



City of Lake Geneva, 626 Geneva St, Lake Geneva, WI 53147- 262.248.3673- www.cityoflakegeneva.gov

CITY OF LAKE GENEVA PLAN COMMISSION
MONDAY, DECEMBER 18, 2023 - 6:00 PM
COUNCIL CHAMBERS, CITY HALL

Members:

Mayor Charlene Klein, Alderperson Joan Yunker, Commissioners: John Gibbs, Joel Hoiland, Cindy Forster Fueredi, James Marquardt, and Kyle Cary

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AGENDA

1. Meeting called to order by Charlene Klein.
2. Roll Call.
3. Approve Minutes of the November 13, 2023, Joint City Council and Plan Commission meeting as distributed.
4. Approve Minutes of the November 20, 2023, Plan Commission meeting as distributed.
5. Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will be limited to five (5) minutes.
6. Acknowledgment of Correspondence.
7. Public Hearing and Recommendation for a Conditional Use Permit (CUP) for Michael Burton Trust / Anna McNamara Burton Trust; 1438 Pleasant Ln. Glenview Lane 60025, for a building addition to the home at **890 Maytag Rd.** located in the Estate Residential – 1 (ER-1) zoning district tax key no. ZCE00010.
8. Adjournment.

QUORUM OF CITY COUNCIL MEMBERS MAY BE PRESENT

Requests from persons with disabilities, who need assistance in order to participate in this meeting, should be made to the City Clerk's office, in order for appropriate Accommodations.

JOINT MEETING OF THE CITY COUNCIL AND THE PLAN COMMISSION MINUTES
MONDAY, NOVEMBER 13, 2023- 6:00 P.M.
COUNCIL CHAMBERS, CITY HALL

Council Members:

Mayor Charlene Klein, Council President, Mary Jo Fesenmaier, Council Vice President, Cindy Yager
Alderspersons: Tim Dunn, Peg Esposito, Linda Frame, Ken Howell, Shari Straube, and Joan Yunker

Plan Commission Members:

Mayor Charlene Klein, Aldersperson Joan Yunker, Commissioners: John Gibbs, Joel Hoiland, Dr. Cindy Forster Fueredi, James Marquardt, and Kyle Cary

Meeting called to order by City Council

Mayor Klein called the meeting of the City Council to order at 6:00 p.m.

Meeting called to order by Plan Commission

Mayor Klein called the meeting of the City Council to order at 6:00 p.m.

Roll Call of members of City Council

Present: Dunn, Esposito, Fesenmaier, Frame, Howell, Straube, Yager, and Yunker

Absent: None

Roll Call of members of Plan Commission

Present: Klein, Yunker, Cary, Gibbs, and Hoiland

Absent: Fueredi and Marquart (Excused)

Election of Joint Committee Chairperson

Motion by Howell to nominate Mayor Klein, second by Yunker. No discussion. Motion carried unanimously.

Acknowledgement of Correspondence

Clerk Kropf noted that the Clerk's Office received one item of correspondence speaking in opposition of the proposed future land use change filed by Wisconsin Power & Light Company and over fifty items of correspondence all speaking in opposition of the proposed future land use change filed by Lakeside Living LLC. All items of correspondence were distributed to the members of the Plan Commission and the Common Council.

Verification of proper legal notice

Clerk Kropf noted that a Class I notice was published in the Lake Geneva Regional News on October 5, 2023.

Presentation of the Comprehensive Plan Amendments by Vandewalle & Associates

Public Hearing on Comprehensive Plan Amendments:

Wisconsin Power & Light Company (WP&L) request to amend the Future Land Use Map to change the recommended future land use category for a portion of Tax Key # ZOP 00003 from Public Park & Recreation to Institutional & Community Services

Open Public Hearing by Common Council

Mayor Klein Klein opened the Public Hearing.

Reading of submitted comments

Clerk Kropf noted that one item of correspondence was received and distributed to the joint body members.

Comments from the Public

Julie Agustine; Spoke in opposition of the proposed future land use change.

Jim Gee; Representing the Geneva Lake Museum; Spoke in opposition of the proposed future land use change and in favor of it no longer being located near the museum.

George Chironis; Representing the Geneva Lake Schools; Spoke in opposition of the proposed future land use change.

Sherri Ames; 603 Center St; Spoke in opposition of the proposed future land use change.

Mitchell Schaefer; Representing the White River Disc Golf (White River Rippers); Spoke in opposition of the proposed future land use change.

Kaitlyn Schaefer; Spoke in opposition of the proposed future land use change.

Eric Stinemetts; Spoke in opposition of the proposed future land use change.

Ingrid Clemens; Spoke in opposition of the proposed future land use change.

Eric Anderson; Sage St; Spoke in opposition of the proposed future land use change.

Lisa Ryan; 424 Elmwood Ave; Spoke in opposition of the proposed future land use change.

Sarah Case; 601 Oak Ln; Spoke in opposition of the proposed future land use change.

Spyro Condos; 1760 Hillcrest Dr; Spoke in opposition of the proposed future land use change.

Dave Quickel; 424 Country Club Dr; Spoke in opposition of the proposed future land use change.

Don Ogden; 108 Evelyn Ln; Spoke in opposition of the proposed future land use change.

Plan Commission & Common Council questions

Hoiland noted that he lives on Country Club Dr and offered to help Alliant Energy to find another location for the proposed substation. He added that there are smart technology options that can be used to make the substation smaller, but that he is not in favor of using Hillmoor land for it.

Greg Ardey, Alliant Energy; Addressed the group regarding the selected spot. He noted that the proposed location would be the best fit to serve the central part of the City without a large impact on infrastructure. Ardey stated that other sites were given to them to consider, but that those did not fit in with the constraints needed for the new substation. They found difficulties finding a spot that doesn't interfere with stormwater issues, well heads, and vacancies. Ardey explained that the proposal of putting the substation underground, could be done, but that it wouldn't be physically located underground. There would still need to be ample open air to allow for the cooling of the equipment and therefore, they could only build up ground to give it the appearance of being underground.

Ardey explained that if a solution cannot be found and there are system issues occurring, then the Public Service Commission may become involved and mandate a location without City input.

Yager questioned why there needs to be a station in the center of the City when there is one on the north and south side of town.

Ardey explained that there aren't enough physical underground lines to support that and that the central substation would allow for minimal effect should there be an outage. Yager doesn't feel that the City's central population will be growing anytime soon and wondered if the current station could just be boosted, instead of re-done or moved.

Closing of Public Hearing by Common Council

Motion by Frame to close the Public Hearing, second by Yager. Motion carried unanimously.

Lakeside Living LLC request to amend the Future Land Use Map to change the recommended future land use category for tax parcels ZCNS 00001 through ZCNS 00004 and ZCNS 00028 through ZCNS 00031 from Single Family Urban to Two-Family/Townhouse Residential

Mayor Klein noted that the applicant for this item had a family emergency that made him unavailable to attend. It would be up to the Common Council whether to have the public hearing or not.

Attorney Draper stated the Council could hold the public hearing tonight and it could continue if they choose.

Open Public Hearing by Common Council

Motion by Yager to open the Public Hearing, second by Straube. Motion carried on a roll call vote 8-0

Reading of submitted comments

Clerk Kropf noted that more than fifty items of correspondence were received and distributed to the joint body members.

Comments from the Public

Bill Huntress; 1015 Pleasant St; Spoke in opposition of the proposed future land use change.

Michael Lynch; 1084 LaGrange Dr; Spoke in opposition of the proposed future land use change.

Bob Graila; 1120 S Lake Shore Dr #17; Spoke in opposition of the proposed future land use change. He then turned in a signed petition in opposition to the proposed change.

Peter Eckart; 1120 S Lake Shore Dr #20; Spoke in opposition of the proposed future land use change. He added that the applicant is under litigation and not the current owner of that land.

Susan Steel; Geneva Lake Conservancy; Spoke in opposition of the proposed future land use change.

Dennis Habnicht; 1120 S Lake Shore Dr #9; Spoke in opposition of the proposed future land use change.

Thomas Koenig; 715 LaGrange Dr; Spoke in opposition of the proposed future land use change.

Kelly Happ; 1120 S Lake Shore Dr #13; Spoke in opposition of the proposed future land use change.

Frank Oddo; 911 Maytag Rd; Spoke in opposition of the proposed future land use change.

Gil Kirkpatrick; 1120 S Lake Shore Dr #21; Spoke in opposition of the proposed future land use change.

David Bolini; 1220 S Lake Shore Dr #22; Spoke in opposition of the proposed future land use change.

Sherri Ames; 603 Center St; Spoke in opposition of the proposed future land use change.

Bob Doebler; 835 LaGrange Dr; Spoke in opposition of the proposed future land use change.

Theresa McNulty; 1120 S Lake Shore Dr #32; Spoke in opposition of the proposed future land use change.

Larry Happ; 1120 S Lake Shore Dr #13; Spoke in opposition of the proposed future land use change.

Bill Henry; N2165 Wilderland Dr; Spoke in opposition of the proposed future land use change.

Dennis Kulak; 1120 S Lake Shore Dr #23; Spoke in opposition of the proposed future land use change.

Plan Commission & Common Council questions

Frame questioned the application deadline and wondered why this was being concerned.

Jackie Mich, Vandewalle Planning; stated that this request was fairly complex that changed the scope of the project.

Attorney Draper also added that the applicant was not made aware that an amendment to the future land use map needed to be made.

Laurie Habenicht; 1120 S Lake Shore #9; Spoke in opposition of the proposed future land use change. She further spoke to the pending litigation between the applicant and Somerset Condo Association.

Gibbs thanked Ms. Habenicht for shedding light on the situation with the litigation and providing the correct information.

Closing of Public Hearing by Common Council

Motion by Howell to close the public hearing, second by Yunker.

Motion to close the public hearing carried on a roll call vote 5-4, with Dunn, Esposito, Straube, and Yager voting no.

Mayor Klein voted yes to break the tie.

Response to Public Hearing questions by Vandewalle & Associates and City Staff

City Planner Jackie Mich addressed the body and noted some of the false comments that had been made during the public hearing. No action taken.

Discussion of Comprehensive Plan Amendments by Plan Commission and Common Council

Hoiland stated that it is clear that the electrical substation should not be located in the Hillmoor property.

Fesenmaier stated that allowing the land use change for Lakeside Living could create a domino effect that could adversely affect the City.

Cary thanked the public for coming to address these issues and thanked City staff for their work.

Frame spoke in opposition to the Lakeside Living proposed plan.

Adjournment of the City Council

Motion by Fesenmaier to adjourn the meeting of the Common Council, second by Yunker. Motion carried 8-0. The meeting adjourned at 9:09 p.m.

Plan Commission Discussion/Recommendation of Resolution 23-PC01 a resolution recommending Amendments to the City of Lake Geneva Comprehensive Plan to the Common Council

Motion by Hoiland to deny the resolution for the Wisconsin Power & Light Company (WP&L) request to amend the Future Land Use Map to change the recommended future land use category for a portion of Tax Key # ZOP 00003 from Public Park & Recreation to Institutional & Community Services, second by Yunker.

Hoiland added that the Hillmoor land is meant to be used as a park and should not be the home for a substation. Motion carried on a roll call vote 5-0.

Motion by Cary to deny the resolution for Lakeside Living LLC request to amend the Future Land Use Map to change the recommended future land use category for tax parcels ZCNS 00001 through ZCNS 00004 and ZCNS 00028 through ZCNS 00031 from Single Family Urban to Two-Family/Townhouse Residential, second by Gibbs. Hoiland explained that he was upset that the applicant couldn't be here, but that he couldn't ask another representative to come either. Gibbs brought up issues concerning who really owns this property and the timeline of the application. Motion carried on a roll call vote 5-0.

Adjournment of the Plan Commission

Motion by Klein to adjourn, second by Gibbs. Motion carried 5-0. The meeting adjourned at 9:18 p.m.

CITY OF LAKE GENEVA PLAN COMMISSION MINUTES
MONDAY, NOVEMBER 20, 2023 - 6:00 PM
COUNCIL CHAMBERS, CITY HALL

Members: Mayor Charlene Klein, Alderperson Joan Yunker, Commissioners: John Gibbs, Joel Hoiland, Cindy Forster Fueredi, James Marquardt, and Kyle Cary

Meeting called to order by Charlene Klein
Commissioner Cary called the meeting to order at 6:00 p.m

Roll Call

Present: Yunker, Gibbs, Hoiland, Foster-Fueredi, Cary
Absent: Klein (excused), Marquardt (excused)

Approve Minutes of the October 16, 2023 Plan Commission meeting as distributed
Motion by Hoiland to approve, second by Yunker. No discussion. Motion carried. 5-0

Comments from the public as allowed by Wis. Stats. §19.84(2), limited to items on this agenda, except for public hearing items. Comments will be limited to five (5) minutes

Barry Mess, 1010 Mobile Street; Spoke in opposition to Agenda Item #7 and any future annexation.
Countney Pilman, 100 Skyline Drive #41; Spoke in support of Agenda Item #7.
Michelle Peetz, 1188 Mobile Street; Spoke in opposition to Agenda Item #7 and any future annexation.
Leslee Craft, 100 Skyline Drive #31; Spoke in support of Agenda Item #7.
Rick Pollack, President of Tyshenko Condos, 1036 S Wells Street; Spoke in opposition to Agenda Item #7 and any future annexation.
Susan Lewis, 1145 Mobile Street; Spoke in opposition to Agenda Item #7 and any future annexation.
Diane King, 100 Skyline Drive #15; Spoke in support of Agenda Item #7.
Kristy Mills, 100 Skyline Drive #32; Spoke in support of Agenda Item #7.
Sean Payne, 127 Center Street; Spoke in support of Agenda Item #7.
Sherri Ames, 603 Center Street; Spoke in opposition to Agenda Item #7.
Fred Geldermann, 1025 Wisconsin Street; Spoke in support of Agenda Item #7.
Peg Esposito, 124 Darwin Street; Spoke in opposition to the variances related to Agenda Item #7.
Cindy Cox, 100 Skyline Drive #11; Spoke in support of Agenda Item #7.
Matt Kuehl, w3428 Park Drive; Spoke in support of Agenda Item #7.
Jeanne McDonald, 1020 Mobile Street; Spoke in opposition to Agenda Item #7.
Wayne Rogers, 1790 Conant Street; Spoke in opposition to Agenda Item #7.
Dennis Loeser, 336 Laurie Street; Spoke in opposition to Agenda Item #7.
Luke Pfeifer, 1091 S Lake Shore Drive; Spoke in support of Agenda Item #7.
Camal Hibbler, 1170 Mobile Street; Spoke in opposition to Agenda Item #7.
Coya Stinnett, 914 Lake Geneva Blvd; Spoke in support of Agenda Item #7.
Terrie Mess, 1010 Mobile Street; Spoke in opposition to Agenda Item #7 and any future annexation.
Frank Guske, representative for Lake Geneva Lakes, 192 E Main Street; Spoke in opposition to the proposed zoning revisions and funding related to the Gateway ordinance.
Spyro Condos, 1760 Hillcrest Drive; Spoke in opposition to Agenda Item #12.
Todd Steppke, 907 Platt Ave; Spoke in support of Agenda Item #7.
Welsey Thompson, 739 Marshall Street; Spoke in support of Agenda Item #7.
Tom McDonald, 1020 Mobile Street; Spoke in opposition to Agenda Item #7.

