Marquardt, Cary

Absent: None

Approve Minutes of the September 18, 2023 Plan Commission meeting as distributed
Motion by Hoiland to approve, second by Cary. No discussion. Motion carried. 7-0

Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will be limited to five (5) minutes

- Luke & Monica Pfeifer, 1091 S Lake Shore Drive, written submission; spoke in opposition to proposed amendment changes related to Item #10
- Barry Mess, 1010 Mobile Street; spoke in opposition to Item #8
- Sherri Ames, 605 Center Street; spoke in opposition to Items #8 & #10
- Bob McDonald, 1020 Mobile Street; spoke in opposition to Item #8
- Susan Lewis, 1145 Mobile Street; spoke in opposition to Item #8
- Penny Froh, 736 N Andria Drive; spoke in opposition to Item #10
- Helen Xiong, 711 N Andria Drive; spoke in opposition to Items #9 & #10
- Pat Sasaki, 1050 Mobile Street; spoke in opposition to Item #8
- Bob Morava, owner of Stuart Johnson & Co, 1002 Mobile Street; spoke in opposition to Item #8
- Peg Esposito, 124 Darwin Street; spoke in opposition to Items #8, #9 & #10
- David Widzisz, 748 N Andria Drive; spoke in opposition to Item #10
- Adam Ruesch, 729 Joshua Lane; spoke in opposition to Item #10
- Terrie Mess, 1010 Mobile Street; spoke in opposition to Item #8
- Susan Smolarek, Elite Lake Rentals; 672 W Main Street; provided market information related to Item #10
- Larry Happ, 1120 S Lake Shore Drive #13; spoke in opposition to Item #10

Acknowledgment of Correspondence

There was 1 item of correspondence received and was distributed to the members of the Plan Commission.

Downtown Design Review:

Application by Thomas George 3389 S. Shore Dr. Delavan, for a request to construct a garbage enclosure for Downtown Design Review for 220 Center St. Tax Key No. ZA276000001

Applicant Thomas George presented the application for a request to construct a garbage enclosure for 222 Center Street (included on pages 6-11 of the packet) and answered commission member's. Motion by Hoiland to approve, second by Cary. No discussion. Motion carried. 7-0.

Application by Thomas George 3389 S. Shore Dr. Delavan, for a request to construct a garbage enclosure for Downtown Design Review for 252 Center St. Tax Key No. ZOP00258

Applicant Thomas George presented the application for a request to construct a garbage enclosure for 252 Center Street (included on pages 12-17 of the packet) and answered commission member's. Motion by Hoiland to approve, second by Cary. No discussion. Motion carried. 7-0.

Application by Sarah Dorchester, 2096 Nutmeg Ave, Fairfield, IA. 52556 for a request to install a building sign for Downtown Design Review for the property located at 752 W. Main St. Tax Key No. ZOP00319

Applicant not present (supporting documents included on pages 18-21 of the packet). Administrator Walling answered commission member's questions. Motion by Hoiland to approve, second by Yunker. No discussion. Motion carried. 7-0.

Review and Recommendation of an Extra Territorial Zoning review of a proposed Certified Survey Map (CSM) for Daniel Schiopu, 3949 N. Oconto Ave. Chicago IL 60634, to create a lot as identified on the certified survey Job no. 23355 dated 9-15-2023 for Tax Key No. NDE00012

Applicant not present (supporting documents included on pages 22-26 of the packet). Administrator Walling & City Engineer Rausch answered commission member's questions. Motion by Hoiland to approve, second by Cary. No discussion. Motion carried. 7-0.

Continued - Conceptual review of a proposed development by Basso Builders for the property currently located in the Town of Bloomfield Tax Key No. MA56400002

Josh Basso of Basso Builders, 405 Skyline Drive, presented details and answered commission member's/city staff questions for the proposed conceptual review (included on pages 27-32 in the packet). Recommendation to take comments and return, No Action.

Conceptual review of a proposed development by Continental Properties Company Inc. W134N8675 Executive Pkwy, Menomonee Falls WI 53051 for the property currently located on the northwest corner of Townline Rd. and Edwards Blvd. Tax Key No. ZYUP00198

Sara Johnson & Katie Skelton, representatives for Continental Properties Company, presented a conceptual review of a proposed development and answered commission member's/city staff questions (included on pages 33-65 of the packet). City Planner Kruesel provided next steps for the applicant. No action.

Review and Recommendation regarding proposed amendments to the City of Lake Geneva Short Term Rental Ordinance; Chapter 98 of the Zoning Code Ordinance

Administrator Walling provided history and current status regarding proposed amendments to the City of Lake Geneva Short Term Rental Ordinance and answered commission members questions. (included on pages 66-70 of the packet) Motion by Mayor Klein to continue, second by Hoiland. Motion carried. 7-0

Adjournment

Motion by Hoiland to adjourn, second by Cary. Motion carried 7-0. The meeting adjourned at 8:35p.m.



City of Lake Geneva

Department of Public Works

1065 Carey St.

Lake Geneva, WI 53147

262.248.6644

To; Lake Geneva City Council

12 June 2023

From; DPW

Re; Logan St vacate

DPW has had issue with the proposed section of the unimproved Logan St Right of Way for years. The eastern portion between CTH H and Horace St was vacated in the 1980's and given to the Lutheran Church for a parking lot expansion. This action essentially sealed the west portions fate as there is no other form of ingress without scaling a concrete block wall installed by Walworth County in the Right of Way. This wall was to overcome significant grade issues for the sidewalk which leaves the portion of the Logan St. Right of Way unusable by the City.

Significant work is performed by the DPW each year in snow plowing and maintaining the sidewalk along the Right of Way as well as tree work. There remains no access to the property for machines unless we traverse private property as the grade and wall prevent access. Please see attached pictures.

DPW recommends approval of the vacate at this time.

Respectfully submitted;

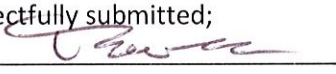

Tom Earle, DPW





EXHIBIT A

BEARINGS ARE
BASED ON THE
WALWORTH COUNTY
COORDINATES SYSTEM.

LEGEND

- = SECTION CORNER MON.
- (R.A.) = RECORDED AS
- = IRON PIPE FOUND
OR MONUMENTATION AS NOTED.
- = 1-1/4" O.D. x 24" LONG.
IRON PIPE SET,
WEIGHING 1.68 LBS./FT.
- P.O.B. = POINT OF BEGINNING
- R.O.W. = RIGHT OF WAY
- ⚡ = PROPERTY CONNECTOR
- ▨ = AREA OF LOGAN STREET RIGHT
OF WAY TO BE DISCONTINUED

PART OF LOGAN STREET RIGHT OF WAY, BLOCK 2, WHEELER ADDITION, LOCATED IN THE SE 1/4 OF
THE NE 1/4 AND THE NE 1/4 OF THE SE 1/4 OF SECTION 26 AND THE NW 1/4 OF THE SW 1/4
AND THE SW 1/4 OF THE NW 1/4 OF SECTION 25, ALL IN TOWNSHIP 2 NORTH, RANGE 17 EAST,
CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN.

LEGAL DESCRIPTION

BEING PART OF THE LOGAN STREET RIGHT OF WAY IN BLOCK 2, WHEELER ADDITION, LOCATED IN THE SOUTHEAST 1/4 OF THE
NORTHEAST 1/4 AND THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 26 AND THE SOUTHWEST 1/4 OF THE NORTHWEST
1/4 AND THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 25, ALL IN TOWNSHIP 2 NORTH, RANGE 17 EAST, CITY OF LAKE
GENEVA, WALWORTH COUNTY, WISCONSIN, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID NORTHWEST 1/4 OF SECTION 25; THENCE NORTH 1°08'14" EAST ALONG THE
WEST LINE OF SAID NORTHWEST 1/4, 27.42 FEET TO THE NORTH LINE OF LOGAN STREET AND THE POINT OF BEGINNING; THENCE
NORTH 89°23'05" EAST ALONG SAID NORTH LINE, 355.56 FEET; THENCE SOUTH 0°36'55" EAST 50.00 FEET TO THE SOUTH LINE OF
LOGAN STREET; THENCE SOUTH 89°23'05" WEST ALONG SAID SOUTH LINE, 585.40 FEET TO THE EAST LINE OF COUNTY ROAD "H";
THENCE NORTH 26°23'25" WEST ALONG SAID EAST LINE, 66.63 FEET TO SAID NORTH LINE OF LOGAN STREET; THENCE NORTH
89°23'05" EAST ALONG SAID NORTH LINE, 258.81 FEET TO THE POINT OF BEGINNING.

FILENAME: C:\Wolworth_Co\John Geneva_City\Gov\220151 2022 Lake Geneva General Engineering\PHSE 01 Logan Street Vacate\Survey\DWG\220151_Pict.dwg

kapur
1224 S. Pine Street
Durlington, Wisconsin 53105
kapurinc.com

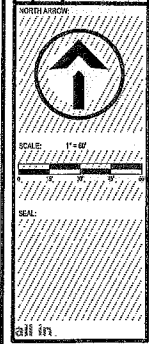
PROJECT:
LOGAN STREET
DISCONTINUANCE

LOCATION:

CITY OF
LAKE GENEVA

RELEASE:

FINAL

[illegible]

SHEET:

EXHIBIT

PROJECT MANAGER:	GRS
PROJECT NUMBER:	22014101
DATE:	6/22/2022

SHEET NUMBER:
1 OF 1

RESOLUTION OF THE COMMON COUNCIL
OF THE CITY OF LAKE GENEVA
TO VACATE AND DISCONTINUE A PORTION OF
LOGAN STREET IN BLOCK 2 OF WHEELER ADDITION

RESOLUTION NO. _____

THE COMMON COUNCIL OF THE CITY OF LAKE GENEVA, being duly convened and meeting in open session, does hereby resolve as follows:

WHEREAS, a portion of Logan Street located north of lots 7, 8, 9, 10, 11, 12, and 13 in Block 2 of WHEELER ADDITION, (depicted on the attached Exhibit A) located in the Southeast $\frac{1}{4}$ of the Northeast $\frac{1}{4}$ and the Northeast $\frac{1}{4}$ of the Southeast $\frac{1}{4}$ of Section 26 and the Southwest $\frac{1}{4}$ of the Northwest $\frac{1}{4}$ and the Northwest $\frac{1}{4}$ of the Southwest $\frac{1}{4}$ of Section 25, all in Township 2 North, Range 17 East, City of Lake Geneva, Walworth County, Wisconsin which is an unimproved public way; and

WHEREAS, pursuant to 66.1003 (4) (a) it is in the public's interest to vacate and discontinue the above-described portion of Logan Street; and

WHEREAS, the above-described portion of Logan Street has never been used as a public right-of-way or public access, and this portion of Logan Street has never been improved or constructed in any way, nor has the City maintained or expended any sums for its improvement or maintenance; and

WHEREAS, no real property will be landlocked or damaged by the vacation and discontinuance of the above-described portion of Logan Street; and

WHEREAS, pursuant to §66.1003(4), *Wis. Stats.*, (2021-22), the City Council has statutory authority to vacate and discontinue the unimproved and unpaved public way.

NOW, THEREFORE BE IT RESOLVED pursuant to §66.1003(4)(a) ,*Wis. Stats.*, the City of Lake Geneva hereby declares it is in the public interest to vacate that certain portion of Logan Street located north of lots 7, 8, 9, 10, 11, 12, and 13 in Block 2 of WHEELER ADDITION, located in the Southeast $\frac{1}{4}$ of the Northeast $\frac{1}{4}$ and the Northeast $\frac{1}{4}$ of the Southeast $\frac{1}{4}$ of Section 26, Town 2 North, Range 17 East in the City of Lake Geneva, Walworth County, Wisconsin and shown on the attached Exhibit A.

BE IT FURTHER RESOLVED that pursuant to §66.1003(4)(b), *Wis. Stats.*, the City of Lake Geneva shall set a public hearing on the vacation and discontinuance of said portion of Logan Street not less than 40 days after the adoption of this resolution.

PASSED AND ADOPTED by the Common Council of the City of Lake Geneva,
Walworth County, Wisconsin, this ____ day of October, 2023.

COMMON COUNCIL, CITY OF LAKE GENEVA

By:

Charlene Klein, Mayor

Attest:

Lana Kropf, City Clerk

APPROVED AS TO FORM:

By:

Daniel Draper, City Attorney

EXHIBIT A

PORTION OF PUBLIC WAY VACATION EXHIBIT

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: November 20, 2023

Agenda Item #7

Applicant:

Basso Builders, Inc.
405 Skyline Dr.
Lake Geneva WI 53147

Request:

Tax Key No. MA 56400002
Concept Review

Description:

Basso Builders is submitting a concept review, which is step 2 of the Planned Development process. Points of discussion and conclusions reached in this stage of the process shall in no way be binding upon the Applicant or the City, but should be considered as informal, nonbinding basis for proceeding to the next step. The preferred procedure is for one or more iterations of Plan Commission review of the concept plan to occur prior to introduction of the formal rezoning petition which accompanies GDP application.

The applicant is proposing eight two-family buildings (16 units) on a property with frontage on both Wells Street and Mobile Street. Each unit contains one one-car garage and one driveway parking space for a total of two parking spaces per unit.

This property is currently in the Town of Bloomfield, and it would need to be annexed into the City of Lake Geneva before zoning approvals could be granted. As surrounding properties are located within the City of Lake Geneva, annexing this property would remove a “town island.”

The property immediately to the north is zoned Planned Business. The property immediately to the south is zoned Multi-family Residential – 8. Properties across Mobile Street are zoned Single Family Residential – 4. Properties across Wells Street are zoned General Business and Planned Development. The Comprehensive Plan recommends the subject property for Neighborhood Mixed Use. Staff feels that two-family residential is an appropriate transition use between commercial to north and multifamily to the south, and it is consistent with the Neighborhood Mixed Use designation in the Comprehensive Plan.

Staff has reviewed the Concept Plan, and the applicant has provided several rounds of revisions in response to staff direction. Staff offers the following additional comments on the concept. Many of these are details that can be addressed in the General Development Plan (GDP) and Precise Implementation Plan (PIP), which are steps 3 and 4 of the Planned Development process.

Staff comments:

- This development should be a connected community with a relationship to the existing homes on Mobile Street and surrounding neighborhood.
- The greenspace and stormwater pond should be designed to be an amenity for residents.

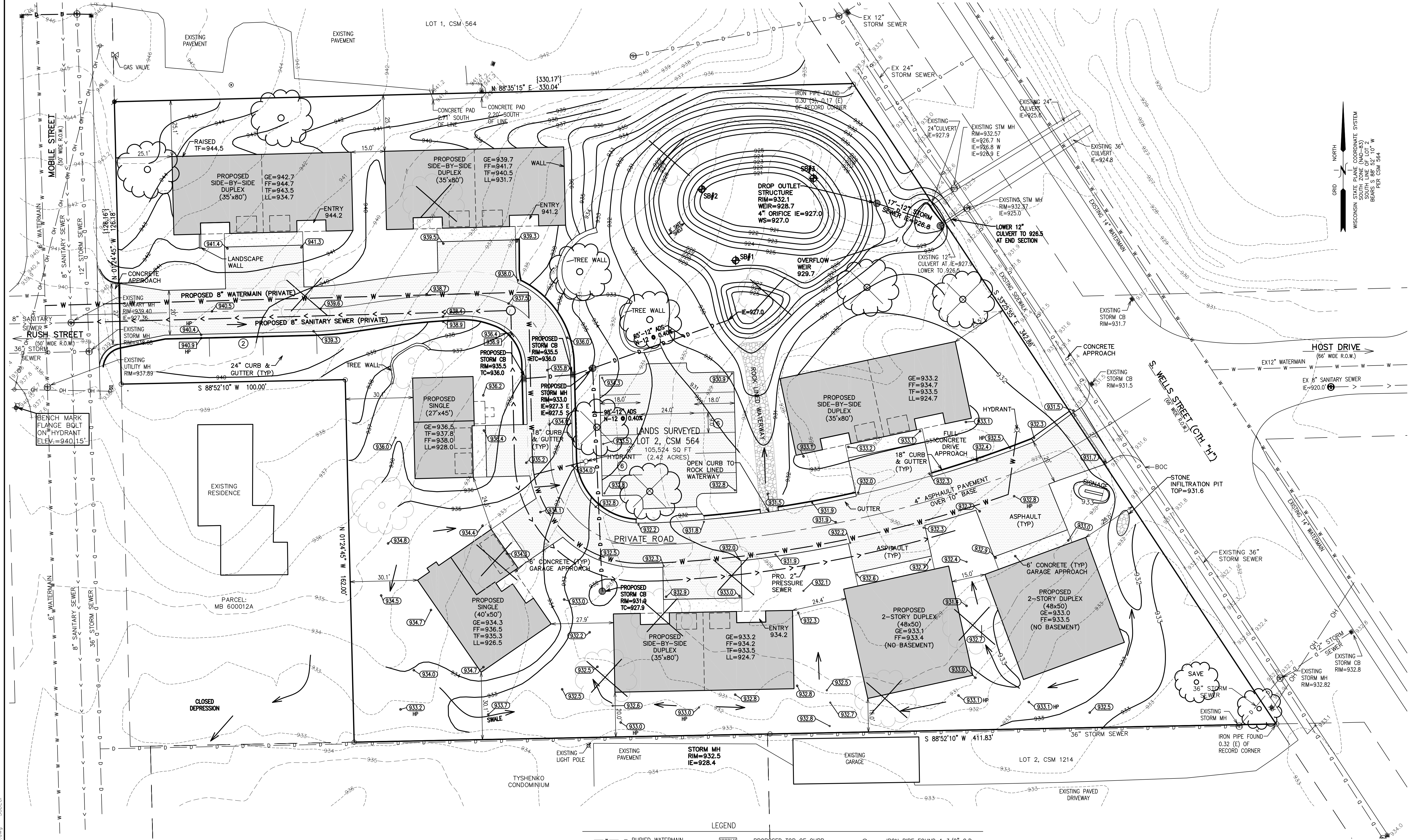
- Ample landscaping and tree replanting will be important to maintain a quality residential environment.
- Guest parking should be designed to ensure adequate space is provided for backing out of parking spaces.
- All units should have pedestrian paths connecting to the public sidewalk.
- The interior drive connects Wells Street and Mobile Street through the site and encourages connectivity and establishes a relationship between this project and the rest of the neighborhood. This connection is curved to designed to discourage cut-through traffic by non-residents. It is narrower than a public street which will naturally slow traffic and discourage cut-through traffic. Additional traffic calming measures such as speed humps could be employed as well.
- Quality exterior building materials and architectural design will be expected.
- The base zoning district is expected to be Two Family Residential – 6 (TR-6). Most TR-6 requirements are met, but applicant will *likely* need flexibility from the TR-6 zoning district for the following:
 - Residential density (proposing 6.6 dwelling units per acre versus maximum density of 6 dwelling units per acre)
 - Rear yard setbacks (proposing 26.8 feet along southwestern property line versus minimum 30 feet required)
 - Minimum dwelling core dimensions (proposing some units with 35x38 feet minimum dimensions versus minimum 24x40 feet required)
 - Minimum dwelling unit separation (proposing 10 feet in some locations versus minimum 12 feet required)

Following input from the Plan Commission, the applicant will prepare a revised Concept Plan, or they can submit a General Development Plan (GDP).