Acknowledgment of Correspondence
No Correspondence

Review and Recommendation to vacate and discontinue a portion of Logan Street in Block 2 of Wheeler Addition
Administrator Walling & City Engineer Rausch answered commission member's questions (supporting documents

included on pages 5-10 of the packet). The resolution was made and approved by City Council. State statute states a recommendation is required from the Plan Commission for the abandonment of a road. Motion by Hoiland for recommendation to approve, second by Yunker. No discussion. Motion carried. 5-0.

Continued - Conceptual review of a proposed development by **Basso Builders** for the property currently located in the Town of Bloomfield Tax Key No. MA56400002

Administrator Walling states the incorrect Staffing Report is in the Packet.

Josh Basso, presented on behalf of Basso Builders; (located on pages 12-14 of the packet) and answered Commission member's questions.

City Planner Mich & Administrator Walling answer Commission members' questions and walk through next steps. Variances are no longer requested. Basso Builders would be responsible for sewer & water, private road maintenance, snow removal.

Review and recommendation for a Zoning Map Designation for the property located at **N3219 County Trunk H** (Elkhorn Rd.) for permanent zoning of Planned Office (PO) to complete the process of annexation. Applicant **Ron Amman, RJ Ammon Properties**

Sean Levitt, 409 Sky Drive, representative for Ammon Properties. City Planner Kruesel presented details and answered commission member's/city staff questions. Supporting documents are included on pages 15-26 of the packet. Administrator Walling answered commission member's questions.

Hoiland recedes the original motion and move for a continuation to the next meeting, second by Yunker. Motion carried. 5-0

Public Hearing and Recommendation for a Conditional Use Permit (CUP) for James E. Willet, 14628 John Humphrey Dr. Orland Park, IL 60462 for a building addition to the home at **1320 W. Main St.** located in the Estate Residential – 1 (ER-1) zoning district tax key no. ZYUP00094H

Ken Etten, McCormack + Etten / Architects, representative for homeowners. Presented Conditional Use application request. (Located on pages 27-69 in the packet). City Engineer Rauch recommends approval. Planner Mich recommends approval with the condition that they provide a recorded easement for Geneva shore path. Motion by Hoiland to close the public hearing, second by Cary. No discussion. Motion carried. 5-0
Motion by Hoiland to approve, second by Yunker. No discussion. Motion carried. 5-0.

Public Hearing and Recommendation to amend the existing Zoning Code section 98-206(8)(y) regarding **Short Term Rental guidelines**

Sherri Ames, 603 Center Street; Spoke in opposition to removing items in the ordinance.

Luke Pfeifer, 1091 S Lake Shore Drive; Spoke about concerns related to the proposed changes to the ordinance and privacy related to changes in short-term rentals.

Peg Esposito, 124 Darwin Street; Spoke about concerns related to enforcing the current codes.

Denise Schnurr, 701 Joshua Lane; Recommends that short-term rentals not be allowed in residential areas.

Laura Dickman, 1122 Roman Road; Spoke about concerns related to regulation of short-term rentals.

Spyro Condos, 1760 Hillcrest Drive; Spoke about concerns that short-term rentals affect the community and enforcement and safety issues.

Tom Keefe, 253 Smythe Drive; Spoke about concerns related to the proposed changes to the ordinance and privacy related to changes in short-term rentals.

Terrie Mess, 1010 Mobile Street; Spoke about privacy concerns related to short-term rentals and having options for contacting the owner/management company.

Barry Mess, 1010 Mobile Street; Spoke about privacy concerns related to short-term rentals and having options for contacting the owner/management company.

Susan Smolarek, Elite Lake Rentals; 672 W Main Street; Provided details shrouding contact information and procedure for short-term rental management.

Doug Wheaton, representative for Lakes Area Realtors Association, 1560 Country Club Parkway, Elkhorn, WI; Refers to page 64 in the packet, Item "X" could potentially be a privacy issue.

Motion by Hoiland to close public hearing, second by Gibbs. Motion carried. 5-0.

Hoiland motions to recommend moving forward by creating a committee compiled of community members, residents and city staff for a writing session, second by Yunker. Motion carried. 5-0.

Building and Zoning Administrators Report

Administrator Walling presents the Building & Zoning Report (included on pages 68 & 69 of the packet) and answers Commission members' questions.

Review and discuss 2024 Comprehensive Plan Implementation budget item recommendations

City Planner Mich presented details and answered commission member's/city staff questions related to the 2024 Comprehensive Plan Implementation, budget and recommendations. City Planner Mich will present again at a future Plan Commission meeting.

Adjournment

Motion by Hoiland to adjourn, second by Yunker. Motion carried 5-0. The meeting adjourned at 9:17 p.m.

STAFF REPORT
To Lake Geneva Plan Commission
Meeting Date: December 18, 2023

Agenda Item # 7

Applicant:

Don Rudat
McCormack Etten Architects, LLP
400 Broad Street
Lake Geneva, WI 53147

Request:

890 Maytag Road
Proposed Conditional Use Permit for a building
addition and alterations utilizing SR-4 zoning
district requirements in the ER-1 zoning district

Description:

The applicant is submitting a proposal for a Conditional Use Permit (CUP) to utilize the Single-Family Residential SR-4 zoning district requirements for an addition and alterations to an existing single-family home at the property located at 890 Maytag Road. The property is located in the Estate Residential ER-1 zoning district and is seeking use of certain SR-4 zoning standards, per Section 98-407(3). All surrounding properties are also zoned ER-1.

Proposed changes include the addition of a cupola and weathervane to the roof, an eyebrow dormer to the east side of the garage wing roof, a window box bay over the north side of the garage wing, a roofed awning on brackets to the east side of the garage wing above the garage doors, and the removal of the existing two-story brick porch entrance and replacement with a new two-story covered porch that extends the full width of the north side of the main residence. The brick, siding, and trim of the new additions will match those existing on the main residence. The project will also include the installation of new charcoal colored asphalt shingles and metal roofing. Staff has suggested a condition of approval to submit a final, recorded survey showing a pedestrian easement for the Geneva Lake Shore Path.

Staff Review:

The existing house does not meet the minimum Landscape Surface Ratio of 60% established for the ER-1 Zoning District, as it provides only 57.5% landscaped surface area. As a legal nonconforming site, this situation may be continued as-is, or it can be modified to better comply with the Zoning Code. The proposed improvements reflect this second option. Specifically, the project plans indicate that a portion of the existing onsite pavers will be removed to offset the addition of the expanded porch. This results in a net decrease of impervious surface area of 177 square feet, resulting 57.6% landscaped area across the site. Because no new net impervious is being added, a stormwater study is not required.

The proposed building additions maintain the house's existing front, side, and rear setbacks and building height. The proposed cupola and weathervane comply with Zoning Code standards, as the Zoning Code permits them to exceed the maximum building height by up to ten feet.

The proposed project seeks the use of the following SR-4 Zoning District Standards:

- Side lot line setback: The project proposes a side lot line setback of approximately 10 feet, which does not meet the standards of the ER-1 Zoning District (30 feet) but complies with the minimum side yard setback of 6 feet and combined 15 feet in the SR-4 District.
- Minimum dwelling unit separation: The project does not meet the minimum 60-foot separation between dwelling units established by the ER-1 Zoning District, but it does meet the minimum 12 feet of separation established by the SR-4 District.

In sum, the proposed use complies with all applicable requirements of Section 98-206(1) pertaining to Residential land uses, Table 98-402: Residential Bulk Standards, and the requirements of Section 98-407(3) pertaining to the use of SR-4 Zoning Standards in the ER-1 Zoning District.

Action by the Plan Commission:

As part of the consideration of the requested CUP, the Plan Commission is required to:

- Provide the Common Council with a *recommendation* regarding the proposed CUP;
- Include *findings* required by the Zoning Ordinance for CUP; and,
- Provide specific suggested *requirements/conditions* to modify the project as submitted.

Required Plan Commission Findings on the CUP for Recommendation to the Common Council:

A proposed CUP must be reviewed by the standards, below:

- A. If, after the public hearing, the Commission wishes to recommend *approval*, then the appropriate fact finding would be all of the following:
1. In general, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed conditional use in its proposed location, and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed conditional use is located in an area that will be adequately served by, and will not impose an undue burden on any improvements, facilities, utilities or services provided by public agencies serving the subject property.

6. The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.
- B. If, after the public hearing, the Commission wishes to recommend denial, then the appropriate fact finding would be one or more of the following:
1. In general, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 2. Specific to this site, the proposed conditional use is not in harmony with the purposes, goals, objectives, policies and standards of the City's Comprehensive Plan, Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City.
 3. The proposed conditional use in its proposed location, and as depicted on the required site plan does result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development.
 4. The proposed conditional use does not maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
 5. The proposed conditional use is not located in an area that will be adequately served by, and will impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
 6. The potential public benefits of the proposed conditional use do not outweigh all potential adverse impacts of the proposed conditional use after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts.

Staff Recommendation:

1. Staff recommends that the Plan Commission recommend approval of the proposed conditional use as submitted, with the findings under A.1-6., above.
2. Staff recommends the Plan Commission adopt the *affirmative set of findings* provided above.
3. Staff recommends the following *additional condition of approval* be attached:
 - a. The applicant shall dedicate a pedestrian easement for the Geneva Lake Shore Path for every portion of the Shore Path corridor located on the subject property, per the review and approval of the City. Upon the proof of recording of the City-approved easement by the property owner, the Zoning Administrator may issue the Conditional Use Permit.

Suggested Motions:

- *Approve: I recommend approval of the proposed Conditional Use Permit for McCormack Etten Architects, LLP, 400 Broad Street, Lake Geneva, WI, for the proposed use of the SR-4 zoning standards in the ER-1 Zoning District per Section 98-407(3) for an addition and alterations to*

single-family residence at the property located at 890 Maytag Road in the ER-1 Zoning District, including the affirmative set of findings, and any additional conditions of approval recommended by staff.

- *Deny: I recommend denial of the Conditional Use Permit for McCormack Etten Architects, LLP, 400 Broad Street, Lake Geneva, WI, for the proposed use of the SR-4 zoning standards in the ER-1 Zoning District per Section 98-407(3) for an addition and alterations to single-family residence at the property located at 890 Maytag Road in the ER-1 Zoning District, including the dissenting set of findings, and any additional conditions of recommended by staff, because [provide rationale for denial, based on substantial evidence].*

*Jackie Mich, AICP
City Planning Consultant
Vandewalle & Associates*

APPLICATION FOR CONDITIONAL USE

City of Lake Geneva

Site Address/Parcel No. and full Legal Description required (attach separate sheet if necessary):

890 MAYTAG RD. LAKE GENEVA, WI 53147
LOT 10 CEYLON COURT ESTATES TAX KEY: ZCE 00010

Name and Address of Current Owner: MICHAEL BURTON TRUST / ANN McNAMARA-BURTON TRUST
1438 PLEASANT LN, GLENVIEW, IL 60025

Telephone No. with area code & Email of Current Owner: _____

MIKE BURTON : 312-617-7470 mburton@cktrucking.com

Owner Signature: 

Name and Address of Applicant:

MCCORMACK ET TEN ARCHITECTS LLP (DON RUDAT)
400 BROAD STREET, LAKE GENEVA WI 53147

Telephone No. with area code & Email of Applicant: 262-248-8391

don@mccormacketten.com

Proposed Conditional Use: Additions & Alterations to an
existing single family residence

Zoning District in which land is located: ER-1 SUBSTANDARD WITH
SR-4 CONDITIONAL USE

Names and Addresses of architect, professional engineer and contractor of project:

ARCHITECT: INFO AS LISTED ABOVE

CIVIL ENGR: FARRIS HANSEN & ASSOC. INC. 7 RIDGWAY CT, ELKHORN WI 53121

GC: McDERMOTT CONSTRUCTION 1939 WAUKEGAN RD UNIT 105 GLENVIEW, IL 60025

Short statement describing activities to take place on site:

REPLACE EXISTING FRONT PORCH WITH LARGER COVERED PORCH.

ADD GABLE, EYEBROW DORMER, BAY WINDOW & AWNING WITH BRACKETS

ADDITIONAL INTERIOR ALTERATIONS

Conditional Use Fee payable upon filing application: \$400.00 [\$100.00 for Application Under Sec. 98-407(3)]

9.20.23
Date


Signature of Applicant

Cost Recovery # _____

Petitioner Name _____

Project Address _____

OFFICE USE ONLY

Description of Request _____

Agreement for Services

REIMBURSABLE BY THE PETITIONER / APPLICANT. The city may retain the services of the professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposals coming before the Plan commission and/or Common Council. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal including any financing charges that may accrue. The City applies the charges for these services to the Petitioner. The City Administrator at any time may require an applicant to submit an advance deposit of **\$500 to \$5,000 depending on the complexity and anticipated involvement of the City's consultants** or continuing advance deposits against future billings by the City for recovery of costs provide by this ordinance 98-935(4). **An advanced deposit shall be required for the application related to Extraterritorial matters.** Surplus deposits shall be returned to the Applicant at the conclusion of the project.

MIKE BURTON, as applicant/petitioner for

Project: ADDITIONS & ALTERATIONS TO A SINGLE FAMILY RESIDENCE

Project Address: 890 MAY TAG RD, LAKE GENEVA WI 53147

Parcel No. ZCE 00010

Name: MICHAEL BURTON TRUST

Address: 1438 PLEASANT LN, GLENVIEW IL 60025

Cell Phone: (312) - 617 - 7470 Phone: () - -

Email: mburton@cktrucking.com

Dated this _____ Day of _____, 20____

Printed Name of Applicant / Petitioner _____

Signature of Applicant/Petitioner _____

Applicant/Petitioner agrees that in addition to those normal costs payable by an applicant/petitioner (e.g., filing or permit fees, publication expenses, recording fees, etc.), that in the event the action applied or petitioned for requires the City of Lake Geneva, in the judgment of its staff, to obtain additional professional service(s), (e.g., engineering, surveying, planning, legal) than would be routinely available "in house" to enable the City to properly address, take appropriate action on, or determine the same, applicant/petitioner shall reimburse the City for the costs thereof

Section 98-935 Fees:

(1) Fees for Procedures or Permits Requested by a Private Party: The fees for the procedures and permits established by this Chapter shall be established by resolution of the Common Council of the City of Lake Geneva

(2) Fees for Procedures Requested by the City of Lake Geneva: There shall be no fee in the case of applications filed in the public interest by the Common Council or the Plan Commission, other agency, or official of the City of Lake Geneva.

(3) Payment of Fees: Fees shall be payable at the time applications are filed with the appropriate officer of the City (per the requirements of this Chapter), and are not refundable.

(4) Professional Consultant Review Services: The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in the City's review of a proposal coming before the Plan Commission. The City may apply the charges for these services to the Petitioner. The City will require the Petitioner to sign a professional consultant review services form. The City Administrator at any time may require an applicant to submit an advance deposit of **\$500 to \$5,000 depending on the complexity and anticipated involvement of the City's consultants** or continuing advance deposits against future billings by the City for recovery of costs provide by this ordinance 98-935(4). **An advanced deposit shall be required for the application related to Extraterritorial matters.** The City may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until such fees are paid by the Petitioner. The submittal of a development proposal application or petition by a Petitioner shall be construed as an agreement to pay for such professional review services applicable to the proposal. Review fees which are applied to a Petitioner, but which are not paid, may be assigned by the City as a special assessment to the subject property.

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
CONDITIONAL USE REVIEW AND APPROVAL (Requirements per Section 98-905)**

This form should be used by the Applicant as a guide to submitting a complete application for a conditional use and by the City to process said application. Parts II and III should be used by the Applicant to submit a complete application; Parts I - IV should be used by the City as a guide when processing said application.

I. RECORDATION OF ADMINISTRATIVE PROCEDURES

____ Pre-submittal staff meeting scheduled:

Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

Follow-up pre-submittal staff meetings scheduled for:

____ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

____ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

____ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

____ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

____ Application form filed with Zoning Administrator: Date: _____ by: _____

____ Application fee of \$ _____ received by Zoning Administrator: Date: _____ by: _____

____ Reimbursement of professional consultant costs agreement executed: Date: _____ by: _____

II. APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 8 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 1 initial draft application packet and 1 digital copy for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (1 Copy and 1 Digital Copy to Zoning Administrator)

Date: _____ by: _____



Draft Final Packet (8 Copies and 1 Digital Copy to Zoning Administrator)

Date: _____ by: _____



☒ ____ (a) A map of the proposed conditional use:

- ____ Showing all lands for which the conditional use is proposed;
- ____ Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control;
- ____ Map and all its parts are clearly reproducible with a photocopier;
- ____ Map size of 11" by 17" and map scale not less than one inch equals 800 ft;
- ____ All lot dimensions of the subject property provided;
- ____ Graphic scale and north arrow provided.

☒ ____ (b) A map, such as the Land Use Plan Map, of the generalized location of the subject property in relation to the City as a whole:

☒ ____ (c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations;

☒ (d) A site plan (conforming to the requirements of Section 98-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a group development (per Section 98-208) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 98-908.

☒ (e) Written justification for the proposed conditional use:
_____ Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Lake Geneva Comprehensive Master Plan, particularly as evidenced by compliance with the standards set out in Section 98-905(4)(b)1.-6. (See below)

III. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?
_____ The owner requests to make additions and alterations to an existing single family residence in ER-1 zoning district with SR-4 setbacks. This is fully in harmony with the purposes, goals, objectives, policies and standards of the zoning ordinance. _____
2. How is the proposed conditional use, in its specific location, in harmony with the purposes, goals, objectives, policies and standards of the City of Lake Geneva Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?
_____ The owner requests to make additions and alterations to an existing single family residence in ER-1 zoning district with SR-4 setbacks. This is fully in harmony with the zoning ordinance. _____
3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 98-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?
_____ The additions and alterations being requested are intended to enhance the architectural impact and curb appeal of the existing residence. This additions and alterations will no way adversely impact the neighborhood or public interests. _____
4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?
_____ The additions and alterations being requested here are fully in keeping with the intent of the zoning ordinance. _____

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

- The additions and alterations being requested here will create no undue burden to the community

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 98-905(4)(b)1.-5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

- The additions and alterations being requested here will create no adverse impacts to the community

IV. FINAL APPLICATION PACKET INFORMATION

____ Receipt of 1 full scale copy in blue line or black line of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ Receipt of 8 reduced (8.5" by 11" text and 11" x 17" graphics) copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

____ A digital copy of Final Application Packet shall be emailed to the Building and Zoning Department upon submittal deadline. Date: _____ by: _____

____ Certification of complete Final Application Packet and required copies to the Zoning Administrator by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice sent to official newspaper by City Clerk: Date: _____ by: _____

____ Class 2 Legal Notice published on _____ and _____ by: _____

____ Conditional Use recorded with the County Register of Deeds Office: Date: _____ by: _____

**CITY OF LAKE GENEVA PROCEDURAL CHECKLIST FOR:
SITE PLAN REVIEW AND APPROVAL (Requirements per Section 98-908)**

This form should be used by the Applicant as a guide to submitting a complete application for a site plan review and by the City to process said application. Part II should be used by the Applicant to submit a complete application; Parts I - III should be used by the City as a guide when processing said application.

I. RECORDATION OF ADMINISTRATIVE PROCEDURES

____ Pre-submittal staff meeting scheduled:

Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

Follow-up pre-submittal staff meetings scheduled for:

____ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

____ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

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____ Date of Meeting: _____ Time of Meeting: _____ Date: _____ by: _____

____ Application form filed with Zoning Administrator: Date: _____ by: _____

____ Application fee of \$ _____ received by Zoning Administrator: Date: _____ by: _____

____ Reimbursement of professional consultant costs agreement executed: Date: _____ by: _____

II. APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 8 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 1 initial draft application packet and 1 digital copy for staff review, followed by one revised draft final application packet based upon staff review and comments.

Initial Packet (1 Copy and 1 Digital Copy to Zoning Administrator)

Date: _____ by: _____

↓

Draft Final Packet (8 Copies and 1 Digital Copy to Zoning Administrator)

Date: _____ by: _____

↓

☒ ____ (a) A written description of the intended use describing in reasonable detail the:

____ Existing zoning district(s) (and proposed zoning district(s) if different);

____ Land use plan map designation(s);

____ Current land uses present on the subject property;

____ Proposed land uses for the subject property (per Section 98-206);

____ Projected number of residents, employees, and daily customers;

____ Proposed amount of dwelling units, floor area, impervious surface area, and landscape surface area, and resulting site density, floor area ratio, impervious surface area ratio, and landscape surface area ratio;

____ Operational considerations relating to hours of operation, projected normal and peak water usage, sanitary sewer or septic loadings, and traffic generation;

- _____ Operational considerations relating to potential nuisance creation pertaining to noncompliance with the performance standards addressed in Article VII (Sections 98-701-98-721) including: street access, traffic visibility, parking, loading, exterior storage, exterior lighting, vibration, noise, air pollution, odor, electromagnetic radiation, glare and heat, fire and explosion, toxic or noxious materials, waste materials, drainage, and hazardous materials;
- _____ If no nuisances will be created (as indicated by complete and continuous compliance with the provisions of Article VII), then include the statement "The proposed development shall comply with all requirements of Article VII.";
- _____ Exterior building and fencing materials (Sections 98-718 and 98-720);
- _____ Possible future expansion and related implications for points above;
- _____ Any other information pertinent to adequate understanding by the Plan Commission of the intended use and its relation to nearby properties.

X _____ (b) **A Small Location Map** at 11" x 17" showing the subject property, all properties within 300 feet, and illustrating its relationship to the nearest street intersection. (A photocopy of the pertinent section of the City's Official Zoning Map with the subject property clearly indicated shall suffice to meet this requirement.)

X _____ (c) **A Property Site Plan drawing which includes:**

- _____ A title block which indicates the name, address and phone/fax number(s) of the current property owner and/or agent(s) (developer, architect, engineer, planner) for project;
- _____ The date of the original plan and the latest date of revision to the plan;
- _____ A north arrow and a graphic scale (not smaller than one inch equals 100 feet);
- _____ A reduction of the drawing at 11" x 17";
- _____ A legal description of the subject property;
- _____ All property lines and existing and proposed right-of-way lines with bearings and dimensions clearly labeled;
- _____ All existing and proposed easement lines and dimensions with a key provided and explained on the margins of the plan as to ownership and purpose;
- _____ All required building setback lines;
- _____ All existing and proposed buildings, structures, and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities, and walls;
- _____ The location and dimension (cross-section and entry throat) of all access points onto public streets;
- _____ The location and dimension of all on-site parking (and off-site parking provisions if they are to be employed), including a summary of the number of parking stalls provided versus required by the Ordinance;
- _____ The location and dimension of all loading and service areas on the subject property and labels indicating the dimension of such areas;
- _____ The location of all outdoor storage areas and the design of all screening devices;
- _____ The location, type, height, size and lighting of all signage on the subject property to include a photometric plan;
- _____ The location, height, design/type, illumination power and orientation of all exterior lighting on the subject property -- including the clear demonstration of compliance with Section 98-707;
- _____ All engineering requirements for utilities, site designs, etc;
- _____ The location and type of any permanently protected green space areas;
- _____ The location of existing and proposed drainage facilities for storm water;

_____ In the legend, data for the subject property on:

- _____ Lot Area;
- _____ Floor Area;
- _____ Floor Area Ratio (b/a);
- _____ Impervious Surface Area;
- _____ Impervious Surface Ratio (d/a);
- _____ Building Height.

☒ _____ (d) **A Detailed Landscaping Plan of the subject property:**

- _____ Scale same as main plan (> or equal to 1" equals 100')
- _____ Map reduction at 11" x 17"
- _____ Showing the location of all required buffer yard and landscaping areas
- _____ Showing existing and proposed Landscape Point fencing
- _____ Showing berm options for meeting said requirements
- _____ Demonstrating complete compliance with the requirements of Article VI
- _____ Providing individual plant locations and species, fencing types and heights, and berm heights;

☒ _____ (e) **A Grading and Erosion Control Plan:**

- _____ Same scale as the main plan (> or equal to 1" equals 100')
- _____ Map reduction at 11" x 17"
- _____ Showing existing and proposed grades including retention walls and related devices, and erosion control measures.

☒ _____ (f) **Elevation Drawings of proposed buildings or remodeling of existing buildings:**

- _____ Showing finished exterior treatment;
- _____ With adequate labels provided to clearly depict exterior materials, texture, color and overall appearance;
- _____ Perspective renderings of the proposed project and/or photos of similar structures may be submitted, but not in lieu of adequate drawings showing the actual intended appearance of the buildings.

NOTE: Initiation of Land Use or Development Activity: Absolutely no land use or development activity, including site clearing, grubbing, or grading shall occur on the subject property prior to the approval of the required site plan. Any such activity prior to such approval shall be a violation of law and shall be subject to all applicable enforcement mechanisms and penalties.

NOTE: Modification of an Approved Site Plan: Any and all variation between development and/or land use activity on the subject property and the approved site plan is a violation of law. An approved site plan shall be revised and approved via the procedures of Subsections 98-908(2) and (4) so as to clearly and completely depict any and all proposed modifications to the previously approved site plan, prior to the initiation of said modifications.

III.FINAL APPLICATION PACKET INFORMATION

_____ Receipt of 1 full scale copy in blue line or black line
of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

_____ Receipt of 8 reduced (8.5" by 11" text and 11" x 17" graphics)
copies of complete Final Application Packet by Zoning Administrator: Date: _____ by: _____

_____ A digital copy of Final Application Packet shall be emailed to the
Building and Zoning Department upon submittal deadline. Date: _____ by: _____

November 1, 2023

**Mr. Fred Walling
Zoning Administrator
City of Lake Geneva
626 Geneva Street
Lake Geneva, WI 53147**

***Re: APPLICATION FOR CONDITIONAL USE & SITE PLAN APPROVAL
ADDITIONS AND ALTERATIONS TO THE BURTON RESIDENCE
890 MAYTAG ROAD, LAKE GENEVA, WISCONSIN***

Dear Mr. Walling & Plan Commission Members,

Mike and Anne Burton, the Owners at 890 Maytag Road, respectfully request a Conditional Use Approval to make additions and alterations to an existing single family residence as permitted by the ER-1 Zoning District with SR-4 setbacks as described below. Tax Key No. ZCE 00010

The owners purchased the existing single family residence in 2020. Renovations and alterations were performed on the house in 2001, with architectural drawings provided by the owner showing previous construction with conditional use approval dated 6-20-2001.

The owners desire to make additions and alterations to the existing home to improve the architectural interest of the exterior and better fit their needs on the interior. The existing home has five bedrooms and four baths. The additions and alterations will not change the bedroom and bath count. Existing three car garage and driveway will not be altered.

The Existing Site is approximately 14,854 sq. ft. (0.34 acres) in size and is zoned ER-1 substandard with SR-4 zoning standards.

The setbacks determined during 2001 conditional use will be maintained at: 40' street yard, 6' side yard (west), 9' side yard (east) and +/- 59' existing construction to OHW.

Existing building height of 26'-11" will be maintained and is less than the 35' maximum allowable height.

A cupola and weathervane will be added that will measure 39'-0" in height, which is less than 45' maximum height for a cupola with no usable space.

An eyebrow dormer will be added on the east side of the garage wing roof which does not impact building height.

A window box bay will be added over the north side of the garage wing. This will cantilever 1'-0" north and will be 49'-10" from street side property line.

A roofed awing on brackets will be added on the east side of the garage wing above the garage doors. This addition fully complies with building setbacks.

The existing two-story brick porch entrance will be removed for a new two story covered porch that extends the full width of the north side of the main residence. The addition will fully comply with street and side yard setbacks. The addition will increase the impervious surface area of the site by 74 sf.

The existing home is 3940sf on two levels. The proposed porch alteration reduces the finished space by 22 sf. The proposed second floor window box bay addition adds 18sf. As such, the proposed home will have 2936sf of finished space.

The brick, siding and trim for the new additions will match existing. All will be painted white to blend all of the new and existing finishes together and harmonize the design. New charcoal colored asphalt shingles and metal roofing will complement the white exterior.

The existing landscaping on site will be minimally disturbed for the new covered entry porch addition. Small planting beds will connect the covered entry porch to the existing driveway and be planted with perennial shrubs and annuals by owner. Existing landscaping will be otherwise maintained by owner and no landscape plan is being submitted.

The following documents are enclosed to facilitate the review of the proposed Conditional Use approval within the CB Central Business Zoning District:

- A. A Zoning Map of the Subject Site in relation to the City of Lake Geneva.
- B. An Aerial Photo (taken from GIS mapping site) showing neighboring properties and proximity to intersection of Maytag Drive and S Lake Shore Drive.
- C. A Certified Survey Map which depicts the dimensions of the subject property.
- D. A Site Grading, Drainage and Erosion Control Plan prepared by civil engineer.
- E. Architectural Drawings of the Proposed Project Site Plan, Floor Plans and Elevations.
- F. Color Rendering showing exterior material finish and color palette.
- G. Landscape plan

Thank you for your consideration of the above project. Please let me know if you need additional information or have any questions.