*Jackie Mich, AICP
City Planning Consultant
Vandewalle & Associates*

SITE, GRADING, DRAINAGE & EROSION CONTROL PLAN
LOT 2 OF CERTIFIED SURVEY MAP NO. 564

LOCATED IN PART OF THE NW 1/4 OF THE NW 1/4 OF SECTION 6, TOWN 1 NORTH, RANGE 18 EAST,
TOWN OF BLOOMFIELD, WALWORTH COUNTY, WISCONSIN



AREA SUMMARY

TOTAL LAND AREA 105,524 S.F. 2.42 ACRES
8 BUILDINGS, (6 DUPLEX) - 14 RESIDENTIAL UNITS
DENSITY = 5.8 UNITS/ACRE
TOTAL IMPERVIOUS AREAS (BUILDINGS, WALKS, DRIVES, ETC)
POST-CONSTRUCTION IMPERVIOUS: 40,344 SQ. FT. 38.2%
GREENSPACE: 65,180 SQ. FT. 61.8%
ALL UNITS TO HAVE 2 CAR GARAGES WITH PARKING
SPACES OFF PRIVATE ROAD = 12 CARS

LEGEND

- W--- = BURIED WATERMAIN
- S--- = STORM SEWER
- SS--- = SANITARY SEWER
- G--- = BURIED GAS LINE
- OH--- = OVERHEAD UTILITY WIRES
- X--- = EXISTING DECIDUOUS TREE
- XXX--- = EXISTING GROUND ELEVATION
- XXX--- = EXISTING LAND CONTOURS
- XXXXX = PROPOSED TOP OF CURB
- XXXXX = PROPOSED FINISHED GRADE
- TF = TOP OF FOUNDATION ELEVATION
- FF = FIRST FLOOR ELEVATION
- GE = GARAGE ELEVATION
- LL = LOWER LEVEL ELEVATION
- ⊕ = SOIL BORING
- ▲ = SURVEY CONTROL POINT
- = IRON PIPE FOUND 1 3/8" O.D.
- = IRON REBAR SET 3/4" x 18" x 1.13 lbs/ft
- ⬢ = BENCHMARK
- ⊙ = UTILITY POLE
- {XXX} = RECORDED AS
- = STORM CATCH BASIN
- ⊙ = STORM MANHOLE CATCH BASIN

GRID NORTH
WISCONSIN STATE PLANE COORDINATE SYSTEM
SOUTH ZONE (NAD83)
SOUTH LINE OF LOT 2
BEARS S 88°52'10" W
PER CSM 564

SITE, GRADING, DRAINAGE
AND EROSION CONTROL PLAN
THE LINK OF LAKE GENEVA
LAKE GENEVA, WI 53147

WORK ORDERED BY -
JOSH BASSO, BASSO BUILDERS, INC.
405 SKYLINE DRIVE
LAKE GENEVA, WI 53147

FARRIS, HANSEN & ASSOCIATES, INC.
ENGINEERING - ARCHITECTURE - SURVEYING
7 RIDGWAY COURT P.O. BOX 437
ELKHORN, WISCONSIN 53121
PHONE: (262) 723-2098 e-mail: office@farris-hansen.com

REVISIONS	
08/11/2023 - TS	ADVANCE
8/24/2023 - DHC	ADVANCE, SDCOP
8/28/2023 - DHC	REVISE ROAD ENTRANCE TO WELLS ST
09/14/2023 - TS	ADVANCE
10/12/2023 - TS	ADVANCE
10/16/2023 - TS	ADVANCE
10/26/2023-DHC	SINGLE FAMILY HOMES
11/01/2023 - DHC	30' SETBACKS, WALD & STURGIS PLACED

PROJECT NO.
10886
DATE
6/01/2023
SHEET NO.
1 OF 1

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: November 20, 2023

Agenda Item #8

Current Property Owner:
Ron Amman, RJ Amman Properties
N3219 County Truck Highway H
Lake Geneva, WI 53147

Request:
Zoning Map Designation (Following Annexation)

Description:

The property at N3219 CTH H (Elkhorn Road) is on the northwest end of the City of Lake Geneva. The owner has recently completed the process of annexing into the City. The parcel and general surrounding area are shown in the City's Comprehensive Plan as a potential area for inclusion within the City of Lake Geneva and therefore has a recommended land use of Planned Mixed Use. The current use of the property as office is consistent with the future planned uses in this area.

Action by the Plan Commission:

During the annexation review process, an annexation ordinance may temporarily designate the classification of the annexed area for zoning purposes. The proposed temporary zoning classification is required to be referred to and recommended by the Plan Commission. This property has been assigned temporary zoning of Planned Office (PO) zoning district which best matches the existing office use occurring at the property. The PO Zoning District is also consistent with the future land use recommendation in the Comprehensive Plan.

Any permanent zoning must follow the standard procedures for a zoning map amendment, including a public hearing held by the Plan Commission, noticed by a Class II notice publication. Because only the annexation procedures were followed previously, the applicant must now follow the zoning map amendment steps including the public hearing to formalize the zoning.

Staff Recommendation:

Staff recommends that the Plan Commission pass a motion to recommend *approval* of the use of permanent zoning in the PO (Planned Office) zoning district.

*Sonja Kruesel, AICP
City Planning Consultant
Vandewalle & Associates*

APPLICATION FOR ZONING MAP AMENDMENT

Name of Applicant: Ron Amann / R.I. Amann Properties LLC

Address of Applicant: N3219 Cty Rd H
Lake Geneva, WI 53147

Telephone No. (262) 248-0261

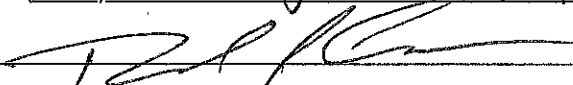
Fax and/or email: () ~~262~~ ron@riamannbuilders.com

Name of Owner: Ron Amann

Address of Owner: N3219 Cty Rd H
Lake Geneva, WI 53147

Telephone No. (262) 749-8341

Fax and/or email: () ron@riamannbuilders.com

Owner Signature: 

Subject property address and/or complete legal description (use attached sheet if necessary):

See attached sheet

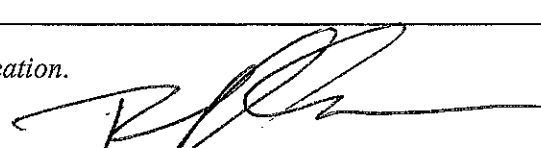
Zoning Classification change from: Walworth County B-2 to City of Lake Geneva NB

Reason for requesting Proposed Amendment: To provide access to
all City Services.

Proposed use of property: Use of 3 unit Office Building and
Proposed Condominium.

Fee of \$400.00 payable upon filing application.

8/17/23
Date


Signature of Applicant

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
AMENDMENT OF OFFICIAL ZONING MAP (Requirements per Section 98-903)**

This form should be used by the Applicant as a guide to submitting a complete application to amend the Official Zoning Map and by the City to process said application. Parts II and III should be used by the Applicant to submit a complete application; Parts I - IV should be used by the City as a guide when processing said application.

I.RECORDATION OF ADMINISTRATIVE PROCEDURES

_____ **Pre-submittal staff meeting scheduled:**

Date of Meeting: _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

Follow-up pre-submittal staff meetings scheduled for:

_____ **Date of Meeting:** _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

_____ **Date of Meeting:** _____ **Time of Meeting:** _____ **Date:** _____ **by:** _____

_____ **Application form filed with Zoning Administrator:** **Date:** _____ **by:** _____

_____ **Application fee of \$ _____ received by Zoning Administrator:** **Date:** _____ **by:** _____

_____ **Reimbursement of professional consultant costs agreement executed:** **Date:** _____ **by:** _____

II.APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 8 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 1 initial draft application packet and 1 digital copy for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (1 Copy and 1 Digital Copy to Zoning Administrator) **Date:** _____ **by:** _____

↓ *Draft Final Packet (8 Copies and 1 Digital Copy to Zoning Administrator)* **Date:** _____ **by:** _____



_____ (a) **A copy of the Current Zoning Map of the subject property and vicinity:**

_____ Showing all lands for which the zoning is proposed to be amended;

_____ Map and all its parts are clearly reproducible with a photocopier;

_____ Map size of 11" by 17" and map scale not less than one inch equals 800 ft;

_____ All lot dimensions of the subject property provided;

_____ Graphic scale and north arrow provided.

_____ (b) **A copy of the Land Use Plan Map of the subject property and vicinity:**

____ (c) **Written justification for the proposed map amendment:**

____ Indicating reasons why the Applicant believes the proposed map amendment is in harmony with the recommendations of the City of Lake Geneva Master Comprehensive Plan, particularly as evidenced by compliance with the standards set out in Section 98-903(4)(c)1.-3. *(See following page.)*

III. JUSTIFICATION OF THE PROPOSED ZONING MAP AMEDMENT

1. How does the proposed Official Zoning Map amendment further the purposes of the Zoning Ordinance as outlined in Section 98-005 (and, for floodplains or wetlands, the applicable rules and regulations of the Wisconsin Department of Natural Resources (DNR) and the Federal Emergency Management Agency (FEMA))?

2. Which of the following factors has arisen that are not properly addressed on the current Official Zoning Map? (Please provide explanation in space below.)

- a. The designations of the Official Zoning Map should be brought into conformity with the Comprehensive Plan;
- b. A mistake was made in mapping on the Official Zoning Map. (That is, an area is developing in a manner and purpose different from that for which it is mapped.) NOTE: If this reason is cited, it must be demonstrated that the discussed inconsistency between actual land use and designated zoning is not intended, as the City may intend to stop an undesirable land use pattern from spreading;
- c. Factors have changed, (such as the availability of new data, the presence of new roads or other infrastructure, additional development, annexation, or other zoning changes), making the subject property more appropriate for a different zoning district;
- d. Growth patterns or rates have changed, thereby creating the need for an Amendment to the Official Zoning Map.

3. How does the proposed amendment to the Official Zoning Map maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

FINAL APPLICATION PACKET INFORMATION

- _____ Receipt of 1 full scale copy in blue/line or black/line
of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____
- _____ Receipt of 8 reduced (8.5" by 11" text and 11" x 17" graphics)
copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____
- _____ A digital copy of Final Application Packet shall be emailed to the
Building and Zoning Department upon submittal deadline. Date: _____ by: _____
- _____ Certification of complete Final Application Packet and
required copies to the Zoning Administrator by City Clerk: Date: _____ by: _____
- _____ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: _____ by: _____
- _____ Class 2 Legal Notice published on _____ and _____ by: _____



TO: Common Council of the City of Lake Geneva

FROM: Ron Amann

SUBJECT: Petition for Annexation

The petitioner, Ron Amann (owner of lands), requests that all of the subject lands be annexed by direct annexation by unanimous approval to the City of Lake Geneva, Walworth County Wisconsin. Said lands are described as follows:

A PARCEL OF LAND LOCATED IN THE NW 1/4 AND THE NE 1/4 OF THE NE 1/4 OF SECTION 26 IN TOWNSHIP 2 NORTH, RANGE 17 EAST, IN TOWN OF GENEVA, WALWORTH COUNTY, WISCONSIN

MORE PARTICULARLY DESCRIBED AS:

LOT 1 OF CSM 549 AS RECORDED IN DOCUMENT# 701551 AS PER THE WALWORTH COUNTY REGISTER OF DEEDS.

ALSO COMMENCING AT THE NORTHERNMOST CORNER OF LOT 1 OF SAID CSM ALSO BEING THE PLACE OF BEGINNING; THENCE ALONG THE WESTERLY RIGHT OF WAY OF COUNTY TRUNK HIGHWAY H ON A CURVE TO THE RIGHT WITH A CHORD BEARING AND LENGTH OF S40°36'01"E 86.03', WITH AN ARC LENGTH OF 86.03' AND A RADIUS OF 4217.28'; THENCE N82°16'31"E 243.38' TO A POINT ON THE EASTERLY RIGHT OF WAY OF SAID HIGHWAY; THENCE N89°44'02"E 36.37' TO THE SOUTHWESTERLY CORNER OF LOT 2 OF CSM 2369 AS RECORDED IN DOCUMENT# 269591 AS PER THE WALWORTH COUNTY REGISTER OF DEEDS; THENCE N25°08'11"W 176.18' ALONG THE NORTHEASTERLY RIGHT OF WAY LINE OF SAID HIGHWAY TO A POINT THAT IS 26.66' NORTHWESTERLY OF THE NORTHWEST CORNER OF LOT 2 OF SAID CSM ; THENCE S76°21'57"W 314.87' TO THE A POINT ON THE WESTERLY RIGHT OF WAY OF SAID HIGHWAY; THENCE S58°57'14"W 194.25'; THENCE N77°30'39"E 218.91' ALONG THE NORTHERLY LINE OF CSM 549 TO THE PLACE OF BEGINNING.

The population of said lands is 0.

Tax ID: JA 54900001

Parcel Area including R/W: 92,133 Sq-ft / 2.11 Ac

Anexee: Town of Geneva

Annexor: City of Lake Geneva

Owner/Petitioner


Ron Amann

6-13-23
Date



TONY EVERS

GOVERNOR

KATHY BLUMENFELD

SECRETARY

Municipal Boundary Review

PO Box 1645, Madison WI 53701

Voice (608) 264-6102 Fax (608) 264-6104

Email: wimunicipalboundaryreview@wi.gov

Web: <http://doa.wi.gov/municipalboundaryreview>

July 12, 2023

PETITION FILE NO. 14600

LANA KROPF, CLERK
CITY OF LAKE GENEVA
626 GENEVA STREET
LAKE GENEVA, WI 53147-1914

DEBRA KIRCH, CLERK
TOWN OF GENEVA
N3496 COMO RD
LAKE GENEVA, WI 53147-2617

Subject: AMANN ANNEXATION

The proposed annexation submitted to our office on June 14, 2023, has been reviewed and found to be in the public interest. In determining whether an annexation is in the public interest, s. 66.0217 (6), Wis. Stats. requires the Department to examine "[t]he shape of the proposed annexation and the homogeneity of the territory with the annexing village or city..." so as, to ensure the resulting boundaries are rational and compact. The statute also requires the Department to consider whether the annexing city or village can provide needed municipal services to the territory. The subject petition is for territory that is reasonably shaped and contiguous to the City of Lake Geneva, which is able to provide needed municipal services.

Note: Per s. 66.0217 (1) Wis. Stats. the entire territory to be annexed should be described by metes and bounds commencing from a monumented corner of the 1/4 section in which the territory lies.

The Department reminds clerks of annexing municipalities of the requirements of s. 66.0217 (9)(a), Wis. Stats., which states:

"The clerk of a city or village which has annexed shall file immediately with the secretary of administration a certified copy of the ordinance, certificate and plat, and shall send one copy to each company that provides any utility service in the area that is annexed. The clerk shall record the ordinance with the register of deeds and file a signed copy of the ordinance with the clerk of any affected school district..."

State and federal aids based on population and equalized value may be significantly affected through failure to file with the Department of Administration. Please file a copy of your annexing ordinance, including a statement certifying the population of the annexed territory. **Please include your MBR number 14600 with your ordinance.** Ordinance filing checklist available at <http://mds.wi.gov/>, click on "Help on How to Submit Municipal Records". Email scanned copy of required materials (color scan maps with color) to mds@wi.gov or mail to: Wisconsin Department of Administration, Municipal Boundary Review, PO Box 1645, Madison WI 53701-1645.