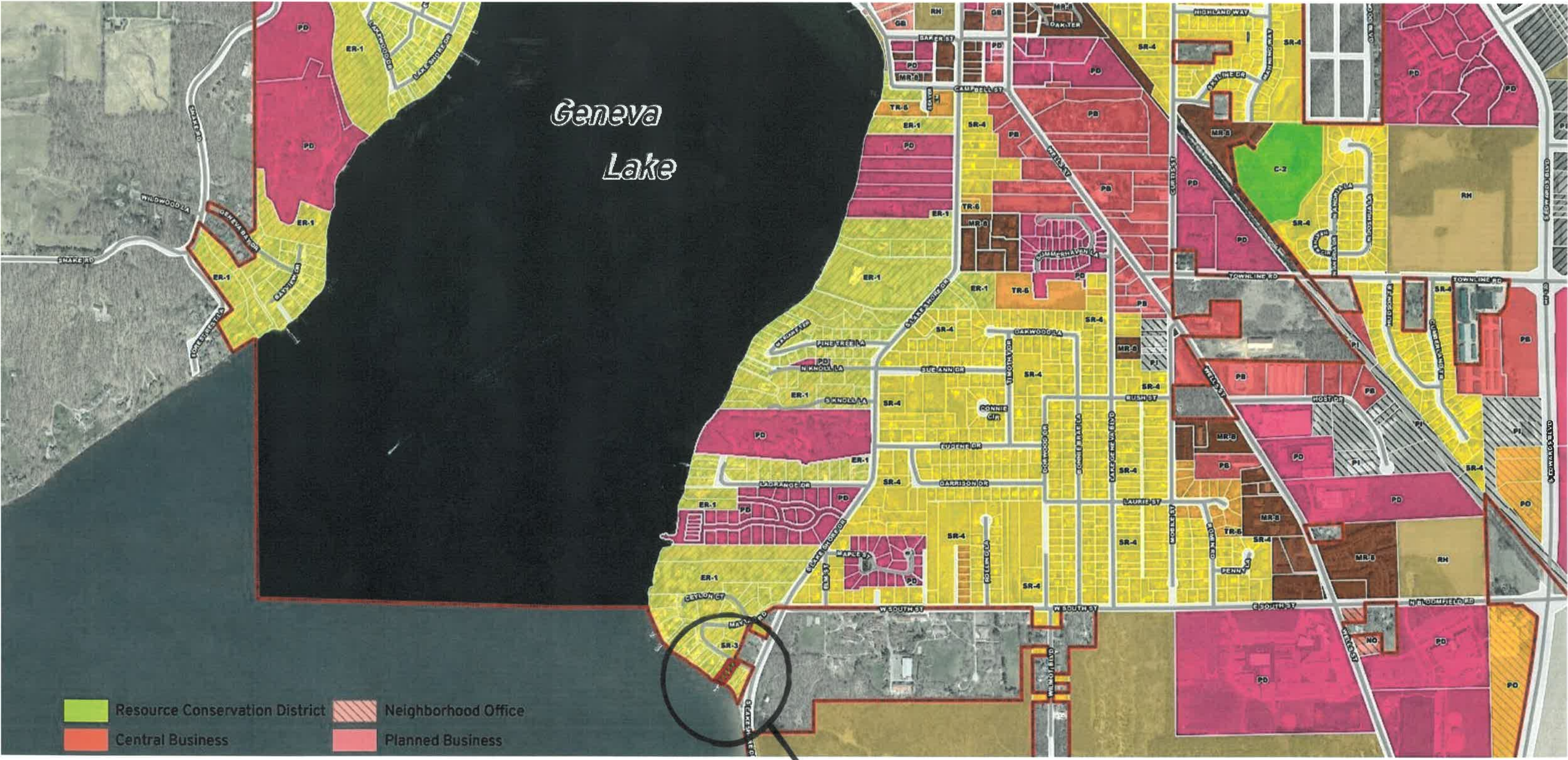
Sincerely,

A handwritten signature in black ink, appearing to read "Don Rudat", with a stylized flourish extending from the end.

Don Rudat

Sr. Project Manager

McCormack + Etten / Architects LLP



PROJECT LOCATION

Exhibit "A" - Zoning Map

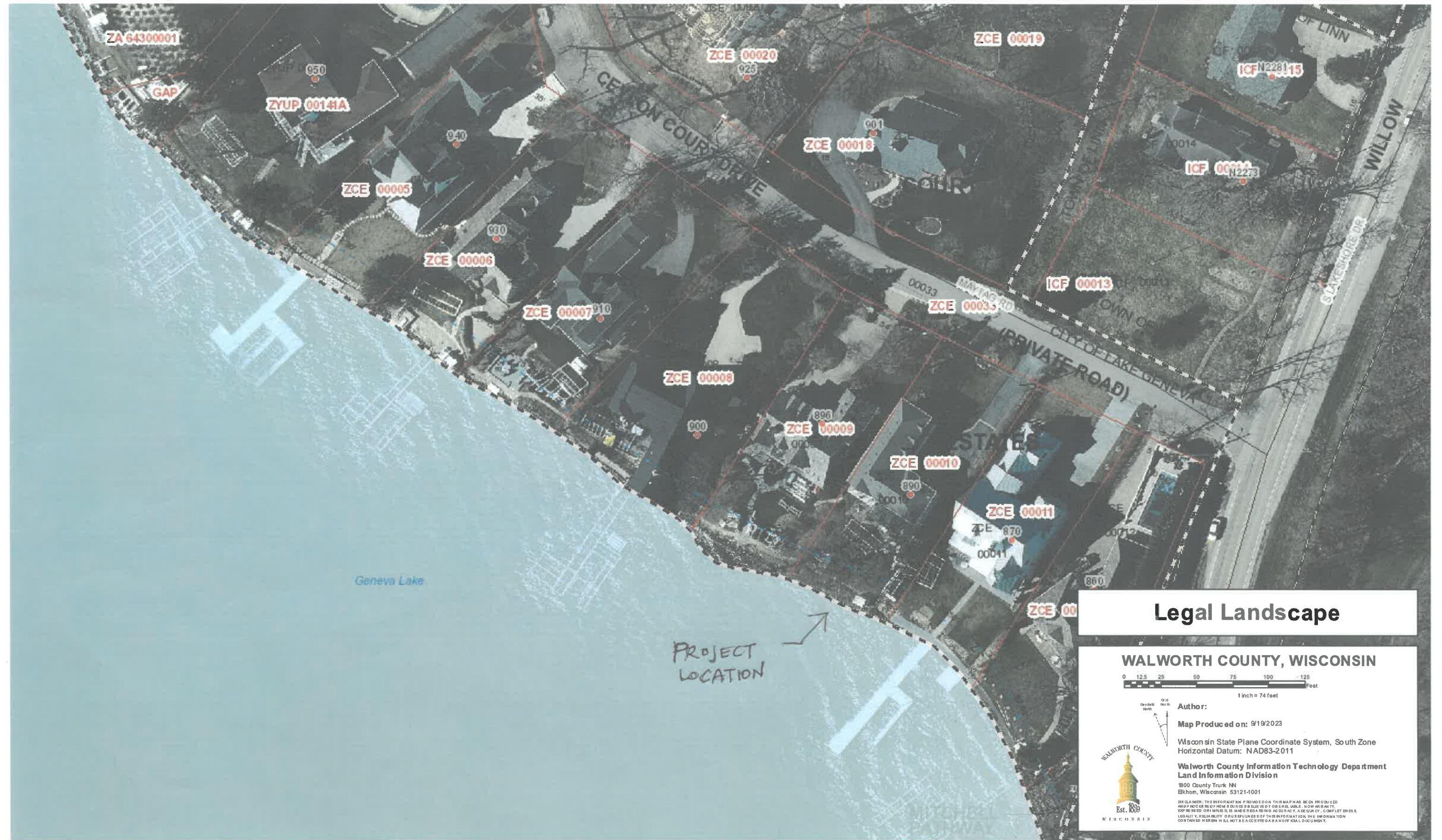
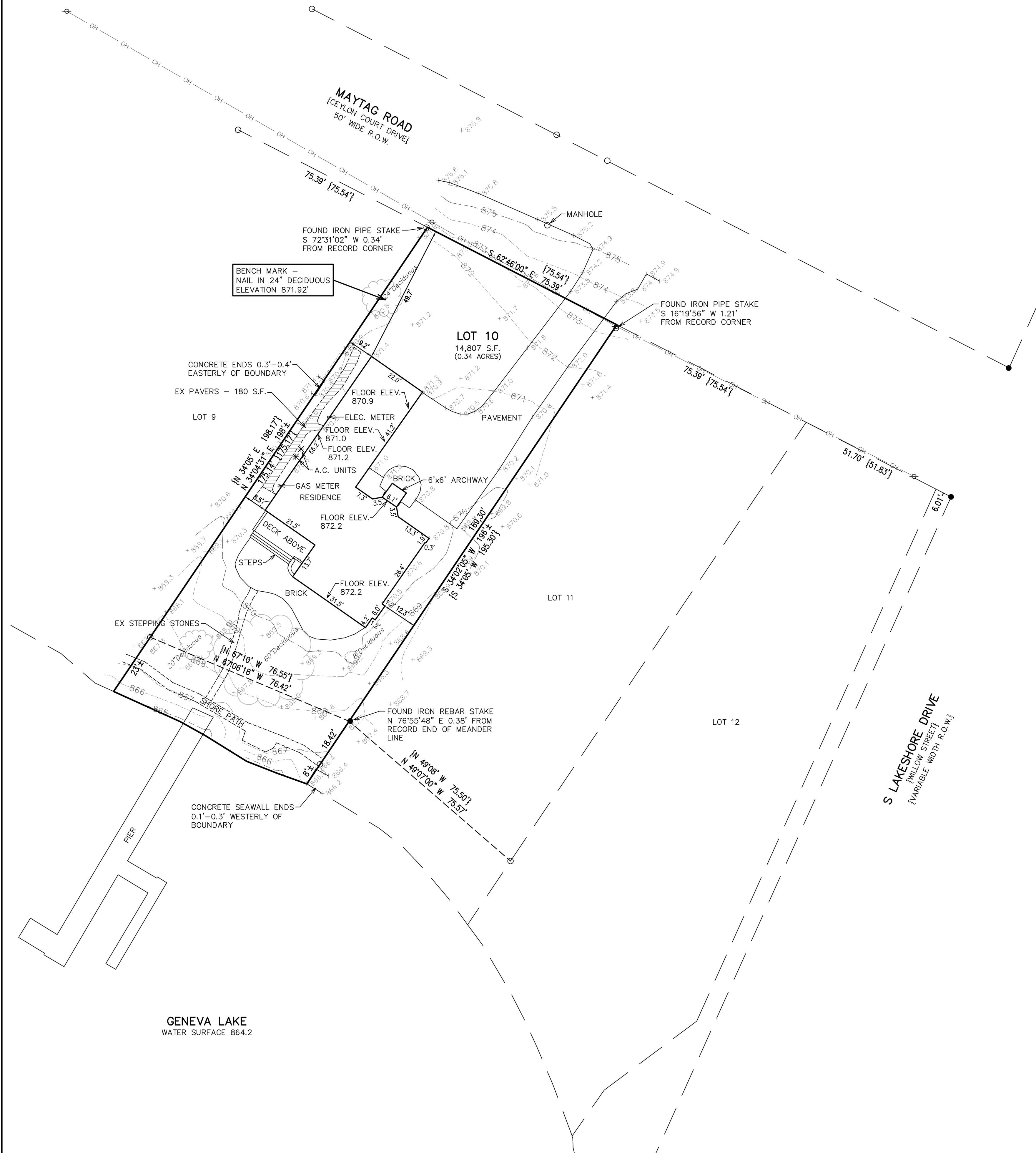


Exhibit "B" - Aerial Photo (GIS mapping)

TOPOGRAPHIC SURVEY
LOT 10 OF CEYLON COURT ESTATES

LOCATED IN PART OF THE NE 1/4 & NW 1/4 OF THE SOUTHWEST 1/4 OF SECTION 1, TOWN 1 NORTH, RANGE 17 EAST,
CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN



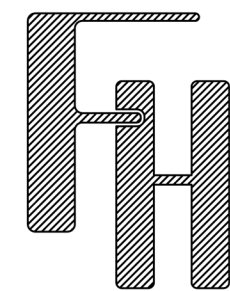
- LEGEND
- = FOUND IRON PIPE STAKE
 - = FOUND IRON REBAR STAKE
 - ⊕ = UTILITY POLE LOCATED
 - OH — = OVERHEAD WIRES
 - {xxx} = RECORDED AS

NOTE: COPIES OF THIS MAP TO WHICH THE FOLLOWING CERTIFICATE WILL APPLY SHOW THE SURVEYOR'S ORIGINAL SEAL AND SIGNATURE IN RED INK. COPIES BY ANY OTHER MEANS MAY HAVE ALTERATIONS WHICH DO NOT REPRESENT THE SURVEYOR'S WORK PRODUCT.

I HEREBY CERTIFY THAT THE ABOVE DESCRIBED PROPERTY HAS BEEN SURVEYED UNDER MY DIRECTION AND THAT THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY AND ITS EXTERIOR BOUNDARIES. THIS SURVEY IS MADE FOR THE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO WITHIN ONE YEAR FROM THE DATE HEREOF.

DATED: 10/6/2023

CHRISTOPHER A. HODGES P.L.S. 2760



TOPOGRAPHIC SURVEY

890 MAYTAG ROAD
LAKE GENEVA, WISCONSIN

WORK ORDERED BY —
MCCORMACK ETIEN ARCHITECTS, LLP
400 BROAD STREET, SUITE 2
LAKE GENEVA, WI 53147

FARRIS, HANSEN & ASSOCIATES, INC.

ENGINEERING — ARCHITECTURE — SURVEYING

7 RIDGWAY COURT P.O. BOX 437
ELKHORN, WISCONSIN 53121

PHONE: (262) 723-2098 e-mail: office@farris-hansen.com

REVISIONS

10-11-23
UPDATE PATHS

PROJECT NO.

10942

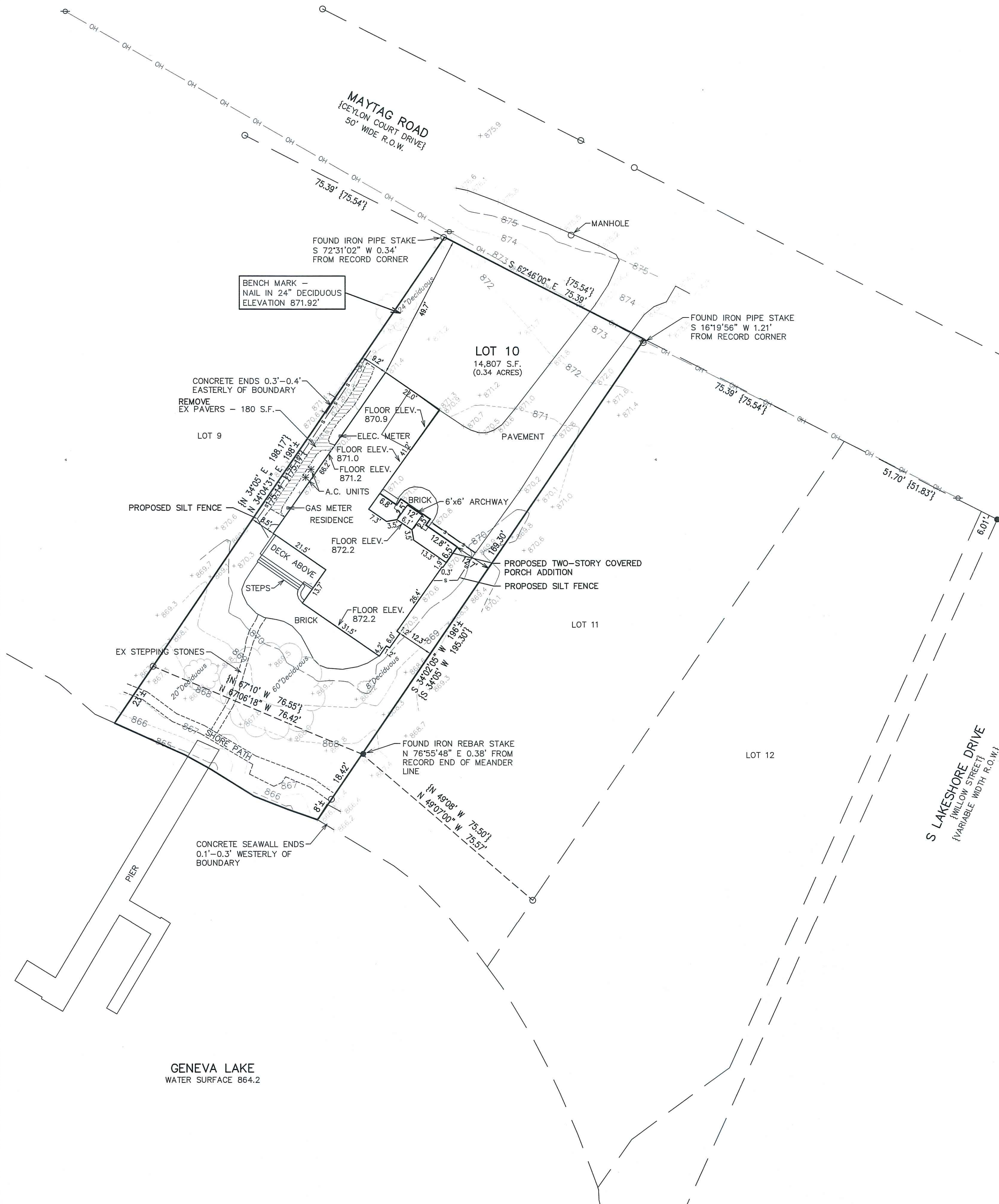
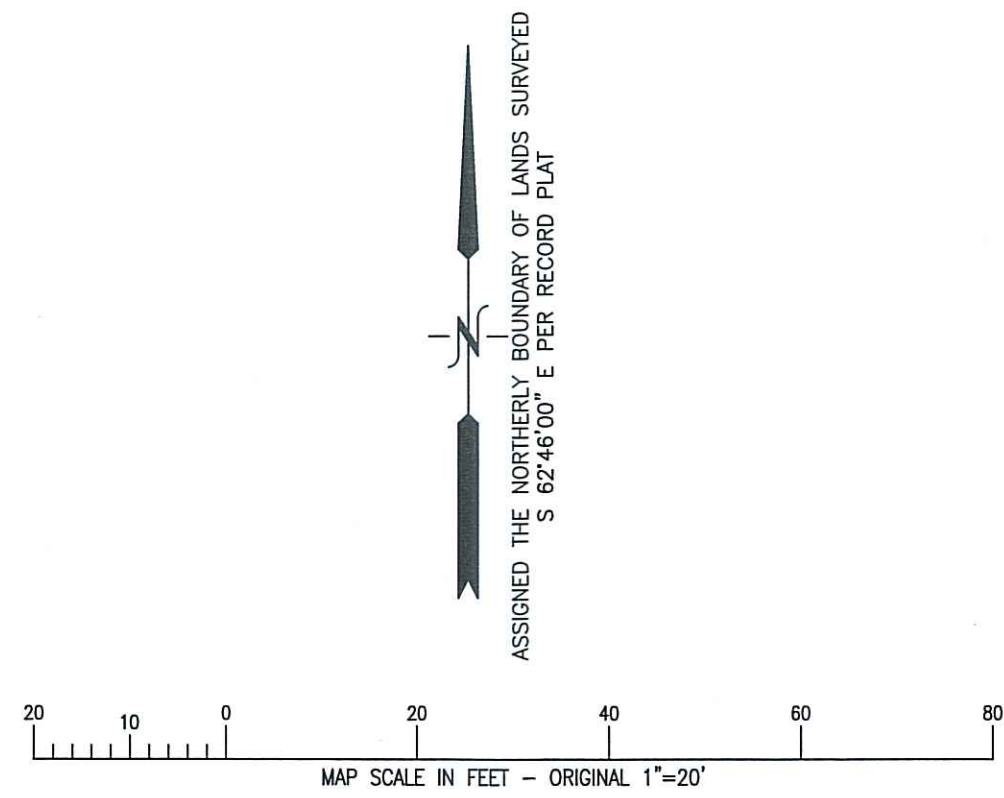
DATE

10/06/2023

SHEET NO.

1 OF 1

PLAT OF SURVEY – PERMIT PLAT
LOT 10 OF CEYLON COURT ESTATES
LOCATED IN PART OF THE NE 1/4 & NW 1/4 OF THE SOUTHWEST 1/4 OF SECTION 1, TOWN 1 NORTH, RANGE 17 EAST,
CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN



CONSTRUCTION SEQUENCE

- 1) SILT FENCING INSTALLED
- 2) DEMO AND VEGETATION TO BE CLEARED
- 3) UTILITIES CONSTRUCTED.
- 4) FOUNDATIONS DUG & POURED
- 5) WALLS BACKFILLED
- 6) HOME PORCH COMPLETED
- 7) LANDSCAPING COMPLETED

ALL SILT FENCING SHALL BE MAINTAINED IN A STABLE CONDITION FULLY BRACED AND STAKED TO PREVENT MOVEMENT BY RUNOFF UNTIL A DENSE TURF IS ESTABLISHED OVER ALL DISTURBED GROUND SURFACES. DURING OR AFTER EVERY STORM THEY SHALL BE CHECKED. ACCUMULATIONS OF SILT TOPSOIL AND ANY OTHER CONSTRUCTION DEBRIS SHALL BE ROUTINELY REMOVED.

AREA TO BE RESTORED WITH IMPORTED SCREENED AND SHREDDED TOPSOIL (MINIMUM 6" DEPTH) AFTER FOUNDATION AND FRAMING AS SOON AS POSSIBLE FOLLOWED WITH GRASS SEEDING AND MULCH. TO SUPPLEMENT RESPREAD OF SALVAGED TOPSOIL

PROJECT DOES NOT CHANGE GRADE
AND DOES NOT INCREASE IMPERVIOUS SURFACES

ZONING INFO

PARCEL NO.:	ZCE 00010	ER-1	STANDARD LOT
ZONING DISTRICT:	CITY OF LAKE GENEVA -	SR-4	CONDITIONAL USE PER
			SEC. 98-407 CITY OF
			LAKE GENEVA ZONING
			ORDINANCE.
LOT AREA:	0.341 ACRES =	14,854 S.F.	
SETBACKS:			
FRONT OR STREET		40 FT	
INTERIOR SIDE		6 FT (MIN.)	
SHORE (EX. STRUCTURE TO OHWM)		15 FT (TOTAL)	
		57'-6" FT	
MAXIMUM BUILDING HEIGHT:		35 FT	
PROPOSED BUILDING (= EXIST.)			
LOT COVERAGE RATIO:			
50% MINIMUM LANDSCAPE SURFACE RATIO		7,427 SF	
40% MAXIMUM BUILDING COVERAGE		5,942 SF	
EXISTING BUILDING & IMPERVIOUS SURFACE COVERAGE			
EX HOUSE & GARAGE FOOTPRINT		2,715 SF	
EX REAR COVERED TERRACE		172 SF	
EX DRIVE		2,170 SF	
EX PAVER PATIO		638 SF	
EX A/C UNITS		40 SF	
EX STEPPING STONE PATH (PATIO TO PIER)		95 SF	
EX SHOREPATH PAVERS		268 SF	
EX PAVER PATHWAY (NW OF HOUSE)		210 SF	
APPROX. TOTAL EXIST. IMPERVIOUS SURFACES		6,308 SF	(42.5%)
PROPOSED BUILDING ADDITION			
REMOVE EXISTING ENTRY PORCH & FOYER BAY		(-62 SF)	
PROPOSED ENTRY PORCH ADDITION		233 SF	
TOTAL NEW ADDITION		177 SF	
REMOVE PORTION OF EX. PAVERS (NW OF HOUSE)		180 SF	
PROPOSED LANDSCAPE SURFACE RATIO		8,548 SF	(57.5%)
PROPOSED BUILDING COVERAGE		3,064 SF	(20.6%)

LEGEND

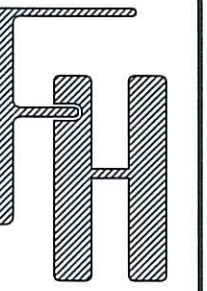
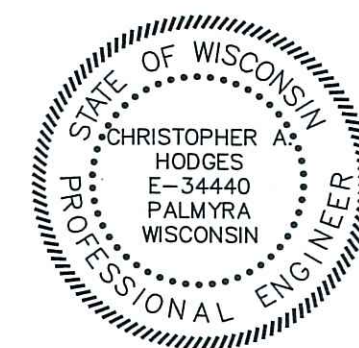
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- ⊕ = UTILITY POLE LOCATED
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- {XXX} = RECORDED AS

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DATED: 10/6/2023

CHRISTOPHER A. HODGES P.L.S. 2760



PERMIT PLAT
890 MAYTAG ROAD
LAKE GENEVA, WISCONSIN

— WORK ORDERED BY —
MCCORMACK ETTEN ARCHITECTS, LLP
400 BROAD STREET, SUITE 2
LAKE GENEVA, WI 53147

FARRIS, HANSEN & ASSOCIATES, INC.
ENGINEERING — ARCHITECTURE — SURVEYING
7 RIDGWAY COURT P.O. BOX 437
ELKHORN, WISCONSIN 53121
PHONE: (262) 723-2098 e-mail: office@farris-hansen.com

REVISIONS
10-11-23
UPDATE PATHS
11-2-23
PERMIT PLAT—TWO-STORY
COVERED PORCH

PROJECT NO.
10942
DATE
10/06/2023
SHEET NO.
1 OF 1

ADDITIONS AND ALTERATIONS TO THE

BURTON RESIDENCE

890 MATYAG ROAD

LAKE GENEVA, WI 53147

BUILDING DESIGN LOADS

- GOVERNING CODE: WISCONSIN ADMINISTRATIVE CODE: SPS-331 "UNIFORM DWELLING CODE"
- APPLIED DESIGN LOADS
 - DEAD (D):
 - FLOOR 10 PSF
 - ROOF 12 PSF
 - CEILING 5 PSF
 - APPLIED LIVE FLOOR (L):
 - 40 PSF
 - ROOF (Lr) 20 PSF
 - APPLIED SNOW (S):
 - GROUND SNOW LOAD (Pg) 30 PSF
 - APPLIED WIND (W):
 - BASIC WIND SPEED (3 sec. Gust) 90 MPH
 - EXPOSURE CATEGORY C
- DEAD LOADS REFLECT THE BASE LOADS FROM THE STRUCTURE. INDIVIDUAL AREAS MAY HAVE MORE LOAD DUE TO FINISH MATERIALS SPECIFIED ON PLANS

GENERAL CONSTRUCTION NOTES:

- NO CHANGES ARE TO BE MADE TO THESE PLANS WITHOUT THE KNOWLEDGE AND WRITTEN CONSENT OF THE ARCHITECT.
- ALL DIMENSIONS CONTROLLED BY EXISTING CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE.
- CONSTRUCTION AND MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH ALL THE REQUIREMENTS OF ALL LEGALLY CONSTITUTED PUBLIC AUTHORITIES HAVING JURISDICTION ON THE PROJECT, INCLUDING ALL COUNTY AND LOCAL ORDINANCES, AND THE SAFETY ORDERS OF THE STATE INDUSTRIAL ACCIDENT COMMISSION (OSHA).
- THE GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES FOUND WITHIN THE CONTRACT DOCUMENTS.
- ALL WORK PERFORMED SHALL CONFORM WITH THE REQUIREMENTS OF THE CURRENT BUILDING CODE AND OTHER APPLICABLE GOVERNING CODES AND BUILDING ORDINANCES. REFER TO BUILDING DESIGN LOADS FOR ADDITIONAL INFORMATION.
- ALL STRUCTURAL MATERIALS SHALL BE FURNISHED AS SHOWN IN THESE PLANS UNLESS ALTERNATES ARE APPROVED IN WRITING BY THE ARCHITECT.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SHORING AND PROVIDING BRACING DURING CONSTRUCTION ERECTION TO SUPPORT ALL CONSTRUCTION LOADS TO WHICH THE STRUCTURE MAY BE SUBJECTED.
- THE DRAWINGS AND SPECIFICATIONS REPRESENT THE COMPLETED STRUCTURE AND DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE RESPONSIBLE FOR CONSTRUCTION METHODS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, INCLUDING BUT NOT LIMITED TO BRACING AND SHORING. OBSERVATION VISITS TO THE SITE BY FIELD REPRESENTATIVES OF THE ARCHITECT SHALL NOT INCLUDE INSPECTIONS OF THE PROTECTIVE MEASURES OR THE CONSTRUCTION PROCEDURES. ANY SUPPORT SERVICES PERFORMED BY THE ARCHITECT DURING THE CONSTRUCTION SHALL BE DISTINGUISHED FROM CONTINUOUS AND DETAILED INSPECTION SERVICES WHICH ARE FURNISHED BY OTHERS. THESE SUPPORT SERVICES PERFORMED BY THE ARCHITECT ARE FOR THE PURPOSE OF QUALITY CONTROL AND IN THE INTEREST OF ACHIEVING COMPLIANCE WITH THE CONTRACT DOCUMENTS. THEY DO NOT GUARANTEE THE CONTRACTOR'S PERFORMANCE AND SHALL NOT BE CONSTRUED AS CONSTRUCTION SUPERVISION.
- THE SHOP DRAWING REVIEW PROCESS BY THE ARCHITECT WILL ONLY COMMENCE AFTER THE PREPARATION OF SHOP DRAWINGS HAVE BEEN AS FOLLOWS:
 - INITIALLY REVIEWED AND ACCEPTED AS CONFORMING WITH THE CONSTRUCTION DRAWINGS BY THE RESPONSIBLE SUPERVISOR AND DRAWING CHECKER WITH THEIR SIGNATURES.
 - APPROVED AND ACCEPTED WITH A STAMP FROM THE GENERAL CONTRACTOR AS CONFORMING TO THE CONSTRUCTION DOCUMENTS.
 - A MINIMUM OF 10 WORKING DAYS HAS BEEN ALLOCATED FOR THE REVIEW PROCESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF THE SHOP DRAWING REVIEW SCHEDULE.
- SEE THE SPECIFICATIONS PACKAGE PRODUCED FOR ADDITIONAL REQUIREMENTS, IF APPLICABLE.

DEMOLITION NOTES:

- ALL WORK SHALL COMPLY WITH APPLICABLE BUILDING CODE STANDARDS, OSHA STANDARDS AND ANY ADDITIONAL REQUIREMENTS AS SPECIFIED BY THE LOCAL BUILDING INSPECTOR.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS FOR CONFORMANCE TO LOCAL AND STATE LAWS.
- ALL ACTIVE UTILITIES DESIGNATED TO REMAIN SHALL BE PRESERVED IN OPERATING CONDITION.
- NOTIFY ALL UTILITY COMPANIES (JULIE, DIGGERS HOTLINE, ETC.) AS APPLICABLE. EXTREME CAUTION SHALL BE TAKEN TO VERIFY LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
- PROVIDE ADEQUATE SHORING AND BRACING OF ALL RELATED STRUCTURE TO REMAIN PRIOR TO ANY DEMOLITION OPERATIONS. NOTIFY ARCHITECT OF ANY STRUCTURAL CONCERN IMMEDIATELY.
- USE ALL MEANS NECESSARY TO PROTECT EXISTING OBJECTS DESIGNATED TO REMAIN. IN THE EVENT OF DAMAGE, IMMEDIATELY MAKE ALL REPAIRS AND REPLACEMENTS TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST.
- CONDUCT DEMOLITION OPERATIONS AND THE REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT OCCUPIED OR USED FACILITIES.
- REMOVE ALL DEBRIS, RUBBISH OR OTHER MATERIALS RESULTING FROM THE DEMOLITION ON A DAILY BASIS. FINAL CLEANUP SHALL BE TAKEN TO VERIFY LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
- ALL WALLS, CEILINGS, FLOORS, CONCRETE SLABS, FOOTINGS AND FOUNDATIONS SHALL BE REMOVED AS NOTED ON DRAWINGS.
- ALL MECHANICAL, PLUMBING OR ELECTRICAL EQUIPMENT, DOORS AND WINDOWS, APPLIANCES, CABINETS, SPECIAL MILLWORK AND OTHER ITEMS REMOVED SHALL BE STORED AS DIRECTED BY OWNER, UNLESS OTHER AGREEMENT FOR SALVAGE.