The petition file is available for viewing at: <http://mds.wi.gov/View/Petition?ID=2674>
Please call me at (608) 264-6102, should you have any questions concerning this annexation review.

Sincerely,

Erich Schmidtke, Municipal Boundary Review

cc: petitioner

ANNEXATION MAP

LEGAL DESCRIPTION OF LANDS TO BE ANNEXED:
A PARCEL OF LAND LOCATED IN THE NW 1/4 AND THE NE 1/4 OF THE NE 1/4 OF SECTION 26 IN TOWNSHIP 2 NORTH, RANGE 17 EAST, IN TOWN OF GENEVA, WALWORTH COUNTY, WISCONSIN

MORE PARTICULARLY DESCRIBED AS:
LOT 1 OF CERTIFIED SURVEY MAP #549 AS RECORDED IN DOCUMENT #701551 PER THE WALWORTH COUNTY REGISTER OF DEEDS. ALSO INCLUDING; COMMENCING FROM THE NORTH 1/4 CORNER OF SECTION 26, TOWNSHIP 2 NORTH, RANGE 17 EAST; THENCE S51°35'49"E 1622.30' TO THE PLACE OF BEGINNING; THENCE ALONG THE WESTERLY RIGHT-OF-WAY OF COUNTY TRUNK HIGHWAY H ON A CURVE TO THE RIGHT WITH A CHORD BEARING AND LENGTH OF S40°36'01"E 86.03', WITH AN ARC LENGTH OF 86.03' AND A RADIUS OF 4217.28'; THENCE N82°16'31"E 243.38' TO A POINT ON THE EASTERLY RIGHT OF WAY OF SAID HIGHWAY; THENCE N89°44'02"E 36.37' TO THE SOUTHWESTERLY CORNER OF LOT 2 OF CSM 2369 AS RECORDED IN DOCUMENT# 269591 AS PER THE WALWORTH COUNTY REGISTER OF DEEDS; THENCE N25°08'11"W 176.18' ALONG THE NORTHEASTERLY RIGHT OF WAY LINE OF SAID HIGHWAY TO A POINT THAT IS 26.66' NORTHWESTERLY OF THE NORTHWEST CORNER OF LOT 2 OF SAID CSM ; THENCE S76°21'57"W 314.87' TO THE A POINT ON THE WESTERLY RIGHT OF WAY OF SAID HIGHWAY; THENCE S58°57'14"W 194.25'; THENCE N77°30'39"E 218.91' ALONG THE NORTHERLY LINE OF CSM #549 TO THE PLACE OF BEGINNING.

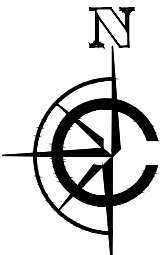
NOTE:
TOTAL ANNEXATION AREA IS 92,132 S.F (2.12 ACRES)

N 1/4 Corner
Sec. 26-2-17
Concrete Mon.
w/ Brass Cap
N: 226,747.29
E: 2,385,036.69

UNPLATTED LANDS
TAX KEY NO. JG 2600007 B

LOT 1
CSM 549
TAX KEY NO. JA5490001

UNPLATTED LANDS
TAX KEY NO. JA 54900001



SCALE: 1" = 60'
SHEET SIZE: 11 x 17

- LEGEND
- FOUND 1" IRON PIPE
 - FOUND IRON ROD
 - FOUND CONC. MONUMENT
 - (xx) RECORDED AS
 - EXISTING MUNICIPAL BOUNDARY

BASIS OF BEARING:
THE WISCONSIN STATE PLANE COORDINATE SYSTEM,
NAD-83, SOUTH ZONE.

THE SOUTHEASTERLY LOT LINE OF LOT 1, CSM #549
ASSUMED TO BEAR N50°47' 00"E.

BUILDING SURVEYED TO:
THE EXTERIOR OF SIDING.

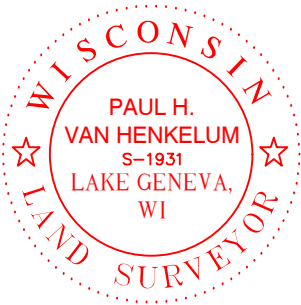
SURVEY ORDERED BY:
RON AMANN

PROPERTY ADDRESS:
N3219 CTY TK H
LAKE GENEVA

FIELD WORK COMPLETED ON:
FEBRUARY 3 , 2022

FIELD CREW CHIEF:
MIKE MELENZIO

SURVEYOR:
PAUL H. VAN HENKELUM, PLS
CARDINAL ENGINEERING LLC



"I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THE MAP IS A TRUE AND CORRECT REPRESENTATION OF ITS EXTERIOR BOUNDARIES AND SHOWS THE SIZE AND LOCATION OF ALL VISIBLE STRUCTURES, APPARENT EASEMENTS AND ENCROACHMENTS, IF ANY.

PAUL H VAN HENKELUM, PLS #1931

DATE



CARDINAL
PLAN | SURVEY | ENGINEER

1200 LA SALLE ST.
LAKE GENEVA, WI 53147
262-757-8776
PLANSURVEYENGINEER.COM

DATE: 06 / 12 / 2023
SHEET 1 OF 1

JOB No. 23308
JDB

MAIN CURVE TABLE							
CURVE NUMBER	LENGTH (FT)	RADIUS (FT)	Δ	CHORD LENGTH	CHORD BEARING	TAN IN	TAN OUT
C1	86.03	4217.28	1°10'08"	86.03	S40° 36' 01"E	S41° 11' 05"E	S40° 00' 57"E
C2	70.92	4217.28	0°57'49"	70.92	N41° 50' 22"W	N42° 19' 17"W	N41° 21' 28"W

PARCEL LINES		
LINE NUMBER	LENGTH (FT)	DIRECTION
L1	36.37	N89° 44' 02"E



PETITION FOR DIRECT ANNEXATION BY UNANIMOUS
CONSENT OF ELECTORS AND PROPERTY OWNERS OF
TERRITORY LOCATED IN THE TOWN OF LYONS
WALWORTH COUNTY, WISCONSIN, TO THE CITY OF LAKE
GENEVA, WALWORTH COUNTY, WISCONSIN
PURSUANT TO WIS. STAT. ' 66.0217(2)

To: Common Council of the City of Lake Geneva,
Walworth County, Wisconsin
c/o Sabrina Waswo, City Clerk
Lake Geneva City Hall
626 Geneva Street
Lake Geneva, Wisconsin 53147

Town Board of the Town of Lyons
Walworth County, Wisconsin
c/o Karla Hill, Town Clerk
1100 Town Hall Road
P.O. Box 337
Lyons, WI 53148

State of Wisconsin Department of Administration
Division of Intergovernmental Relations
Municipal Boundary Review
101 E. Wilson St. – 10th Floor
Madison, WI 53702-0001

THIS PETITION of Avalon Property, LLC as
the owner of record of all of the real property in the territory sought to be annexed, such territory
being more particularly described below, does respectfully state, represent, and show to the
Common Council as follows:

1. Petitioner, whose address is 875 Geneva Parkway is the sole
and only owner of record of the real property in the territory sought to be annexed, such property
being located in Section SE 1/4 of the NE 1/4 of Section 31 Town 2 North, Range 18 East, Lyons Township,
Walworth Country, Wisconsin, and more particularly described in the legal description of the property,
attached hereto as Exhibit A and incorporated herein reference.

2. Petitioner respectfully requests all of the Subject Territory be annexed to
the City of Lake Geneva, Walworth County, Wisconsin.

3. Attached hereto, marked Exhibit B and incorporated herein by reference, is a scale map of the Subject Territory, in accordance with the provisions of Wis. Stat. " 66.0217(2) and 66.0217(5).

4. No electors reside in the Subject Territory sought to be annexed hereunder. The current population of the Subject Territory sought to be annexed hereunder is zero (0).

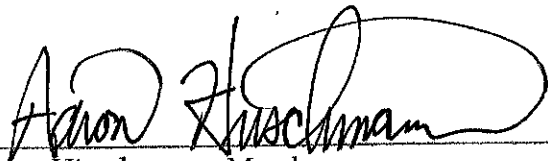
5. Petitioner will cause this Petition, the legal description, and the scale map of the Subject Territory to be annexed to be filed with the City Clerk of the City of Lake Geneva, Walworth County, Wisconsin, the Clerk of the Town of Lyons, Walworth County, Wisconsin, and the State of Wisconsin, Department of Administration, in accordance with the provisions of Wis. Stat. ' 66.0217(2).

6. The petitioner requests the property to be zoned "Planned Industrial Park" pursuant to the City of Lake Geneva Zoning Ordinance.

7. Petitioner requests the City of Lake Geneva adopt an Annexation Ordinance in substantial conformity with Exhibit AC,@ attached hereto and incorporated herein by reference.

8. Petitioner believes this Petition and the Subject Territory sought to be annexed hereunder meet all legal requirements for annexation, and that such annexation is in the public interest.

Dated this 20 day of December. 2021



Aaron Hirschmann, Member
Avalon Property, LLC

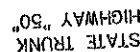
EXHIBIT A

LEGAL DESCRIPTION — LANDS CURRENTLY PART OF THE TOWN OF LYONS TO BECOME PART OF THE CITY OF LAKE GENEVA

PART OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 31, TOWN 2 NORTH, RANGE 18 EAST, WALWORTH COUNTY, WISCONSIN, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT AN IRON PIPE STAKE FOUND MARKING THE WESTERLY-MOST CORNER OF OUTLOT 2 OF LAKE GENEVA BUSINESS PARK, A SUBDIVISION; THENCE ALONG THE BOUNDARY BETWEEN SAID OUTLOT 2 AND LOT 10 OF SAID SUBDIVISION, 75.29 FEET ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 60.00 FEET AND A CHORD WHICH BEARS N 70DEG 56MIN 53SEC E, 70.45 FEET TO AN IRON PIPE STAKE; THENCE CONTINUE ALONG SAID BOUNDARY, N 35DEG 00MIN 51SEC E, 107.55 FEET TO AN IRON PIPE STAKE; THENCE ALONG THE BOUNDARY OF SAID OUTLOT 2, S 00DEG 58MIN 47SEC E, 45.64 FEET; THENCE CONTINUE ALONG THE BOUNDARY OF SAID OUTLOT 2, N 89DEG 52MIN 09SEC E, 10.06 FEET TO THE POINT OF BEGINNING; THENCE N 00DEG 57MIN 52SEC W, 877.78 FEET TO THE SOUTHERLY RIGHT OF WAY BOUNDARY OF U.S. HIGHWAY "12"; THENCE ALONG SAID HIGHWAY, S 82DEG 36MIN 15SEC E, 20.21 FEET TO AN IRON REBAR STAKE; THENCE S 00DEG 57MIN 52SEC E, 875.14 FEET TO AN IRON REBAR STAKE FOUND MARKING A POINT ALONG THE NORTHERLY BOUNDARY OF SAID OUTLOT 2; THENCE ALONG THE BOUNDARY OF SAID OUTLOT 2, S 89DEG 52MIN 09SEC W, 20.00 FEET TO THE POINT OF BEGINNING.

PART OF THE SE 1/4 OF THE NE 1/4 OF SECTION 31, TOWN 2 NORTH
RANGE 18 EAST, WALWORTH COUNTY, WISCONSIN



RAMPS TO AND FROM EASTBOUND U.S. HIGHWAY "12"

L1: N 03°58'47" W 45.84'

MUNICIPALITY LEGEND

LEGAL DESCRIPTION -- LANDS CURRENTLY PART OF THE TOWN OF LYONS TO BECOME PART OF THE CITY OF LAKE GENEVA

[illegible]

FARRIS, HANSEN & ASSOCIATES, INC.
ENGINEERING -- ARCHITECTURE -- SURVEYING
7 RIDGWAY COURT P.O. BOX 437
ELKHORN, WISCONSIN 53121
OFFICE: (262) 723-2098 FAX: (262) 723-8880

- WORK ORDERED BY -
AVALON PROPERTY LLC
875 GENEVA PKWY NORTH
LAKE GENEVA, WI 53147

ANNEXATION

TOWN OF LYONS TO CITY OF LAKE GENEVA,
WALWORTH COUNTY, WISCONSIN

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: November 20, 2023

Agenda Item #

Applicant:

James E. Willet
14628 John Humphrey Drive
Orland Park, IL 60462

Request:

1320 W, Main Street
Proposed Conditional Use Permit for a building
addition utilizing SR-4 zoning district
requirements in the ER-1 zoning district

Description:

The applicant is submitting a proposal for a Conditional Use Permit (CUP) to utilize the Single-Family Residential SR-4 zoning district requirements for an addition to an existing single-family home at the property located at 1320 W. Main Street. The property is located in the Estate Residential ER-1 zoning district and is seeking use of certain SR-4 zoning standards, per Section 98-407(3). All surrounding properties are also zoned ER-1.

On the west wing of the home, proposed changes include a new second floor addition over the existing garage and an addition for a new garage and carport. On the east wing of the home, the proposed changes include an addition to accommodate a new first-floor bathroom. Additionally, the project involves an expansion of the paved parking area and widening of the driveway as it approaches the garage and house. The submittal includes draft easements for sanitary sewer and the Geneva Lake Shore Path. Staff has suggested a condition of approval to submit a final, recorded survey showing the shore path easement.

Staff Review:

The project will result in a 72.4% landscaped area across the site, complying with the minimum Landscape Surface Ratio of 60% established for the ER-1 Zoning District. Although the project meets the minimum Landscape Surface Ratio, it results in a net increase of impervious surface area, which requires a stormwater study.

The proposed building additions maintain the house's existing side setbacks. Front and rear setbacks continue to be met.

The proposed project seeks the use of the following SR-4 Zoning District Standards:

- Side lot line setback: The project proposes a side lot line setback of approximately 10 feet, which does not meet the standards of the ER-1 Zoning District (30 feet) but complies with the minimum side yard setback of 6 feet and combined 15 feet in the SR-4 District.

- Minimum dwelling unit separation: The project does not meet the minimum 60-foot separation between dwelling units established by the ER-1 Zoning District, but it does meet the minimum 12 feet of separation established by the SR-4 District.

In sum, the proposed use complies with all applicable requirements of Section 98-206(1) pertaining to Residential land uses, Table 98-402: Residential Bulk Standards, and the requirements of Section 98-407(3) pertaining to the use of SR-4 Zoning Standards in the ER-1 Zoning District.

Action by the Plan Commission:

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUP; and,
- Provide specific suggested *requirements/conditions* to modify the project as submitted.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
 1. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
1. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed conditional use is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation:

1. Staff recommends that the Plan Commission recommend approval of the proposed conditional use as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.
3. Staff recommends the following *additional condition of approval* be attached:
 - a. The applicant shall dedicate a pedestrian easement for the Geneva Lake Shore Path for every portion of the Shore Path corridor located on the subject property, per the review and approval of the City Attorney. Upon the proof of recording of the City-approved easement by the property owner, the Zoning Administrator may issue the Conditional Use Permit.

Suggested Motions:

- *Approve:* I recommend approval of the proposed *Conditional Use Permit for James E. Willet, 14628 John Humphrey Dr., Orland Park, IL, for the proposed use of the SR-4 zoning standards in the ER-1 Zoning District per Section 98-407(3) for an addition to single-family residence at the property located at 1320 W. Main Street in the ER-1 Zoning District*, including the affirmative set of findings, and any additional conditions of approval recommended by staff.

- *Deny: I recommend denial of the Conditional Use Permit for James E. Willet, 14628 John Humphrey Dr., Orland Park, IL, for the proposed use of the SR-4 zoning standards in the ER-1 Zoning District per Section 98-407(3) for an addition to single-family residence at the property located at 1320 W. Main Street in the ER-1 Zoning District, including the affirmative set of findings, and any additional conditions of approval recommended by staff, because [provide rationale for denial, based on substantial evidence].*

*Jackie Mich, AICP
City Planning Consultant
Vandewalle & Associates*

APPLICATION FOR CONDITIONAL USE

City of Lake Geneva

Site Address/Parcel No. and full Legal Description required (attach separate sheet if necessary):

1220 W. MAIN ST., LAKE GENEVA, WI 53147
TAX PARCEL NO. ZYUR 00094H

Name and Address of Current Owner: JAMES E. VILLET TRUST /
KATHRYN A. VILLET TRUST, 14628 JOHN HUMPHREY DRIVE,
ORLAND PARK, IL 60462

Telephone No. with area code & Email of Current Owner: (708) 267-4150

jkcac@comcast.net

X Owner Signature:

Name and Address of Applicant:

JAMES E. VILLET
14628 JOHN HUMPHREY DRIVE, ORLAND PARK, IL 60462

Telephone No. with area code & Email of Applicant: (708) 267-4150

jkcac@comcast.net

Proposed Conditional Use: THE OWNER WISHES TO CONSTRUCT A
NEW SECOND FLOOR AND NEW GARAGE ADDITION IN THE WEST
WING OF THE EXISTING HOUSE AND A NEW BATHROOM ADDITION IN THE
EAST WING USING SR-4 SINGLE FAMILY ZONING SETBACKS.
Zoning District in which land is located: ER-1/ESTATE RESIDENTIAL DISTRICT.