SITE NOTES

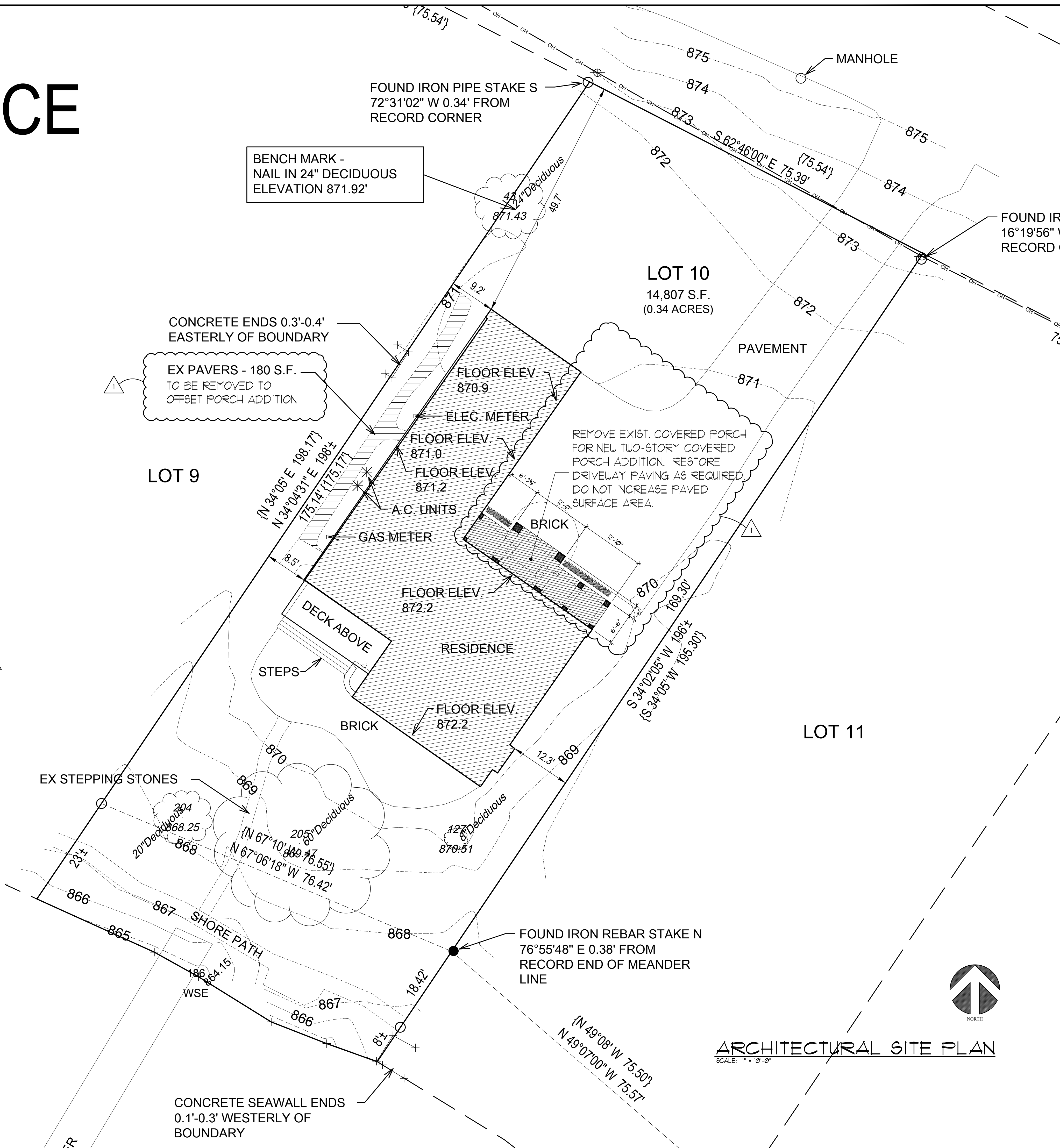
- SURVEY INFORMATION SHOWN HEREIN IS TAKEN FROM PLAT OF SURVEY PREPARED BY (ROBERT BAERENWALD, LAKE GENEVA, WI 53147, DATED (JULY 23, 1986) PROJECT NO: (0328)
- NO WARRANTY IS MADE REGARDING THE ACCURACY OF THE SURVEY
- ALL TREES AND SHRUBBERY OUTSIDE OF 10' (TEN) PERIMETER OF THE BUILDING STRUCTURE SHALL REMAIN AND SHALL BE PROTECTED FROM DAMAGE AT ALL TIMES, UNLESS OTHERWISE DIRECTED. WITHIN THE CROWN LINE OF ANY TREES TO REMAIN, DO NOT STORE ANY MATERIALS, STOCKPILE SOIL, PARK OR DRIVE VEHICLES OR EQUIPMENT, CHANGE EXISTING GRADE, WATER LEVEL OR DRAINAGE PATTERNS, UNLESS SPECIFICALLY PERMITTED TO DO SO BY THE ARCHITECT. DAMAGED TREES SHALL BE REPLACED BY NEGLIGENT PARTY WITH STOCK OF EQUAL SIZE AND VALUE.
- PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE IN ALL DIRECTIONS. VERIFY GRADES AND RELATIVE FLOOR LEVELS IN FIELD PRIOR TO EXCAVATION AND MAKE ADJUSTMENTS AS DIRECTED BY ARCHITECT TO ENSURE PROPER DRAINAGE.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING EROSION CONTROL MEASURES AT SITE DURING CONSTRUCTION AS REQUIRED BY LOCAL AUTHORITIES.
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES AND HAVE ALL EXISTING UTILITIES STAKED PRIOR TO ANY CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING FIELD CONDITIONS PRIOR TO INITIATING ANY CONSTRUCTION.
- ALL INSTALLATIONS SHALL CONFORM TO THE APPROPRIATE REGULATORY AGENCY REQUIREMENTS.
- ERRORS IN TOPOGRAPHY AND/OR FAILURE TO NOTIFY ARCHITECT OF DISCREPANCIES SHALL VOID THIS DESIGN.

ZONING INFO

PARCEL NO:	ZCE 00010
ZONING DISTRICT:	CITY OF LAKE GENEVA - ER-1 SUBSTANDARD LOT SR-4 CONDITIONAL USE PER SEC. 98-401 CITY OF LAKE GENEVA ZONING ORDINANCE.
LOT AREA:	± 0.341 ACRES ± 14,854 S.F.
SETBACKS:	
FRONT OR STREET	40 FT
INTERIOR SIDE	6 FT (MIN)
SHORE (EX. STRUCTURE TO OHM)	15 FT (TOTAL) ± 51'-6" FT
MAXIMUM BUILDING HEIGHT:	35 FT
PROPOSED BUILDING (+ EXIST.)	26'-11"
LOT COVERAGE RATIO:	
50% MINIMUM LANDSCAPE SURFACE RATIO	1,421 SF
40% MAXIMUM BUILDING COVERAGE	5,942 SF
EXISTING BUILDING 4 IMPERVIOUS SURFACE COVERAGE	
EX HOUSE 4 GARAGE FOOTPRINT	2,115 SF
EX REAR COVERED TERRACE	172 SF
EX DRIVE	2,710 SF
EX PAVEMENT PATIO	638 SF
EX A/C UNITS	40 SF
EX STEPPING STONE PATH (PATIO TO FIER)	36 SF
EX SHOREPATH PAVERS	268 SF
EX PAVEMENT PATHWAY (NW OF HOUSE)	210 SF
APPROX. TOTAL EXIST. IMPERVIOUS SURFACES	6,509 SF (42.5%)
PROPOSED BUILDING ADDITION	
REMOVE EXISTING ENTRY PORCH 4 FOYER BAY	(-62 SF)
PROPOSED ENTRY PORCH ADDITION	233 SF
TOTAL NEW ADDITION	171 SF
REMOVE PORTION OF EX. PAVERS (NW OF HOUSE)	180 SF
PROPOSED LANDSCAPE SURFACE RATIO	8,548 SF (51.5%)
PROPOSED BUILDING COVERAGE	3,064 SF (20.6%)

INDEX OF DRAWINGS:

- | | |
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| A-0 | FOUNDATION PLAN 4 GENERAL STRUCTURE NOTES |
| A-1 | FIRST FLOOR PLAN w/ DEMO |
| A-2 | SECOND FLOOR w/ DEMO |
| A-3 | ROOF PLAN w/ DEMO |
| A-4 | EXTERIOR ELEVATION - NORTHEAST (STREET) |
| A-5 | EXTERIOR ELEVATION - NORTHWEST |
| A-6 | EXTERIOR ELEVATION - SOUTHWEST (LAKE) |
| A-7 | EXTERIOR ELEVATION - SOUTHEAST |
| A-8 | BUILDING SECTIONS |
| A-9 | SECTIONS 4 DETAILS |
| FME-1 | FIRST FLOOR SCHEMATIC LIGHTING 4 ELECTRICAL PLAN |
| FME-2 | SECOND FLOOR SCHEMATIC LIGHTING 4 ELECTRICAL PLAN |



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contact@mccormackeiten.com
www.mccormackeiten.com



ADDITIONS AND ALTERATIONS TO THE
BURTON RESIDENCE
890 MATYAG ROAD
LAKE GENEVA, WI 53147

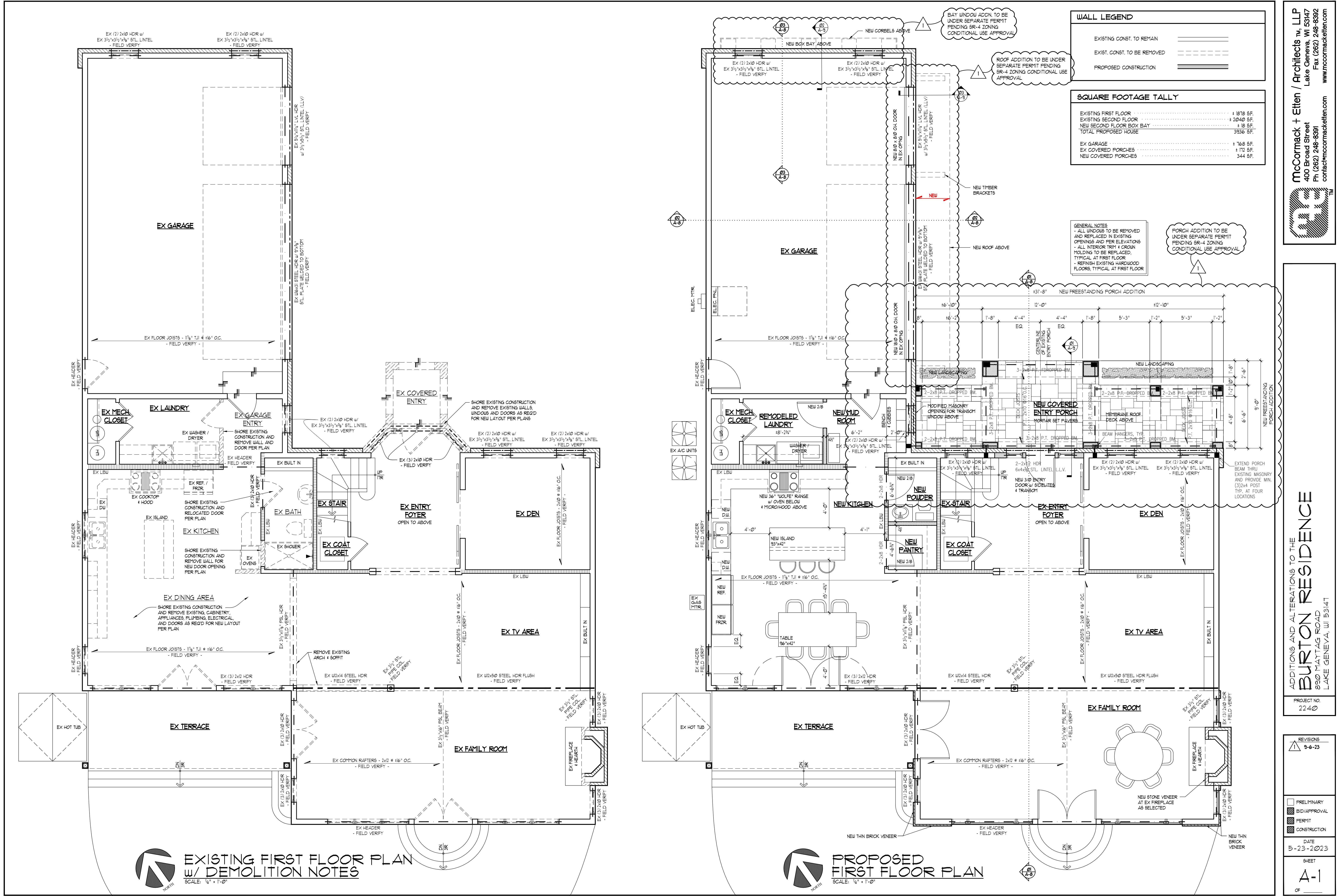
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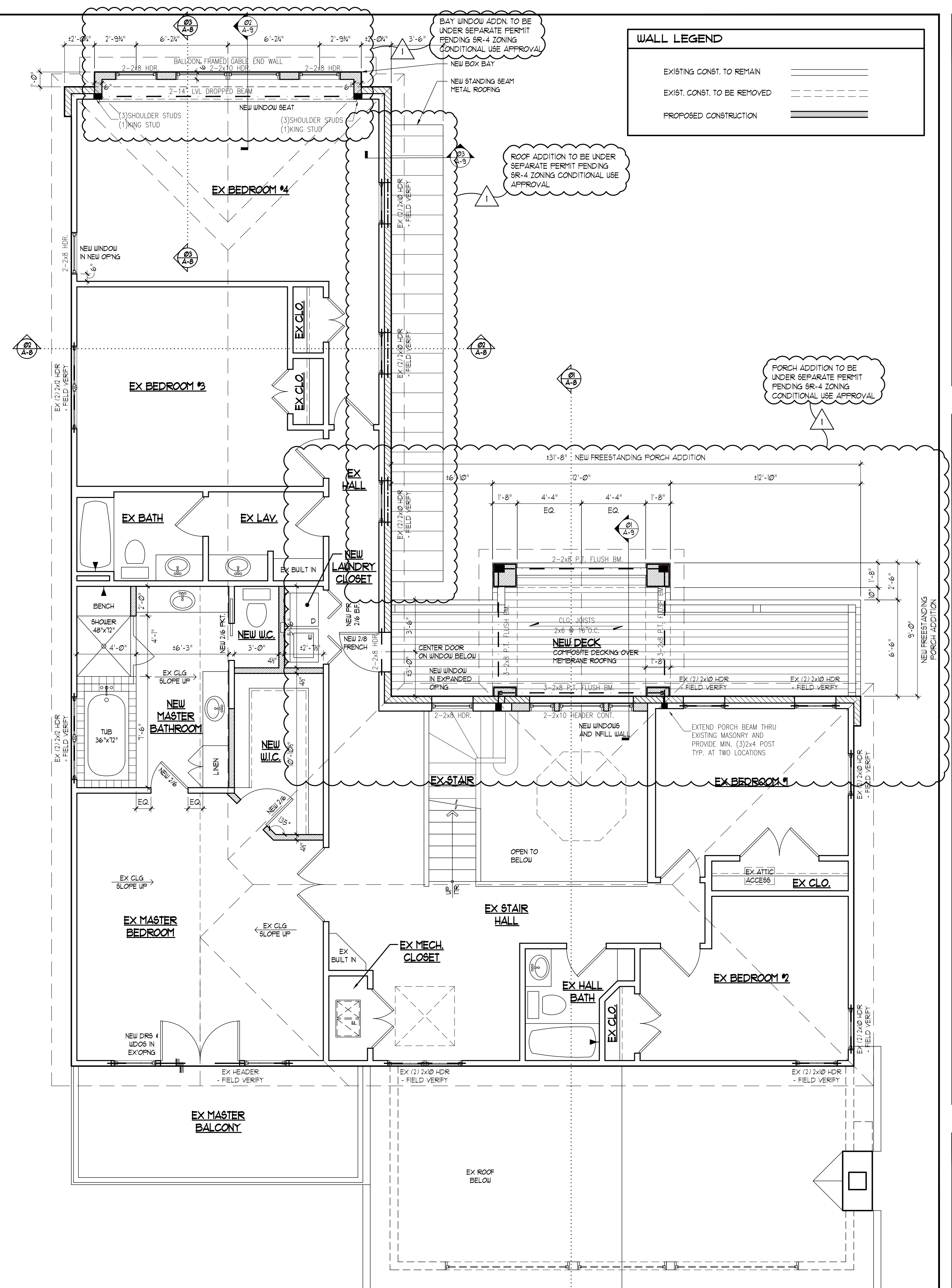
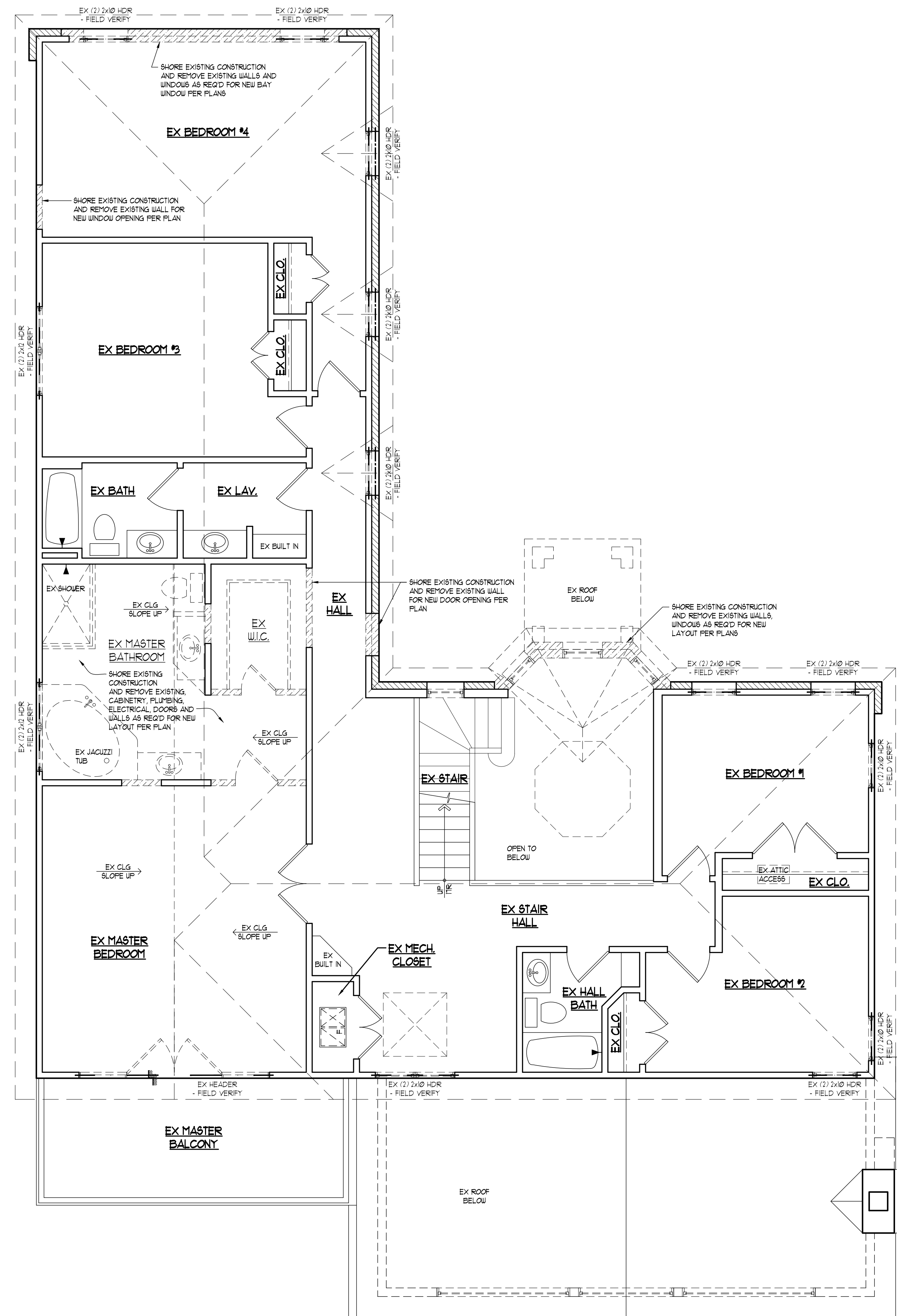
REVISIONS
1 10-11-23