Names and Addresses of architect, professional engineer and contractor of project: LAKE GENEVA, WI.
McCORMACK + ETTEN ARCHITECTS, 400 DRAID ST. 53147
WYN TREE CONSTRUCTION, 7170 MADAIUS ST., LAKE GENEVA, WI 53147

Short statement describing activities to take place on site:

THE OWNERS WISH TO ADD A NEW SECOND FLOOR ADDITION
OVER THE EXISTING GARAGE AND ADD A NEW GARAGE AND
CARPORT IN THE WEST WING OF THE EXISTING HOUSE AND ADD
A NEW FIRST FLOOR BATHROOM IN THE EAST WING OF THE HOUSE.

Conditional Use Fee payable upon filing application: \$400.00 [\$100.00 for Application Under Sec. 98-407(3)]

X Date

10/4/23

Signature of Applicant

[Signature]

JAMES WILLETT 1320 W. MAIN ST.
LAKE GENEVA, WI Cost Recovery # _____
Petitioner Name Project Address 53147

OFFICE USE ONLY Description of Request _____

Agreement for Services

REIMBURSABLE BY THE PETITIONER / APPLICANT. The city may retain the services of the professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposals coming before the Plan commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any financing charges that may accrue. The City applies the charges for these services to the Petitioner. The City Administrator at any time may require an applicant to submit an advance deposit of \$500 to \$5,000 depending on the complexity and anticipated involvement of the City's consultants or continuing advance deposits against future billings by the City for recovery of costs provide by this ordinance 98-935(4). An advanced deposit shall be required for the application related to Extraterritorial matters. Surplus deposits shall be returned to the Applicant at the conclusion of the project.

JAMES E. WILLETT, as applicant/petitioner for
Project: NEW ADDITIONS & ALTERATIONS TO EXISTING HOUSE
Project Address: 1320 W. MAIN ST. LAKE GENEVA, WI 53147
Parcel No. PARCEL NO. ZYUP 00094 H
Name: JAMES E. WILLETT
Address: 14628 JOHN HUMPHREY DRIVE, ORLAND PARK, IL
60462

Cell Phone: 708 - 267 - 4150 Phone: () - -

Email: jkcae@comcast.net

Dated this _____ Day of _____, 20____

JAMES E. WILLETT

Printed Name of Applicant / Petitioner

X [Signature]
Signature of Applicant/Petitioner

Applicant/Petitioner agrees that in addition to those normal costs payable by an applicant/petitioner (e.g., filing or permit fees, publication expenses, recording fees, etc.), that in the event the action applied or petitioned for requires the City of Lake Geneva, in the judgment of its staff, to obtain additional professional service(s), (e.g., engineering, surveying, planning, legal) than would be routinely available "in house" to enable the City to properly address, take appropriate action on, or determine the same, applicant/petitioner shall reimburse the City for the costs thereof

Section 98-935 Fees:

(1) Fees for Procedures or Permits Requested by a Private Party: The fees for the procedures and permits established by this Chapter shall be established by resolution of the Common Council of the City of Lake Geneva

(2) Fees for Procedures Requested by the City of Lake Geneva: There shall be no fee in the case of applications filed in the public interest by the Common Council or the Plan Commission, other agency, or official of the City of Lake Geneva.

(3) Payment of Fees: Fees shall be payable at the time applications are filed with the appropriate officer of the City (per the requirements of this Chapter), and are not refundable.

(4) Professional Consultant Review Services: The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposal coming before the Plan Commission. The City may apply the charges for these services to the Petitioner. The City will require the Petitioner to sign a professional consultant review services form. The City Administrator at any time may require an applicant to submit an advance deposit of **\$500 to \$5,000 depending on the complexity and anticipated involvement of the City's consultants** or continuing advance deposits against future billings by the City for recovery of costs provide by this ordinance 98-935(4). **An advanced deposit shall be required for the application related to Extraterritorial matters.** The City may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until such fees are paid by the Petitioner. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal. Review fees which are applied to a Petitioner, but which are not paid, may be assigned by the City as a special assessment to the subject property.

CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
CONDITIONAL USE REVIEW AND APPROVAL (Requirements per Section 98-905)

This form should be used by the Applicant as a guide to submitting a complete application for a conditional use and by the City to process said application. Parts II and III should be used by the Applicant to submit a complete application; Parts I - IV should be used by the City as a guide when processing said application.

I. RECORDATION OF ADMINISTRATIVE PROCEDURES

Pre-submittal staff meeting scheduled:

Date of Meeting:Time of Meeting:Date:by:

Follow-up pre-submittal staff meetings scheduled for:

Date of Meeting:Time of Meeting:Date:by:

Date of Meeting:Time of Meeting:Date:by:

Date of Meeting:Time of Meeting:Date:by:

Date of Meeting:Time of Meeting:Date:by:

Application form filed with Zoning Administrator:Date:by:

Application fee of \$ received by Zoning Administrator:Date:by:

Reimbursement of professional consultant costs agreement executed:Date:by:

II. APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 8 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 1 initial draft application packet and 1 digital copy for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (1 Copy and 1 Digital Copy to Zoning Administrator)

↓

Draft Final Packet (8 Copies and 1 Digital Copy to Zoning Administrator)

↓

Date:by:

Date:by:

X

(a) A map of the proposed conditional use:

Showing all lands for which the conditional use is proposed;

Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;

Map and all its parts are clearly reproducible with a photocopier;

Map size of 11" by 17" and map scale not less than one inch equals 800 ft;

All lot dimensions of the subject property provided;

Graphic scale and north arrow provided.

X

(b) A map, such as the Land Use Plan Map, of the generalized location of the subject property in relation to the City as a whole:

X

(c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations;

Page 34 of 69

X _____ (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.

X _____ (e) Written justification for the proposed conditional use:
_____ Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. (See below)

III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?
SEE ATTACHED
2. How is the proposed conditional use, in its specific location, in harmony with the purposed, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?
SEE ATTACHED
3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?
SEE ATTACHED
4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?
SEE ATTACHED

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

SEE ATTACHED

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

SEE ATTACHED

IV. FINAL APPLICATION PACKET INFORMATION

____ Receipt of 1 full scale copy in blue/line or black/line of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ Receipt of 8 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ A digital copy of Final Application Packet shall be emailed to the Building and Zoning Department upon submittal deadline. Date: _____ by: _____

____ Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice published on _____ and _____ by: _____

____ Conditional Use recorded with the County Register of Deeds Office: Date: _____ by: _____

CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
SITE PLAN REVIEW AND APPROVAL (Requirements per Section 98-908)

This form should be used by the Applicant as a guide to submitting a complete application for a site plan review and by the City to process said application. Part II should be used by the Applicant to submit a complete application; Parts I - III should be used by the City as a guide when processing said application.

I. RECORDATION OF ADMINISTRATIVE PROCEDURES

Pre-submittal staff meeting scheduled:

Date of Meeting:Time of Meeting:Date:by:

Follow-up pre-submittal staff meetings scheduled for:

Date of Meeting:Time of Meeting:Date:by:

Date of Meeting:Time of Meeting:Date:by:

Date of Meeting:Time of Meeting:Date:by:

Date of Meeting:Time of Meeting:Date:by:

Application form filed with Zoning Administrator:Date:by:

Application fee of \$ received by Zoning Administrator:Date:by:

Reimbursement of professional consultant costs agreement executed:Date:by:

II. APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 8 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 1 initial draft application packet and 1 digital copy for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (1 Copy and 1 Digital Copy to Zoning Administrator)

↓

Draft Final Packet (8 Copies and 1 Digital Copy to Zoning Administrator)

↓

Date:by:

Date:by:

X

(a) A written description of the intended use describing in reasonable detail the:

Existing zoning district(s) (and proposed zoning district(s) if different);

Land use plan map designation(s);

Current land uses present on the subject property;

Proposed land uses for the subject property (per Section 98-206);

Projected number of residents, employees, and daily customers;

Proposed amount of dwelling units, floor area, impervious surface area, and landscape surface area, and resulting site density, floor area ratio, impervious surface area ratio, and landscape surface area ratio;

Operational considerations relating to hours of operation, projected normal and peak water usage, sanitary sewer or septic loadings, and traffic generation;

Page 37 of 69

- ____ Operational considerations relating to potential nuisance creation pertaining to noncompliance with the performance standards addressed in Article VII (Sections 98-701-98-721) including: street access, traffic visibility, parking, loading, exterior storage, exterior lighting, vibration, noise, air pollution, odor, electromagnetic radiation, glare and heat, fire and explosion, toxic or noxious materials, waste materials, drainage, and hazardous materials;
- ____ If no nuisances will be created (as indicated by complete and continuous compliance with the provisions of Article VII), then include the statement "The proposed development shall comply with all requirements of Article VII.";
- ____ Exterior building and fencing materials (Sections 98-718 and 98-720);
- ____ Possible future expansion and related implications for points above;
- ____ Any other information pertinent to adequate understanding by the Plan Commission of the intended use and its relation to nearby properties.

X ____ (b) **A Small Location Map** at 11" x 17" showing the subject property, all properties within 300 feet, and illustrating its relationship to the nearest street intersection. (A photocopy of the pertinent section of the City's Official Zoning Map with the subject property clearly indicated shall suffice to meet this requirement.)

X ____ (c) **A Property Site Plan drawing which includes:**

- ____ A title block which indicates the name, address and phone/fax number(s) of the current property owner and/or agent(s) (developer, architect, engineer, planner) for project;
- ____ The date of the original plan and the latest date of revision to the plan;
- ____ A north arrow and a graphic scale (not smaller than one inch equals 100 feet);
- ____ A reduction of the drawing at 11" x 17";
- ____ A legal description of the subject property;
- ____ All property lines and existing and proposed right-of-way lines with bearings and dimensions clearly labeled;
- ____ All existing and proposed easement lines and dimensions with a key provided and explained on the margins of the plan as to ownership and purpose;
- ____ All required building setback lines;
- ____ All existing and proposed buildings, structures, and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities, and walls;
- ____ The location and dimension (cross-section and entry throat) of all access points onto public streets;
- ____ The location and dimension of all on-site parking (and off-site parking provisions if they are to be employed), including a summary of the number of parking stalls provided versus required by the Ordinance;
- ____ The location and dimension of all loading and service areas on the subject property and labels indicating the dimension of such areas;
- ____ The location of all outdoor storage areas and the design of all screening devices;
- ____ The location, type, height, size and lighting of all signage on the subject property to include a photometric plan;
- ____ The location, height, design/type, illumination power and orientation of all exterior lighting on the subject property -- including the clear demonstration of compliance with Section 98-707;
- ____ All engineering requirements for utilities, site designs, etc;
- ____ The location and type of any permanently protected green space areas;
- ____ The location of existing and proposed drainage facilities for storm water;

- ___ In the legend, data for the subject property on:
 - ___ Lot Area;
 - ___ Floor Area;
 - ___ Floor Area Ratio (b/a);
 - ___ Impervious Surface Area;
 - ___ Impervious Surface Ratio (d/a);
 - ___ Building Height.

- ___ (d) **A Detailed Landscaping Plan of the subject property:**
 - ___ Scale same as main plan (> or equal to 1" equals 100')
 - ___ Map reduction at 11" x 17"
 - ___ Showing the location of all required buffer yard and landscaping areas
 - ___ Showing existing and proposed Landscape Point fencing
 - ___ Showing berm options for meeting said requirements
 - ___ Demonstrating complete compliance with the requirements of Article VI
 - ___ Providing individual plant locations and species, fencing types and heights, and berm heights;

- ___ (e) **A Grading and Erosion Control Plan:**
 - ___ Same scale as the main plan (> or equal to 1" equals 100')
 - ___ Map reduction at 11" x 17")
 - ___ Showing existing and proposed grades including retention walls and related devices, and erosion control measures.

- X ___ (f) **Elevation Drawings of proposed buildings or remodeling of existing buildings:**
 - ___ Showing finished exterior treatment;
 - ___ With adequate labels provided to clearly depict exterior materials, texture, color and overall appearance;
 - ___ Perspective renderings of the proposed project and/or photos of similar structures may be submitted, but not in lieu of adequate drawings showing the actual intended appearance of the buildings.

NOTE: Initiation of Land Use or Development Activity: Absolutely no land use or development activity, including site clearing, grubbing, or grading shall occur on the subject property prior to the approval of the required site plan. Any such activity prior to such approval shall be a violation of law and shall be subject to all applicable enforcement mechanisms and penalties.

NOTE: Modification of an Approved Site Plan: Any and all variation between development and/or land use activity on the subject property and the approved site plan is a violation of law. An approved site plan shall be revised and approved via the procedures of Subsections 98-908(2) and (4) so as to clearly and completely depict any and all proposed modifications to the previously approved site plan, prior to the initiation of said modifications.

III.FINAL APPLICATION PACKET INFORMATION

- ___ Receipt of 1 full scale copy in blueline or blackline of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____
- ___ Receipt of 8 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____
- ___ A digital copy of Final Application Packet shall be emailed to the Building and Zoning Department upon submittal deadline. Date: _____ by: _____

Development Review Committee (DRC) Application

Complete as much detailed information as possible to allow for a comprehensive departmental review prior to a Development Review Committee meeting. This application must be returned to the Building Inspector, with all conceptual plans, designs and other information prior to the scheduling a DRC meeting.

Applicant Information

Property Address 1320 W. MAIN ST., LAKE GENEVA, WI 53147
Applicant name JAMES E. VILLET
Applicant email jkcae@comcast.net Phone Number (708) 267-4150
Architect/Contractor/Designer Name McLOMACK + ETTE ARCHITECTS
Architect/Contractor/Designer Email kenemacmack@etten.com Phone Number (262) 248-8391 EXT. 12
Type of Construction: New Addition X Remodel
Type of Development: Single-family X Multi-family Commercial Industrial
Type of Business N/A

Engineering

Site Plans should include the following: Project title and owner’s/developer’s name and address noted, architect’s and/or engineer’s name and address noted, property boundaries and dimensions, abutting property zoning classifications, general description of building materials, façade and roof detail, setback lines indicated, easements for access, if any, 100-year floodplain identification, existing and proposed topography shown at a contour interval of one foot, indicating proposed grade and location of improvements, signage and outdoor lighting, number of parking spaces provided, type, size and location of all structures with all building dimensions shown, location of existing and general location of proposed sanitary sewers, storm sewers, water-mains, and any proposed stormwater management facilities, location, extent and type of proposed landscaping and landscaping plantings and buffers to adjacent property, including fencing or other screening, location of pedestrian sidewalks and walkways, graphic outline of any development staging that is planned, driveway locations and sizes, handicap accessibility, environmental concerns (odor, smoke, noise, graphic scale and north arrow.

- Storm water management provisions provided? YES / NO
 - As-built/certification notification
- Erosion control plan provided? YES / NO
- Wetlands, floodplains, environmental corridors, groundwater Identified. YES / NO
- Utility Plans Provided
 - Watermain
 - Sanitary Sewer
 - Storm Water
- Is a Land Division required? YES / NO
- Access points and dimensions shown? YES / NO
 - WISDOT Right-of-way?
 - County Right-of-way?
- Estimated Traffic impacts
 - Traffic Study Required YES/NO
 - Traffic Control Plan Required YES/NO
 - Will construction affect street parking or intersections? YES / NO

- Paving Materials, Typical Sections? YES / NO
- WDNR Notice of Intent required? (Land disturbance more than 1 acre)? YES / NO
- Watermain extension required? YES / NO
- Sanitary sewer extension required? YES / NO
- SEWRPC Service Area Amendment needed? YES / NO
- Is a Chapter 30 Permit (wetland/waterway) required? YES / NO
- Proposed building/expansion dimensions _____
- Will there be signage? YES / NO type (mounted, freestanding) _____
- Exterior lighting plans? YES / NO
- What kind of noise or level of noise will the business have? _____
- Detailed property Site Plan? YES / NO Date of Plan: _____
- Green Space Calculations (Existing vs. Proposed) YES / NO
- Are landscape plans provided? YES / NO
- Is a Land Division required? YES / NO

Water/Sewer Utilities

If an existing structure please circle the following:

- Will existing sewer & water connections be used? YES / NO
- Will your project require the installation of a grease interceptor? YES / NO

If the development is Commercial or Industrial, please provide the following:

- Water service size requirement _____
- Estimated daily water usage in gallons per day _____
- Estimated maximum water flow in gallons per minute _____
- Number of bathrooms _____
- Brief description of process (if Industrial) _____

If the development is a multi-family dwelling, please provide the following:

- Number of units _____
- Number of bedrooms in each unit _____
- Water service size requirement _____

October 4, 2023

Mr. Fred Walling
Building Inspector / Zoning Administrator
City of Lake Geneva
626 Geneva Street
Lake Geneva, WI 53147

*Re: APPLICATION FOR AMENDMENT TO EXISTING CONDITIONAL USE
FOR PROPOSED ADDITIONS & ALTERATIONS TO EXISTING
RESIDENCE FOR
MR. & MRS. JAMES WILLETT
1320 W. MAIN STREET
LAKE GENEVA, WISCONSIN*

Dear Mr. Walling and Members of the Plan Commission,

Kathi & Jim Willett own the Home at 1320 W. Main Street in the City of Lake Geneva and wish to construct a *New Second Floor Addition & a New Attached Two Car Garage Addition* on the west their Existing House.

The subject property is a lakefront lot and is located several lots to the west of the west end of Library Park. The tax key number is ZYUP-00094H. The lot is 91.02' wide at the street (north) lot line, 71.33' wide at the lake (south) lot line, 443.24' long on the west lot line, and 421.28' long on the east lot line. *Under the Lake Geneva Zoning Ordinance, the property is zoned ER-1, Estate Residential District.* This lot is substandard under the bulk requirements of the ER-1 District in that the lot width is only an average of 81.175' wide and the lot area is approximately 35,088 square feet.

Under the Lake Geneva Zoning Ordinance Section 98.407 "Substandard Lot Regulations", subparagraph 98.407(3) existing Single Family residences on legal substandard lots within the ER-1 zoning district can be remodeled as a Conditional Use using the lot width, lot frontage and setback requirements of the SR-4 Zoning District. The SR-4 Zoning District allows for a minimum lot area of 9,000 square feet, a minimum lot width of 75', a minimum street frontage of 50', street setback of 40', rear lot line setback of 30', and side lot line setback of 6' minimum with a total combined sideyard setback of 15'. In addition, there is a deed restriction on the property commonly referred to as the "*Biagi setback*" which calls for a 10' minimum side lot line setback and a shoreline setback roughly running east and west just south of the southern most point of the House. *The proposed addition and remodeling would be within the footprint of the Existing House and meet both the City setback requirements as well as the Biagi setbacks. The Willetts were previously*

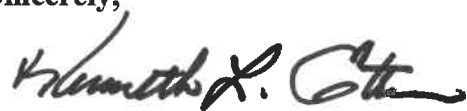
granted a Conditional Use for this property and now wish to amend that Conditional Use to accommodate their new project.

Included within this packet are the following:

- *Application for the Amended Conditional Use and required fee.*
- *Lake Geneva Land Use Map showing generalized location of subject property.*
- *Copy of Lake Geneva Zoning Map showing location of subject property, zoning district and lands within 300' of property.*
- *Copy of Survey of Subject Property showing graphic scale, north arrow, all lot dimensions and setbacks for Accessory Structures requirements.*
- *Written Justification of the proposed Amended Conditional Use.*
- *Prints of the Preliminary Floor Plans and Elevations of the proposed structure.*

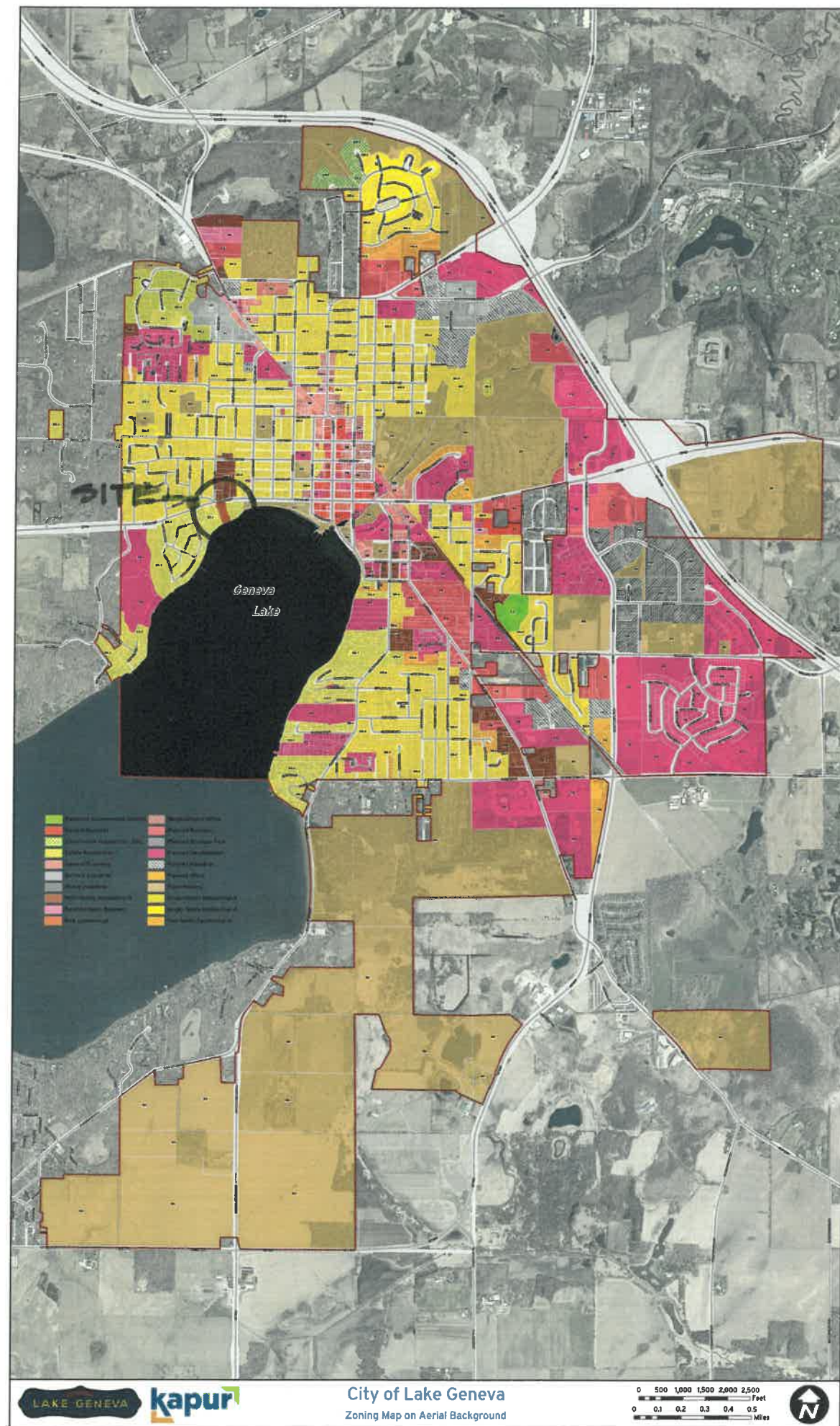
Thank you for your consideration of our project. Please let me know if you need additional information or have any questions.

Sincerely,



Kenneth L. Etten
McCormack + Etten / Architects

A. MAP OF PROPOSED CONDITIONAL USE



B. GENERALIZED LOCATION OF SUBJECT SITE



Legal Landscape

WALWORTH COUNTY, WISCONSIN



Author:

Map Produced on: 10/4/2023

Wisconsin State Plane Coordinate System, South Zone
Horizontal Datum: NAD83-2011

Walworth County Information Technology Department
Land Information Division

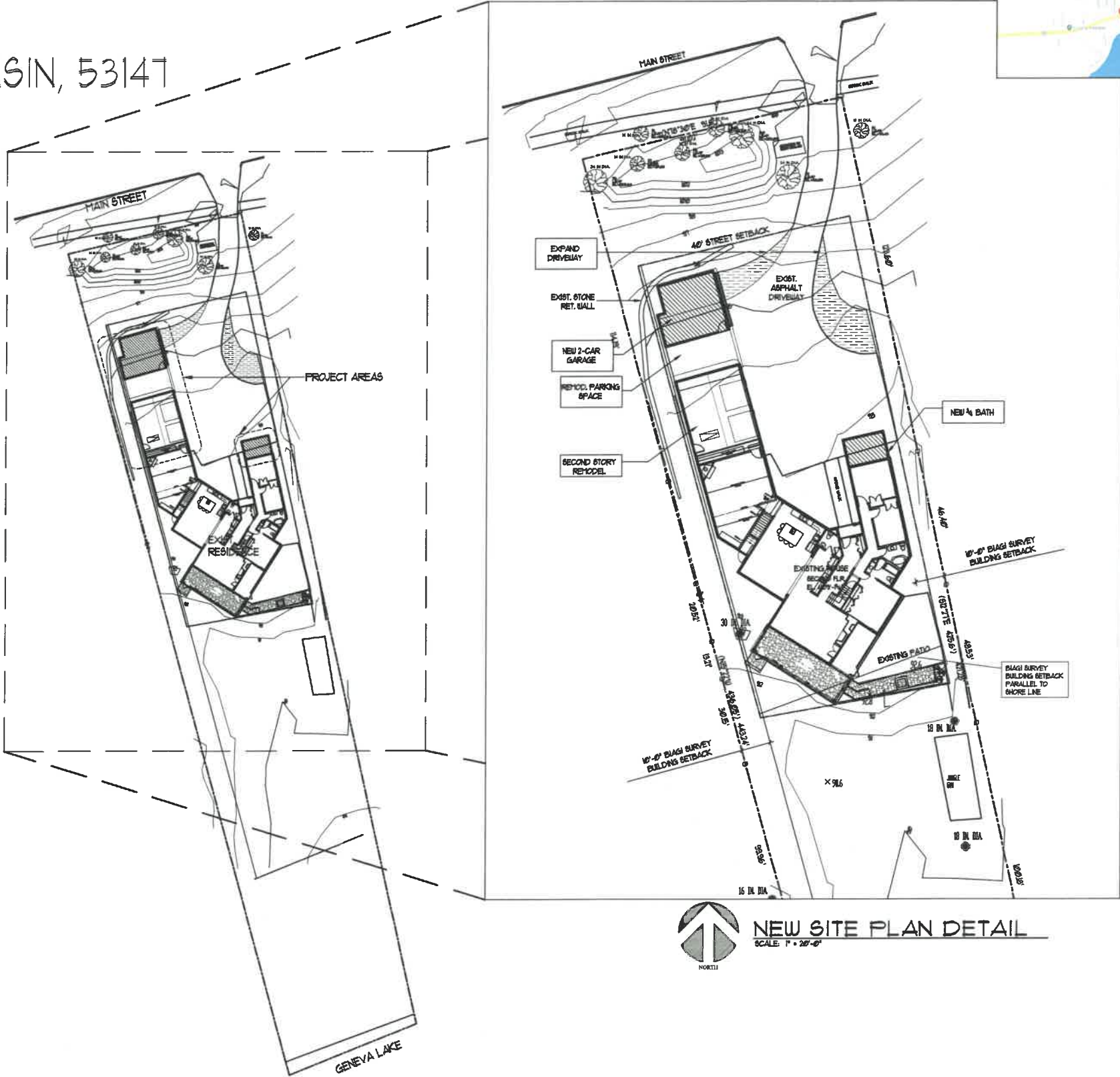
1800 County Trunk N
Elkhorn, Wisconsin 53121-1001

DISCLAIMER: THE INFORMATION PROVIDED ON THIS MAP HAS BEEN PRODUCED AND PROCESSED FROM SOURCES BELIEVED TO BE RELIABLE, HOWEVER, NO WARRANTY, EXPRESS OR IMPLIED, IS MADE REGARDING ACCURACY, ADEQUACY, COMPLETENESS, LEGALITY, RELIABILITY OR USEFULNESS OF THIS INFORMATION FOR THE INFORMATION CONTAINED HEREIN WILL NOT BE ACCEPTED AS A NOTARIAL DOCUMENT.



C. SITE PLAN

ADDITIONS AND ALTERATIONS FOR:
JIM & KATHI WILLETT
1320 MAIN STREET
LAKE GENEVA, WISCONSIN, 53147



 **NEW SITE PLAN DETAIL**
SCALE: 1" = 20'-0"



LOCATION MAP
SCALE: NO SCALE

 **NEW SITE PLAN**
SCALE: 1" = 30'-0"

SHEET INDEX:	
NO.	DESCRIPTION
T1	TITLE SHEET: SITE PLAN & LOCATION MAP
AB1	EXISTING FLOOR PLANS
AB2	EXISTING ELEVATIONS
A1	NEW FLOOR PLANS - WEST WING
A2	NEW ELEVATIONS - WEST WING
A3	NEW FIRST FLOOR PLAN & ELEVATIONS - EAST WING

McCormack + Eiten / Architects, LLP
400 Broad Street
Lake Geneva, WI 53147
Ph (262) 248-5391 Fax (262) 248-6882
mcmccormackeiten.com http://www.mcmccormackeiten.com



© McCormack + Eiten / Architects

ADDITIONS AND ALTERATIONS FOR
JIM & KATHI WILLETT
1320 MAIN ST.
LAKE GENEVA, WISCONSIN 53147

PROJECT NO.
9789

REVISIONS	
☒ PRELIMINARY	
☐ BID/APPROVAL	
☐ PERMIT	
☐ CONSTRUCTION	
DATE	10-24-22
SHEET	T-1

PLAT OF SURVEY & SITE, GRADING, DRAINAGE & EROSION CONTROL PLAN

ASSIGNED THE EASTERLY BOUNDARY OF LANDS SURVEYED
S 12°27'00" E PER LEGAL DESCRIPTION SHOWN HEREON

PART of the NE 1/4 of Section 35, T2N, R17E, City of Lake Geneva, County of Walworth, State of Wisconsin, described as follows: Commencing at a point in the Southerly line of Main Street that is 152.15 feet S 78° 30' West of the point of intersection of said South line of Main Street with the East line of Section 35; thence S 12° 27' East 425.6 feet to a point in the shore of Lake Geneva; thence S 67° 59' East along the shore of said Lake Geneva 71 feet to a point; thence N 15° 22' West 436.05 feet to an iron stake; thence N 78° 30' East 91.8 feet to the place of beginning.

APPARENT CURRENT LEGAL DESCRIPTION OF RECORD
PER DOCUMENT NO. 368789



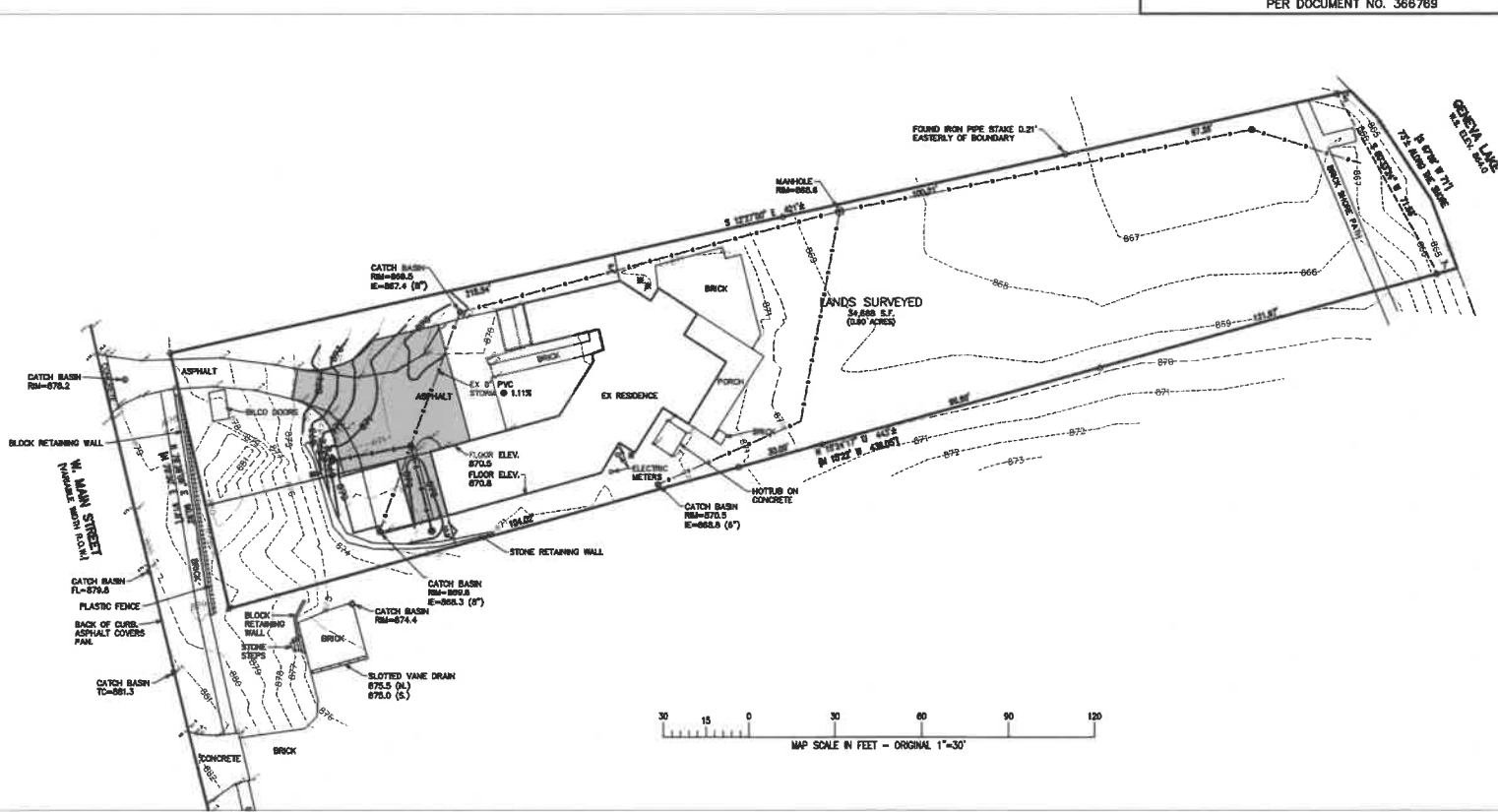
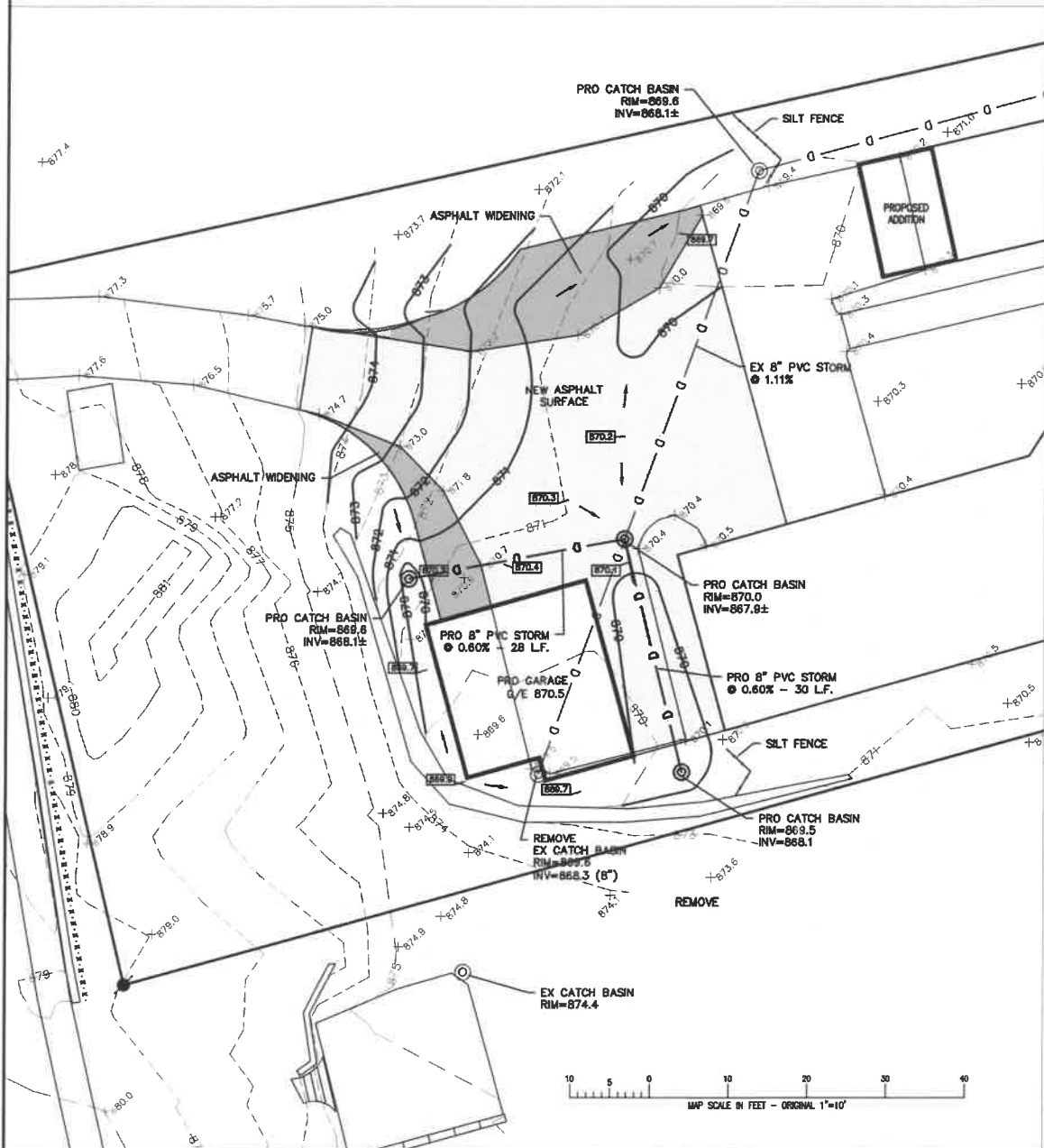
SGDECP
1320 W. MAIN STREET
LAKE GENEVA, WISCONSIN