PRELIMINARY
BID/APPROVAL
PERMIT
CONSTRUCTION

DATE
5-23-2023

SHEET
AS-1
OF





McCormack + Effen / Architects™, LLC
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Ph (262) 248-8391
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BURTON RESIDENCE
890 MAYTAG ROAD
LAKE GENEVA, WI 53147

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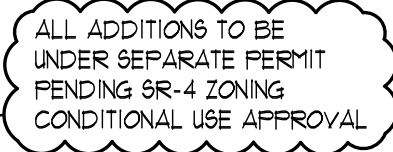
REVISIONS
9-6-23

PRELIMINARY
 BID/APPROVAL
 PERMIT
 CONSTRUCTION

DATE
-23-2023

SHEET
A-2
OF

1. ALL WINDOW AND EXTERIOR DOORS SHALL BE "MARVIN" WINDOW CO. UNITS, ALUMINUM CLAD UNLESS OTHERWISE NOTED OR SELECTED. COLOR AS SELECTED.
2. UNIT NUMBERS CORRESPOND WITH UNIT DIMENSIONS IN WIDTH AND HEIGHT IN INCHES.
3. ALL GLAZING IN WINDOW AND DOOR UNITS SHALL COMPLY WITH WISCONSIN UNIFORM BUELLING CODE SECTION 905.32105, AND OTHER STANDARDS AS APPLICABLE. PROVIDE TEMPERED OR SAFETY LAMINATED GLASS WHERE SO REQUIRED.

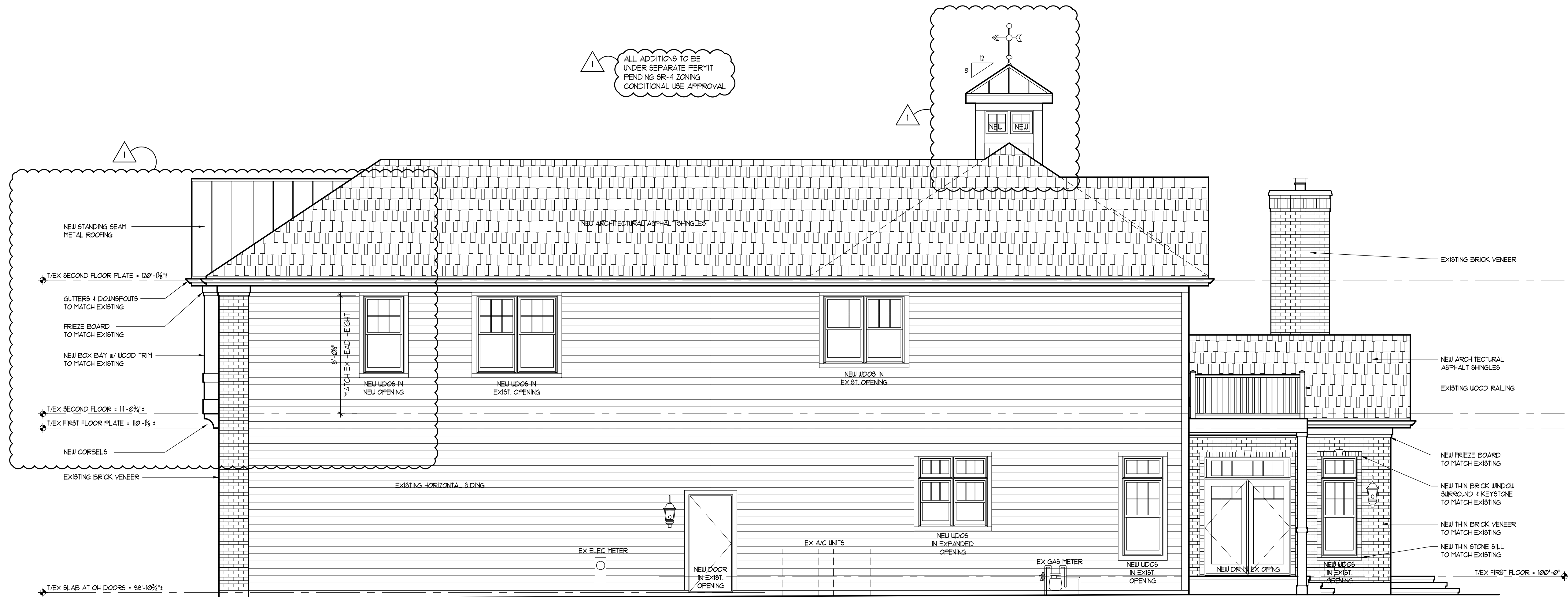


PROJECT NO.
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A = 4

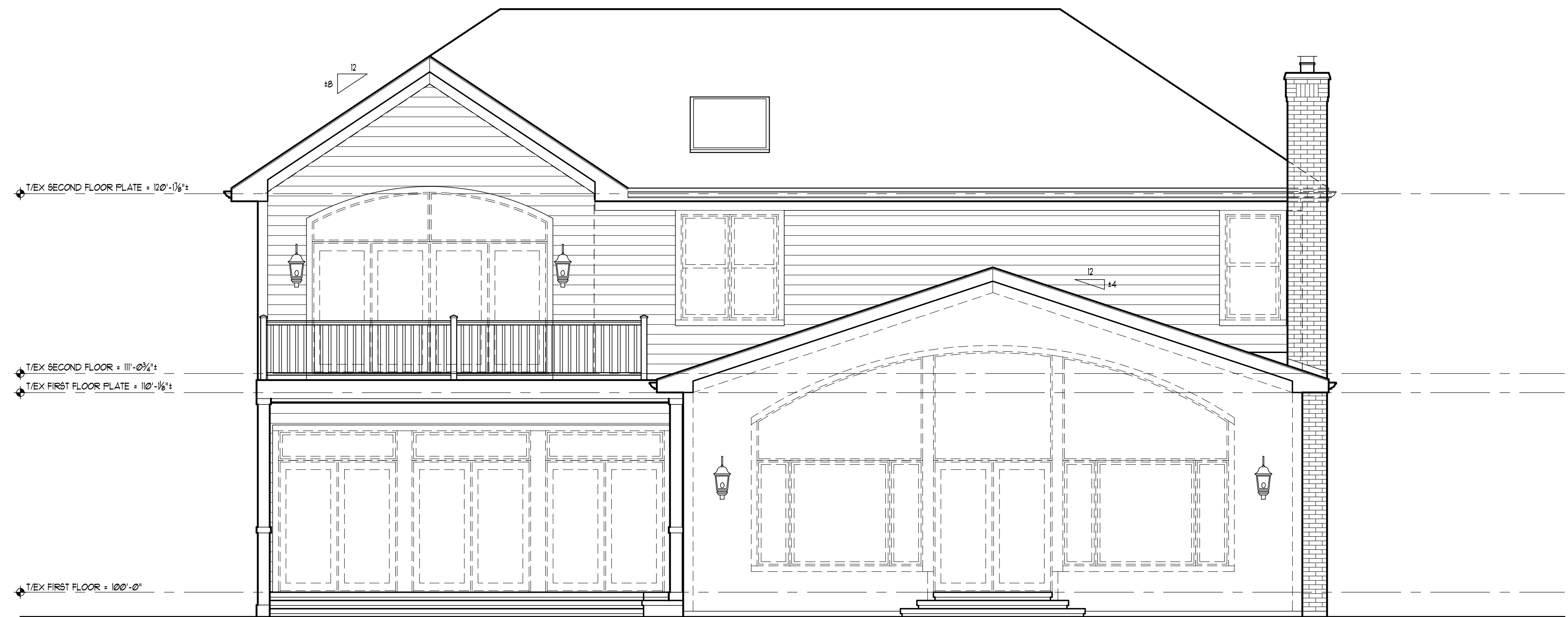


EXISTING NORTHWEST ELEVATION
w/ DEMOLITION NOTES
SCALE: 1/4" = 1'-0"

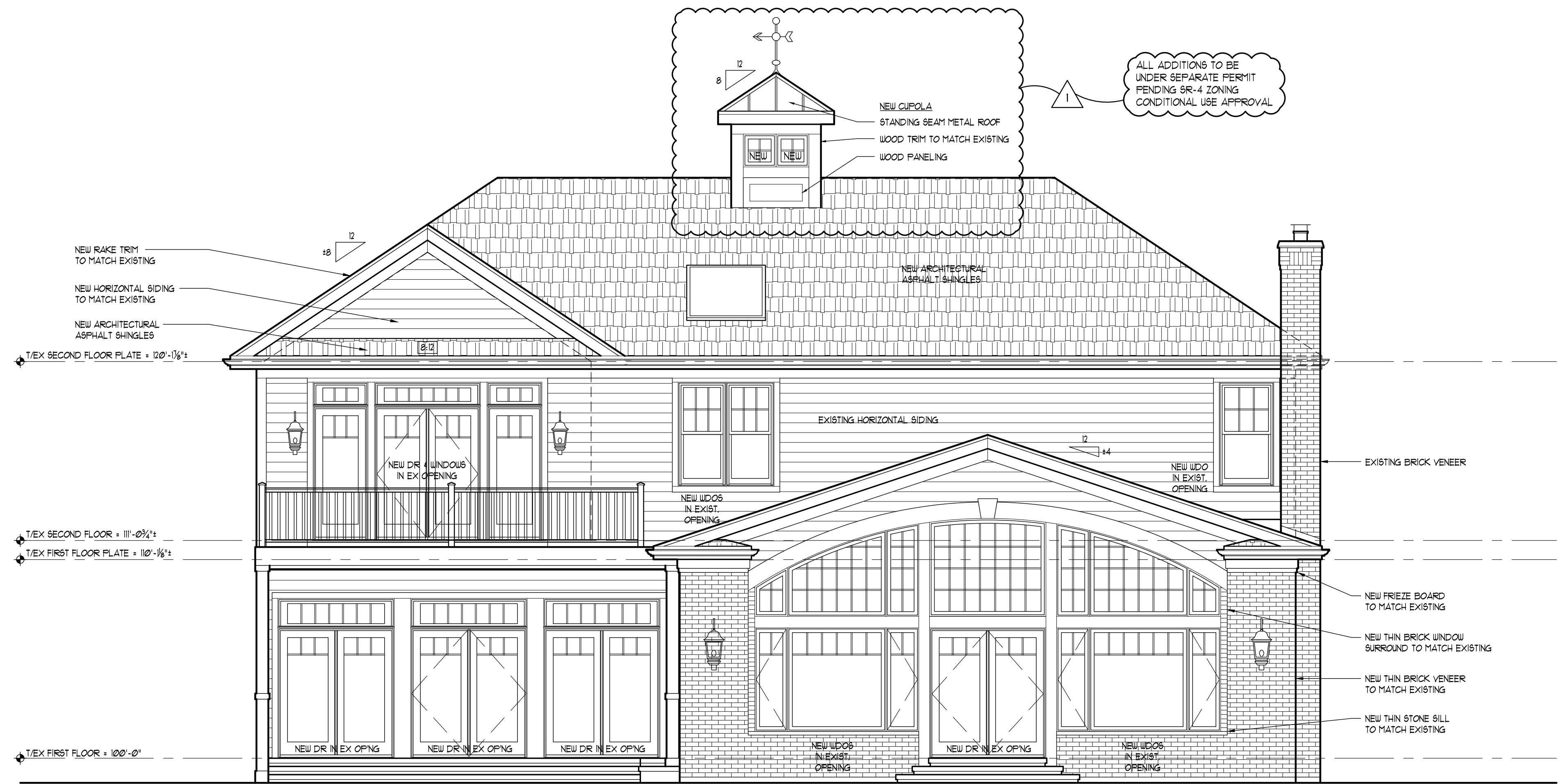


PROPOSED NORTHWEST ELEVATION
SCALE: 1/4" = 1'-0"