WORK ORDERED BY -
JAMES & KATHRYN WILLET
14828 JOHN HUMPHREY DRIVE
ORLAND PARK, IL 60462

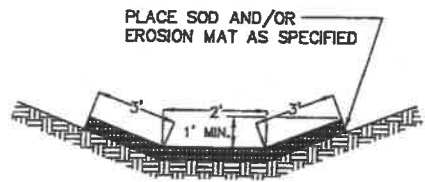
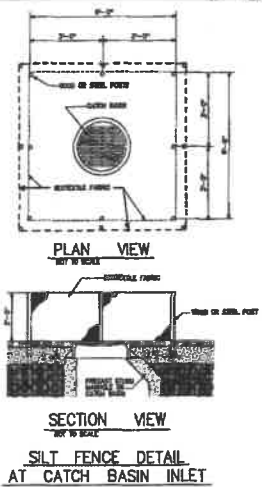
FARRIS, HANSEN & ASSOCIATES, INC.
ENGINEERING - ARCHITECTURE - SURVEYING
7 RIDGWAY COURT
ELKHORN, WISCONSIN 53121
OFFICE: (262) 723-2086 FAX: (262) 723-0886

REVISIONS
JUNE 20, 2022
SITE, GRADING, DRAINAGE
AND EROSION CONTROL
JUNE 21, 2022
Sheet Removed
10/06/2023 - DHC
DRIVE WIDENED
ADDITION ADDED

PROJECT NO.
10568
DATE
11/03/2021
SHEET NO.
1 OF 1



PROTECT ALL EXISTING AND PROPOSED INLETS WITH SILT FENCE PER DETAIL



CONSTRUCTION SEQUENCE

- 1) SILT FENCING INSTALLED
- 2) INSTALL ANTI-TRACKING MAT
- 3) VEGETATION TO BE CLEARED
- 4) TOPSOIL STRIPPED
- 5) UTILITIES CONSTRUCTED
- 6) FOUNDATIONS DUG & POURED
- 7) WALLS BACKFILLED
- 8) GARAGE CONSTRUCTION COMPLETED
- 9) DRIVE & LANDSCAPING COMPLETED

AREA WITHIN SILT FENCING TO BE CLEARED OF UNDERBRUSH WITH ONLY NECESSARY LARGE TREES REMOVED AS MARKED.

ALL SILT FENCING SHALL BE MAINTAINED IN A STABLE CONDITION FULLY BRACED AND STAKED TO PREVENT MOVEMENT BY RUNOFF UNTIL A DENSE TURF IS ESTABLISHED OVER ALL DISTURBED GROUND SURFACES. DURING OR AFTER EVERY STORM THEY SHALL BE CHECKED. ACCUMULATIONS OF SILT TOPSOIL AND ANY OTHER CONSTRUCTION DEBRIS SHALL BE ROUTINELY REMOVED.

ALL SURPLUS TOPSOIL AND EXCAVATED MATERIALS TO BE LOADED AND HAULED OFF SITE AT TIME OF EXCAVATION

AREA TO BE RESTORED WITH IMPORTED SCREENED AND SHREDDED TOPSOIL (MINIMUM 6" DEPTH) AFTER FOUNDATION AND FRAMING AS SOON AS POSSIBLE FOLLOWED WITH GRASS SEEDING AND MULCH. TO SUPPLEMENT RESPREAD OF SALVAGED TOPSOIL.

NOTE: COPIES OF THIS MAP TO WHICH THE FOLLOWING CERTIFICATE WILL APPLY SHOW THE SURVEYOR'S ORIGINAL SEAL AND SIGNATURE IN RED INK. COPIES BY ANY OTHER MEANS MAY HAVE ALTERATIONS WHICH DO NOT REPRESENT THE SURVEYOR'S WORK PRODUCT.

I HEREBY CERTIFY THAT THE ABOVE DESCRIBED PROPERTY HAS BEEN SURVEYED UNDER MY DIRECTION AND THAT THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY AND ITS EXTERIOR BOUNDARIES. THIS SURVEY IS MADE FOR THE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO WITHIN ONE YEAR FROM THE DATE HEREOF.

DATED: _____

CHRISTOPHER A. HODGES P.L.S. 2760

X:\PROJECTS\10568\ACAD\10568.dwg

FARRIS, HANSEN & ASSOCIATES, INC.

ENGINEERING - ARCHITECTURE - SURVEYING

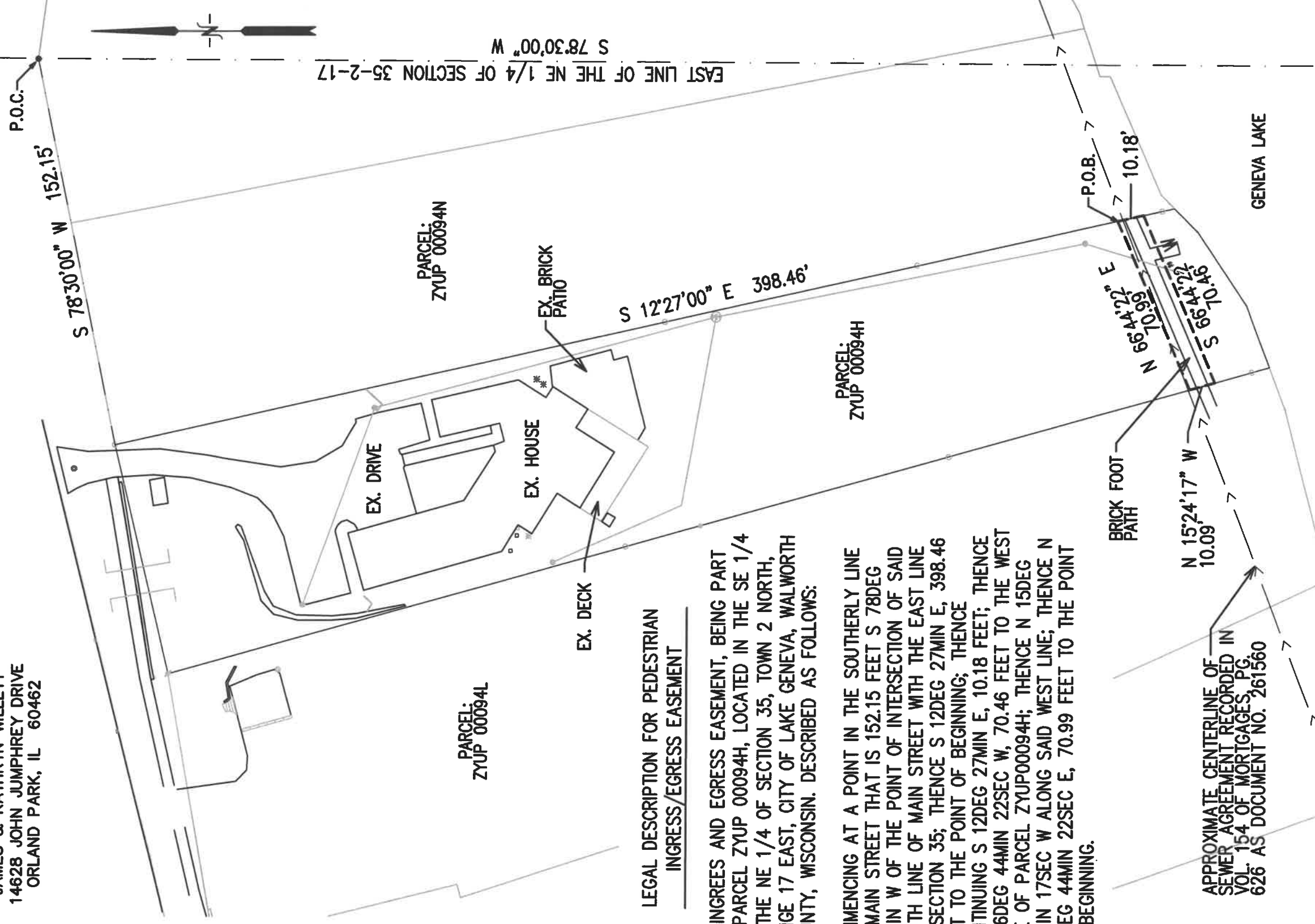
7 RIDGWAY COURT - P.O. BOX 437 - ELKHORN, WISCONSIN 53121

PHONE: (262) 723-2098 FAX: (262) 723-5886

EXHIBIT A - PEDESTRIAN INGRESS/EGRESS EASEMENT

BEING PART OF THE SE 1/4 OF THE NE 1/4 OF SECTION 35, T2N, R17E
PARCEL #: ZYUP 00094H, CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN

- WORK ORDERED BY -
JAMES & KATHRYN WILLETT
14628 JOHN JUMPHREY DRIVE
ORLAND PARK, IL 60462



LEGAL DESCRIPTION FOR PEDESTRIAN INGRESS/EGRESS EASEMENT

AN INGRESS AND EGRESS EASEMENT, BEING PART OF PARCEL ZYUP 00094H, LOCATED IN THE SE 1/4 OF THE NE 1/4 OF SECTION 35, TOWN 2 NORTH, RANGE 17 EAST, CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN. DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT IN THE SOUTHERLY LINE OF MAIN STREET THAT IS 152.15 FEET S 78DEG 30MIN W OF THE POINT OF INTERSECTION OF SAID SOUTH LINE OF MAIN STREET WITH THE EAST LINE OF SECTION 35; THENCE S 12DEG 27MIN E, 398.46 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING S 12DEG 27MIN E, 10.18 FEET; THENCE S 66DEG 44MIN 22SEC W, 70.46 FEET TO THE WEST LINE OF PARCEL ZYUP00094H; THENCE N 15DEG 24MIN 17SEC W ALONG SAID WEST LINE; THENCE N 66DEG 44MIN 22SEC E, 70.99 FEET TO THE POINT OF BEGINNING.

APPROXIMATE CENTERLINE OF SEWER AGREEMENT RECORDED IN VOL. 154 OF MORTGAGES, PG. 626 AS DOCUMENT NO. 261560

**D. WRITTEN JUSTIFICATION OF THE
PROPOSED CONDITIONAL USE**

*ADDITIONS & ALTERATIONS TO EXISTING RESIDENCE
MR. & MRS. JAMES WILLETT
1320 W. MAIN STREET
LAKE GENEVA, WISCONSIN*

JUSTIFICATION OF THE PROPOSED AMENDED CONDITIONAL USE

1. The House on the subject property was originally built in 1947 and subsequently remodeled with a Second Floor addition in 1998. The original footprint of the House existed since long before the most recent zoning ordinance change or even before the previous change. *A Conditional Use was approved for this property back in 2007 to allow for previous additions and the Proposed New Additions are intended to upgrade an existing single-family lakeshore residence within a district that is currently zoned for that use. With the Proposed Additions within the footprint of the Existing House, this use is in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva.*
2. *The original intent of the creation of the ER-1 Zoning District was to restrict the development of lakeshore property within the City by limiting the subdivision of existing lots to create new buildable lots. We do not believe it was the intention of the City to penalize the owners of existing properties or prevent them from improving their existing single-family residences. Under the Conditional Use provisions, the proposed remodeling would comply with the allowable requirements of the SR-4 district.*
3. *The granting of this Proposed Amended Conditional Use would not be a substantial detriment to the adjacent properties in that the proposed new construction would be no closer to the neighboring houses the existing construction. Due to the orientation of the existing houses and the primary views being toward the lake to the south, the proposed addition would not block any of the lake views that currently exist from the adjacent properties. The Proposed Additions would be in keeping with the single-family character of the neighborhood, would not adversely affect the health, safety or general welfare of the public, or the provisions of the Zoning Ordinance or Comprehensive Master Plan.*
4. *The Proposed Amended Conditional Use would be in compliance with the long range plans of the City in that it would maintain this property as a high quality single family residential use. Many of the homes in this area either have been remodeled in recent years or may be upgraded in the near future. As stated in Item No. 2, maintaining quality single family residences at the current density was the original intention in the creation of the ER-1 District and the preceding SR-1 District in these shoreland areas.*

5. The *Existing House* and the proposed *New Additions* are currently served by City sanitary sewer and water. *This project would not impose an undue burden on any improvements, utilities or services provided by public agencies serving the subject property.*

6. *Single family detached houses are a permitted use within the ER-1 District and are in keeping with the intent of the Master Plan of the City of Lake Geneva. This lot is only 35,088 square feet in area and, like most of the properties in this neighborhood, does not now meet the lot width and setback requirements of the ER-1 District. This is the reason for the requested Amended Conditional Use. With the Amended Conditional Use, the Proposed Additions would improve the safety of the existing House and would meet the required setbacks of the SR-4 Zoning District as well as the Biagi setbacks. In this context, we believe that the nonconforming portions of this Conditional Use would be minimal and would be far outweighed by the long-range benefits.*

E. PLANS & ELEVATIONS

1320 MAIN STREET
LAKE GENEVA, WISCONSIN, 53147



NEW SITE PLAN



NEW SITE PLAN DETAIL

SCALE: 1" = 20'-0"



LOCATION MAP
SCALE: NO SCALE

McCormack + Eiten / Architects, LLP
400 Broad Street
Ph (202) 248-8391
Lake Geneva, WI 53147
Fax (202) 248-8392
mme@mccormackeiten.com <http://www.mccormackeiten.com>



● **MACCOMBES + EUEL / Architects**

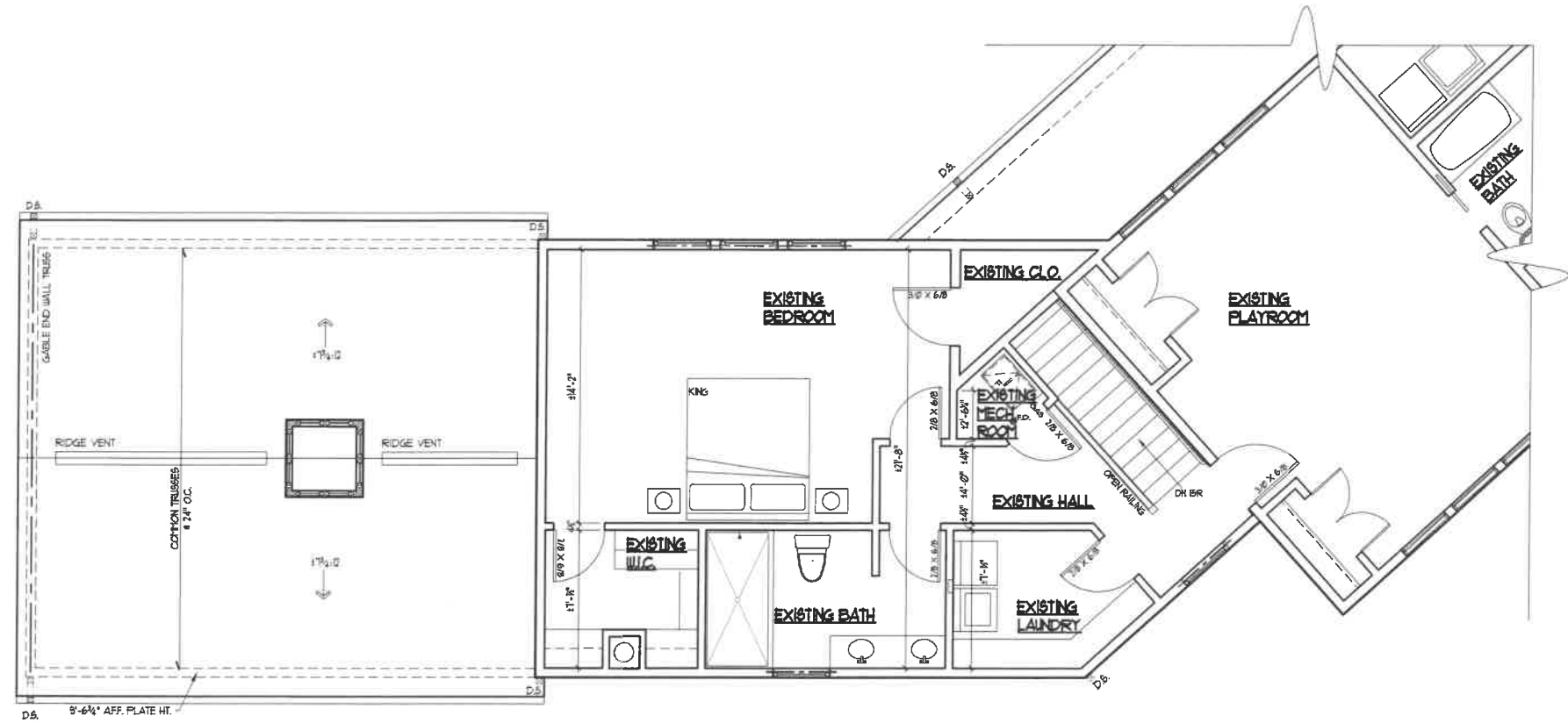
JIM & KATHI WILLETT
1320 MAIN ST.
LAKE GENEVA, WISCONSIN 53147

PROJECT NO.	9789
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VISIONS

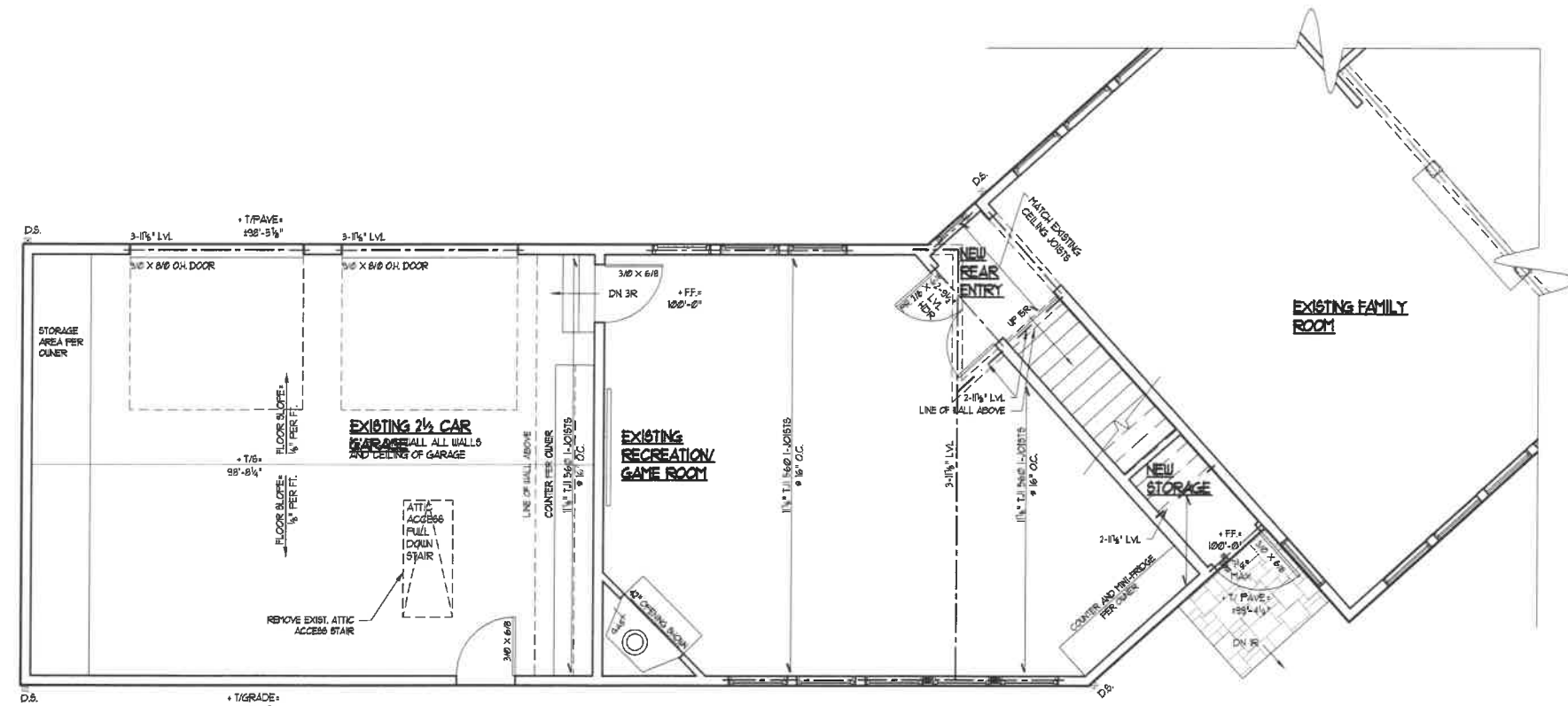
SHEET INDEX:	
NO.	DESCRIPTION
T1	TITLE SHEET: SITE PLAN & LOCATION MAP
AB1	EXISTING FLOOR PLANS
AB2	EXISTING ELEVATIONS
A1	NEW FLOOR PLANS - WEST WING
A2	NEW ELEVATIONS - WEST WING
A3	NEW FIRST FLOOR PLAN & ELEVATIONS - EAST WING

Page 56 of 69



EXISTING SECOND FLOOR PLAN - WEST WING

SCALE: 1/4" = 1'-0"



EXISTING FIRST FLOOR PLAN - WEST WING

SCALE: 1/4" = 1'-0"

McCormack + Eiten / Architects, LLP
 400 Broad Street
 Lake Geneva, WI 53147
 PH (262) 248-8881
 FAX (262) 248-8882
<http://www.mccormackeiten.com>

© McCormack + Eiten / Architects

ADDITIONS AND ALTERATIONS FOR
JIM & KATHI WILLETT
 1320 MAIN ST.
 LAKE GENEVA, WISCONSIN 53147

REVISIONS
PRELIMINARY
BID/APPROVAL
PERMIT
CONSTRUCTION
DATE 07-20-22
SHEET AB-1



EXISTING NORTH ELEVATION - WEST WING
SCALE: 1/4" = 1'-0"



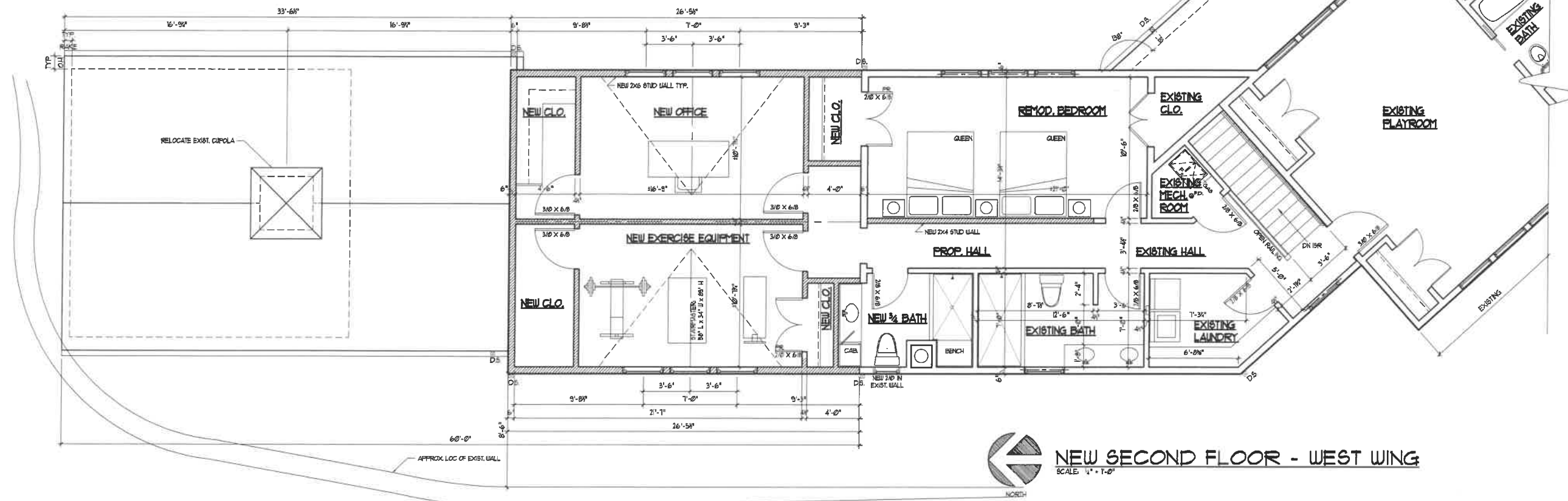
EXISTING WEST ELEVATION - WEST WING
SCALE: 1/4" = 1'-0"



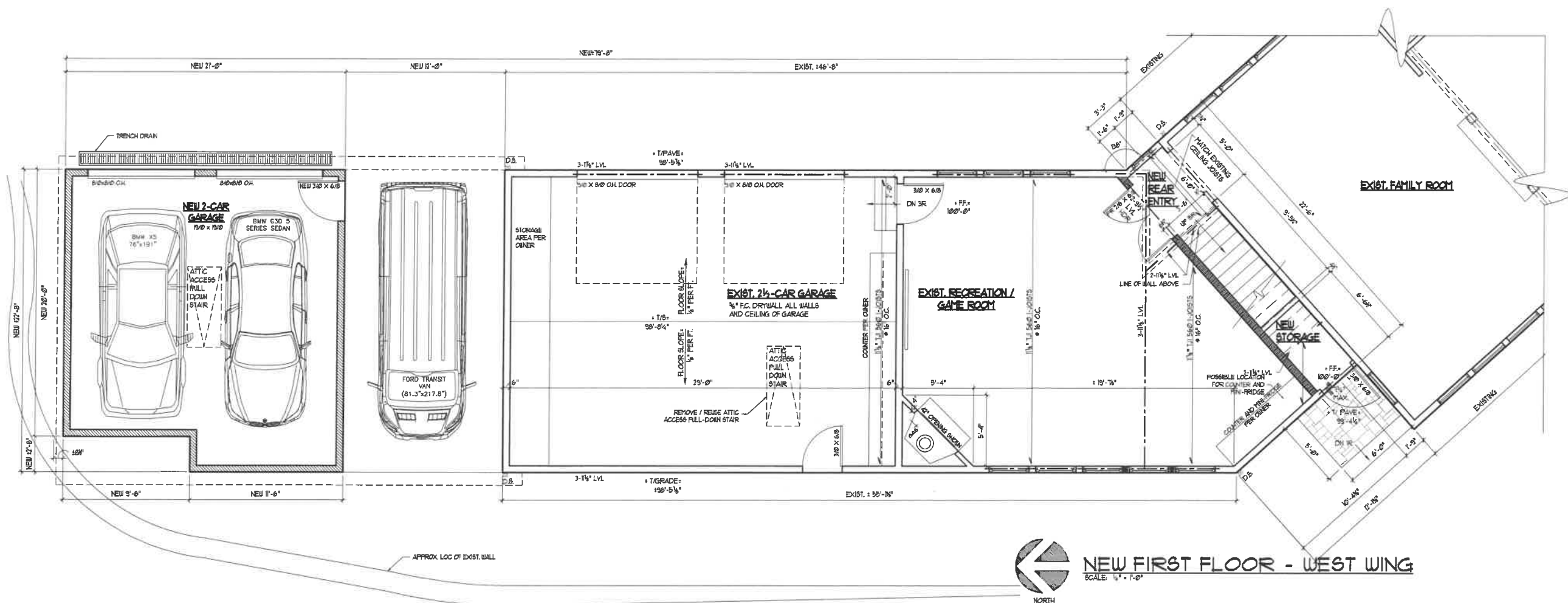
EXISTING EAST ELEVATION - WEST WING
SCALE: 1/4" = 1'-0"



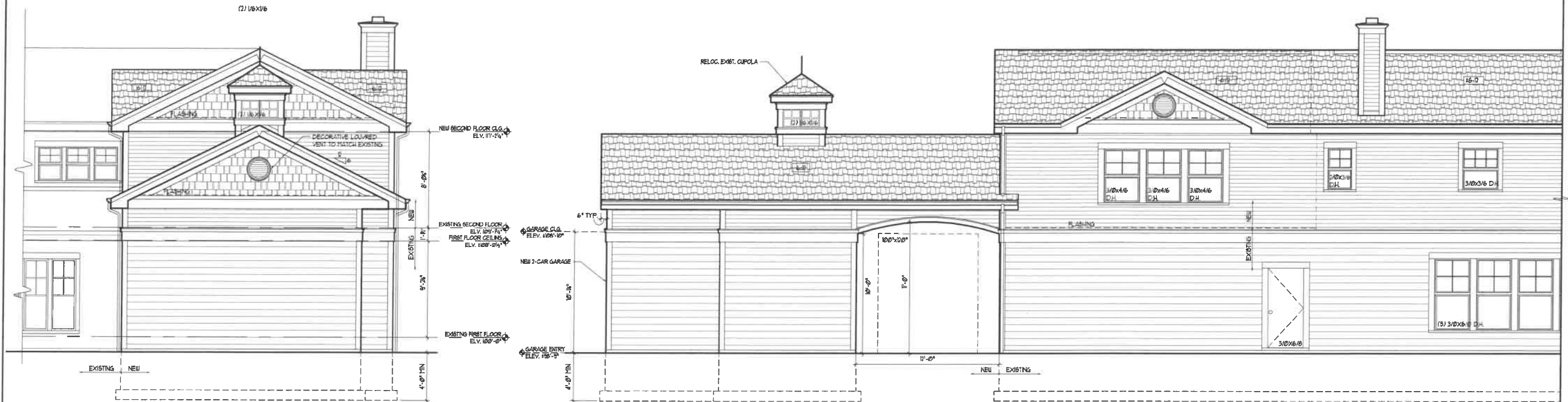
REVISIONS
☒ PRELIMINARY
☐ BID/APPROVAL
☐ PERMIT
☐ CONSTRUCTION



NEW SECOND FLOOR - WEST WING
SCALE: 1/4" = 1'-0"



NEW FIRST FLOOR - WEST WING
SCALE: 1/4" = 1'-0"



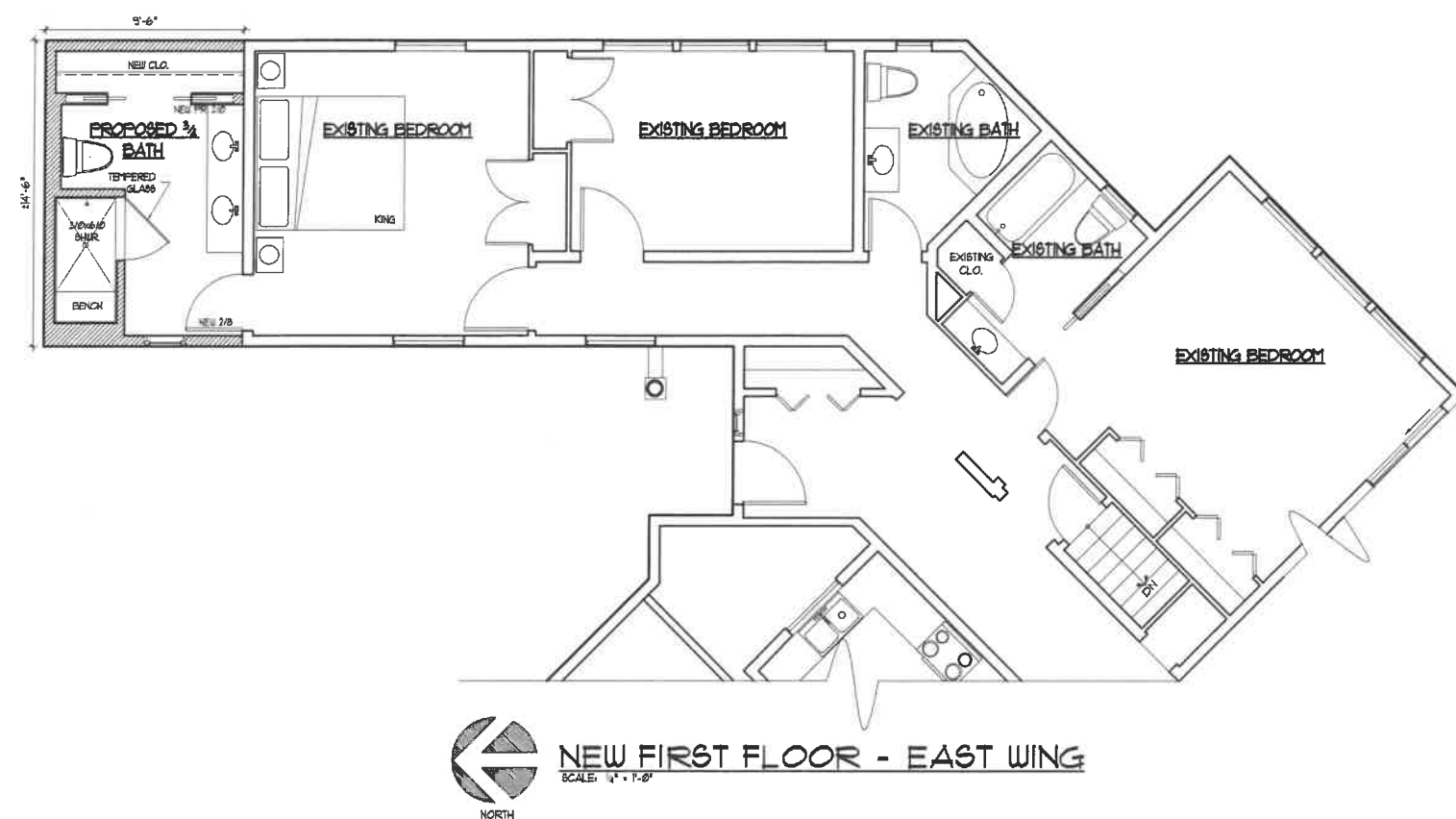
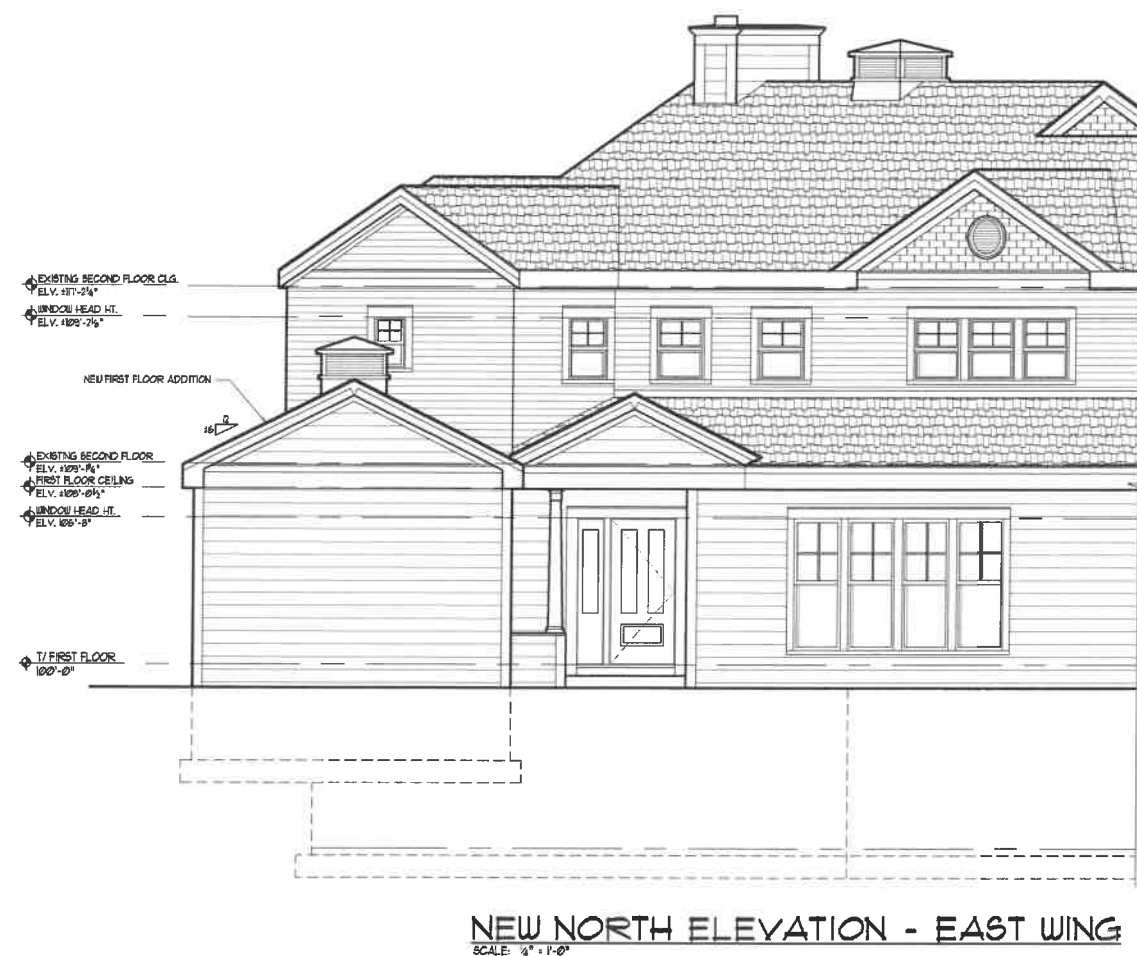
NEW NORTH ELEVATION - WEST WING
SCALE: 1/4" = 1'-0"

NEW WEST ELEVATION - WEST WING
SCALE: 1/4" = 1'-0"



NEW EAST ELEVATION - WEST WING
SCALE: 1/4" = 1'-0"





STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: November 20, 2023

Agenda Item #10

Request:

Draft Amendment to Zoning Ordinance to update requirements for Short-Term Rental land uses, Section 98-206(8)(y).

Description:

This item involves a draft amendment to Zoning Ordinance pertaining to requirements for Short-Term Rental land uses in Section 98-206(8)(y).

This is a first draft prepared by the Assistant Building Inspector. This draft is intended to be reviewed by the Plan Commission. Following Plan Commission review and input, the City Attorney and other City staff will review and prepare a final draft for future consideration and action by the Plan Commission and Council.

Article 2. Land Use Regulations

Sec. 98-206. Detailed land use descriptions and regulations.

(y) Short-term rental.

Description: Includes all lodging places and tourist cabins and cottages, other than hotels and motels, in which sleeping accommodations are offered for pay to tourists and transients for more than six but fewer than 29 consecutive days. It does not include private boardinghouses or rooming houses not accommodating tourists or transients, or bed-and-breakfast establishments regulated under ACTP 73.[Ord. No. 19-16]

1. Permitted by right: all zoning districts where "residential dwellings" are permitted, as that term is defined in § 66.1014, Wis. Stats.

[Ord. No. 19-16]

a. Land use requirement. A short-term rental shall only be located as an accessory land use within zoning districts that allow residential dwellings, as that term is defined in § 66.1014, Wis. Stats.

b. Annual city license required. Short-term rentals shall operate only during the valid period of an annual City of Lake Geneva short-term rental license (hereinafter "annual license") for each consecutive 365-day period. If the short-term rental is transferred or there is any change of ownership of the short-term rental during the valid period of an annual license, the license may only be assumed by the transferee for the remaining period of the license. Operating a short-term rental without a current version of a valid annual license shall be considered a violation of this chapter, and subject to the penalties of Section 98-936. The following information shall be provided on an annual basis, prior to issuance of said annual license:

i. Completed City of Lake Geneva short-term rental application, which includes the property owner's name, address, and phone number; the designated operator's name, address, and phone number; and the period of operation of up to 180 days in a 365-day period, which must be consecutive;

ii. A current floor plan for the short-term rental, at a minimum scale of one inch equals four feet, and site plan of the property at a minimum scale of one inch equals 10 feet showing on-site parking spaces and trash storage areas;

iii. General Building Code inspection by City, and submittal of official Building Code inspection report with no outstanding compliance orders remaining;

iv. Proof of valid property and liability insurance for the dwelling unit; ^[5]

^[5]Editor's Note: Former Subsection b.iv, requiring a Fire Code inspection and report, was repealed 3-28-2022 by Ord. No. 22-02. This ordinance also redesignated former Subsection (8)(y)1bv through x as Subsection (8)(y)1biv through viii, respectively.

v. State of Wisconsin tourist rental house license;

vi. City of Lake Geneva room tax permit;

vii. City of Lake Geneva general business license; ^[6]

[\[6\]](#) *Editor's Note: Former Subsection (8)(y)1bvii, requiring a seller's permit, was repealed 3-28-2022 by Ord. No. 22-02. This ordinance also redesignated former Subsection (8)(y)1bv through x as Subsection (8)(y)1biv through viii, respectively.*

[viii.](#) Payment of an administrative fee, set by City Council resolution, to cover the costs to the City of administering the above.

The City of Lake Geneva short-term rental license shall be issued with the completion of the above requirements and compliance with the City's Room Tax Ordinance. [\[7\]](#) [\[7\]](#) *Editor's Note: See Ch. [70](#), Taxation, Art. [III](#).*

[c.](#) Property management requirements. Each short-term rental shall be managed consistent with the following requirements:

[i.](#) The total number of days of operation within any 365-day period of an annual license shall not exceed 180 consecutive days. This period of short-term rental operation shall be specified by the property owner in the required Lake Geneva short-term rental application.

[ii.](#) The minimum rental period shall be a minimum of seven consecutive days by any one party.

[iii.](#) The maximum rental period within a 365-day period of an annual license shall be no more than 180 consecutive days.

[iv.](#) Similar facilities in which single-family detached homes are available for less than seven days, more than 180 days, or throughout the year, are a different land use that falls within the indoor commercial lodging land use category.

[v.](#) The maximum number of occupants shall not exceed the total number licensed by the State of Wisconsin or two per bedroom plus two additional occupants, whichever is less.

[vi.](#) The short-term rental shall be operated by the property owner or by a property manager explicitly designated in the valid Lake Geneva short-term rental application as the "designated operator."

[vii.](#) The property owner's and the designated operator's names, addresses, and twenty-four-hour phone numbers shall be provided in the City of Lake Geneva short-term rental application and shall be updated within 24 hours upon any change in the property manager or the property manager contact information.

[viii.](#) The designated operator must reside within or have their business located within 25 miles of the short-term rental parcel.

[ix.](#) The designated operator must be available by phone 24 hours, seven days a week, during the period of operation designated in the Lake Geneva short-term rental application.

[x.](#) Each short-term rental [owner/operator](#) shall provide and maintain a guest register [for each short-term rental](#) and shall require all guests to register their true names and addresses before allowing occupancy. The guest register shall be kept intact and available [on site](#) by the designated operator for inspection by representatives of the City for at least one year from the day of the conclusion of the period of operation.

xi. Each short-term rental owner/operator shall submit a quarterly report containing the following
Items maintain the following written business record for each rental of the for each short-term rental:

a the-The true names and addresses of any person renting the property,

b the-The dates of the-each rental period-stay for all guests in the previous quarter (which must be a minimum of seven consecutive days),

and-c the-The monetary amount or consideration paid for the rental. The business record shall be kept intact and available by the designated operator for inspection by representatives of the City for at least one year from the day of the conclusion of the period of operation.

d A list of all websites and places the Short-Term Rental has been advertised in the previous quarter

e The amount of room tax paid to the City by the owner operator and/or the online rental market place on the owner/ operators behalf.

Reporting will be due on the following Schedule:

Quarter 1: April 30th (for Jan, Feb, Mar)

Quarter 2: July 31st (for Apr, May, Jun)

Quarter 3: October 31st (for Jul, Aug, Sep)

Quarter 4: January 31st (for Oct, Nov, Dec)

Failure to submit the required reports will be considered a violation of this chapter and shall be subject to all applicable penalties up to and including revocation of their short-term rental license.

xii. Short-term rental license and emergency contact information must be posted in a conspicuous area within the property at all time.

d. Property operational requirements. Each short-term rental shall be operated per the following requirements:

i. The "Requirements For Short-Term Rental Guests" form provided by the City of Lake Geneva to summarize City requirements for short-term rental, and the site plan for the subject property clearly depicting guest parking spaces and the rear yard, shall be posted on the inside of the front door of each short-term rental throughout its period of operation.

ii. Parking requirements:

a. A minimum of two off-street parking spaces shall be provided on the subject property for each short-term rental. If the short-term rental provides three or more bedrooms, an additional on-site parking space is required for each additional bedroom over two, plus one space for each employee on the largest shift, if applicable.

b. All guest parking for vehicles and trailers shall be within a parking space designated on the site plan, on an area paved with concrete or asphalt.

c. All guest vehicles and trailers may only park on-site. Street parking for guests is not permitted.

d. No parking is permitted on gravel, lawn, or planter bed areas.

iii. Site appearance requirements:

a. Aside from a changing mix of guests and their vehicles, there shall be no evidence of the property being used as a short-term rental visible on the exterior of the subject property.

b. No exterior sign age related to the short-term rental is permitted, other than the property address.

c. No outdoor storage related to the short-term rental land use is permitted, except for typical residential recreational equipment, seating, and outdoor cooking facilities which are permitted only within the rear yard.

d. No recreational vehicle, camper, tent, or other temporary lodging arrangement shall be permitted to accommodate guests. iv.

Neighborhood impact requirements:

a. No outdoor activity shall occur between the hours of ~~10:00~~ p.m. and 7:00 a.m. M-F and 9 PM to 8AM S-S

b. At all times, no noise, lighting, odor or other impacts from the subject property shall be detectable at the property line at levels exceeding the requirements of Article 7 of this chapter.

c. No vehicular traffic shall be generated by the short-term rental at levels exceeding those typical for a detached single-family dwelling unit.

v. Short-term rental advertising:

a. No outdoor advertising is allowed on the subject property.

b. The short-term rental shall not be advertised for availability in any form of media unless the required City of Lake Geneva short-term rental license has been issued.

e. Access and inspections.

i. The City shall be authorized at all reasonable times upon reasonable notice to the owner, and with either the owner's consent or a special inspection warrant under § 66.0119, Wis. Stats., except in cases of emergency where no special inspection warrant is required, and as provided in § 66.0119(2), Wis. Stats., to enter and examine any building, structure, or premises, for the purpose of ensuring compliance with this chapter. If the owner declines to consent to an inspection without a warrant, the City may not conduct an inspection under this section without first obtaining a special inspection warrant under § 66.0119, Wis. Stats., except in cases of emergency where no special inspection warrant is required, and as provided in § 66.0119(2), Wis. Stats. The owner, agent or occupant of any such premises who refuses to permit, or prevents or interferes with any entry into or upon the premises by any such inspector with a special inspection warrant or in cases of emergency where no inspection

warrant is required and as provided in § 66.0119(2), Wis. Stats., shall be in violation of this section. It is not a violation of this section to refuse to grant voluntary consent to an inspection.

ii. The City has adopted the Knox-Box[®] key box system providing for the installation of miniature vaults that are placed upon the exterior buildings, gateposts or other applicable locations. Contained within the vault are the keys that will allow access to the short-term rental in emergency situations.

iii. Designated operators and owners are encouraged, but not required to install the Knox-Box[®] Systems on their short-term rentals. Designated operators and owners of short-term rentals acknowledge that the City shall not be obligated for damages occurring to short-term rentals in the event emergency access to a short-term rental is required and there is no Knox-Box[®] System installed on the property.

f. Penalties and license revocation.

i. Violations of the requirements for short-term rental, the provisions of the short-term rental license, and all other of this subsection (8)(y) are subject to separate daily fines per Section 98-936. Citations for violations of this chapter will be issued to, and will be the responsibility of, the property owner.

ii. The annual short-term rental license may be revoked for more than two violations of the requirements specific to the short-term rental, the license, or the remainder of this chapter. Short-term rental operators found noncompliant with the terms of this subsection (8)(y) shall be considered in violation and shall be subject to all applicable penalties up to and including revocation of their short-term rental license

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: November 20, 2023

Agenda Item #12

From the building and zoning administrator

attached is the building and zoning department to date of new single family homes, building permit revenue to include the count of short term rental properties commercial indoor lodging properties and bed and breakfast properties.

BUILDING & ZONING YEAR TO DATE METRICS - 2023

New Single Family Homes: **66**

Total Revenue: **\$386,466.24**

Short Term Rentals: **80**

Indoor Commerical Lodging: **39**

NOVEMBER 15, 2023

City of Lake Geneva

Authored by: Building & Zoning