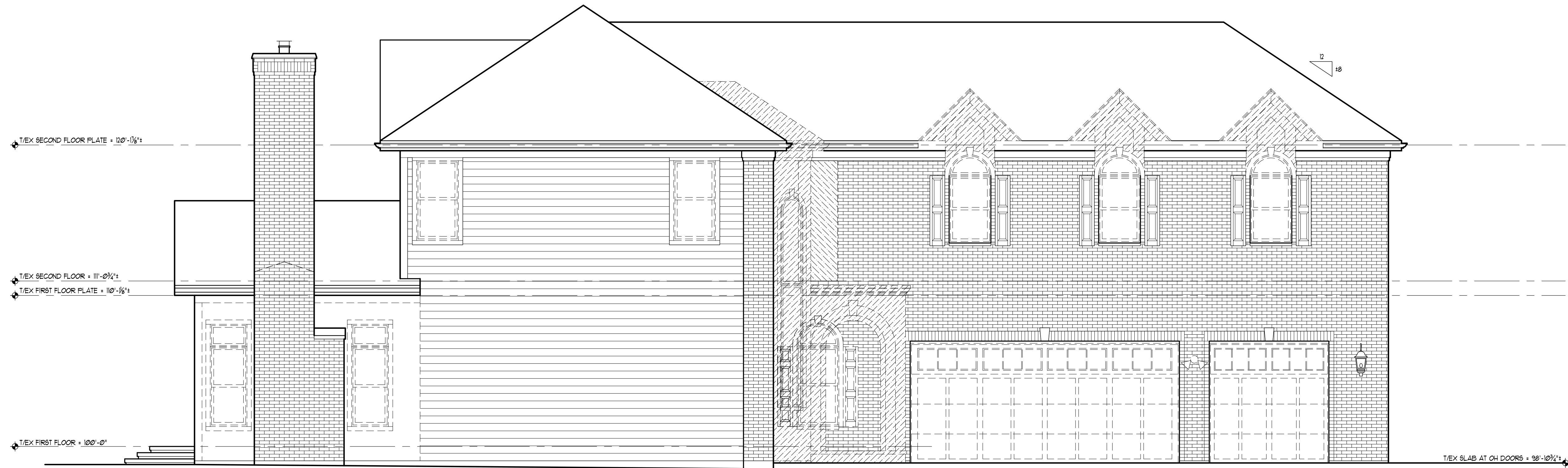




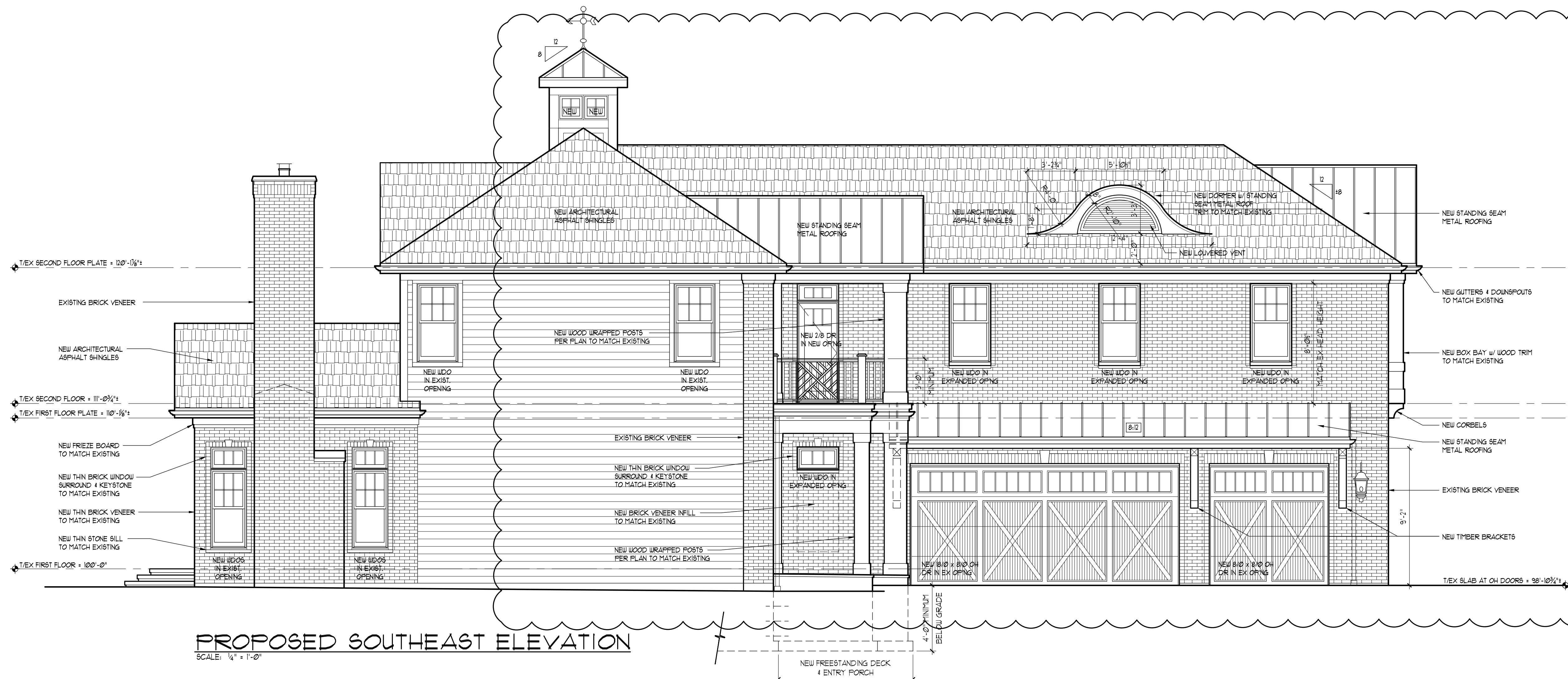
EXISTING SOUTHWEST (LAKE) ELEVATION
w/ DEMOLITION NOTES
SCALE: 1/4" = 1'-0"



PROPOSED SOUTHWEST (LAKE) ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING SOUTHEAST ELEVATION
w/ DEMOLITION NOTES
SCALE: 1/4" = 1'-0"



PROPOSED SOUTHEAST ELEVATION
SCALE: 1/4" = 1'-0"

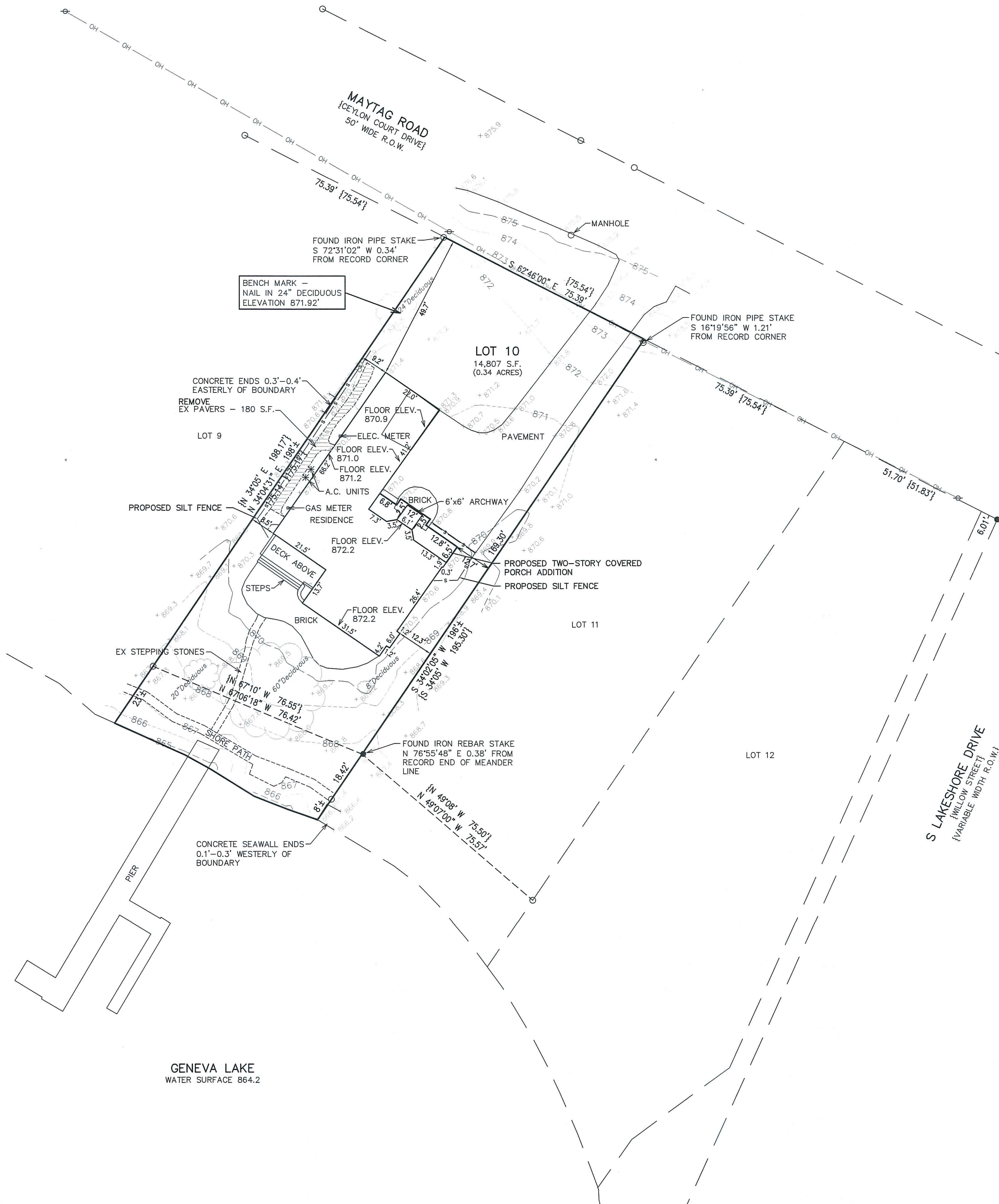
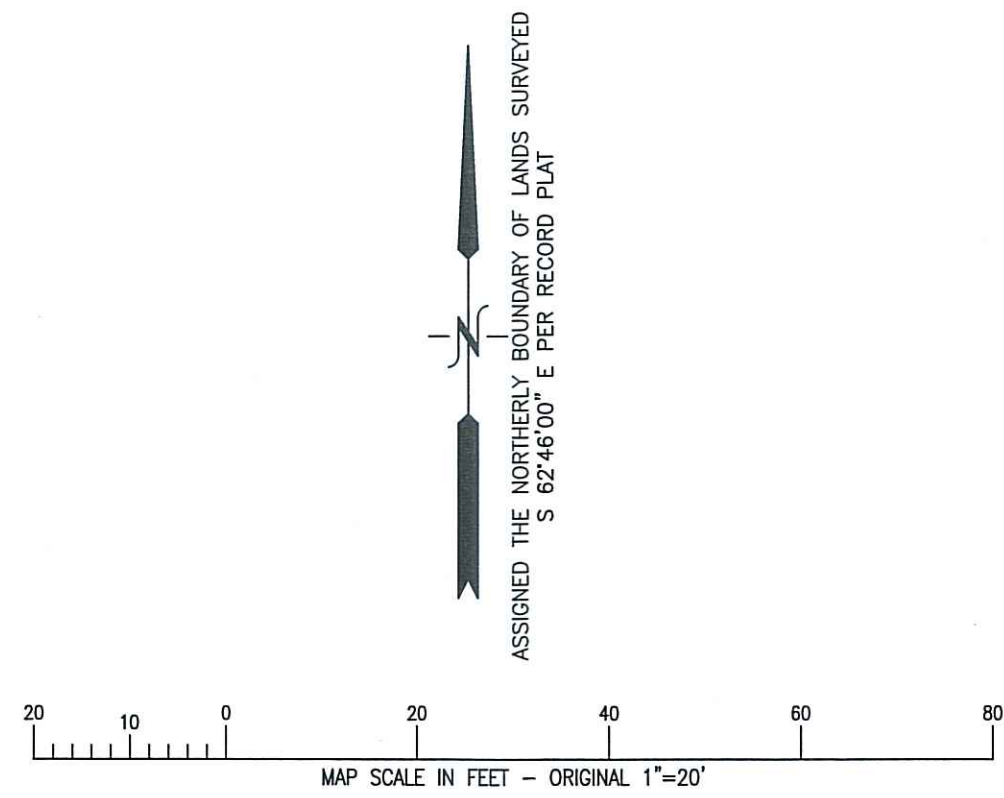


ADDITIONS AND ALTERATIONS TO THE
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830 MAYTAG ROAD
LAKE GENEVA, WI 53147

NORTHEAST (STREET) ELEVATION

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PLAT OF SURVEY – PERMIT PLAT
LOT 10 OF CEYLON COURT ESTATES
LOCATED IN PART OF THE NE 1/4 & NW 1/4 OF THE SOUTHWEST 1/4 OF SECTION 1, TOWN 1 NORTH, RANGE 17 EAST,
CITY OF LAKE GENEVA, WALWORTH COUNTY, WISCONSIN



CONSTRUCTION SEQUENCE

- 1) SILT FENCING INSTALLED
- 2) DEMO AND VEGETATION TO BE CLEARED
- 3) UTILITIES CONSTRUCTED.
- 4) FOUNDATIONS DUG & POURED
- 5) WALLS BACKFILLED
- 6) HOME PORCH COMPLETED
- 7) LANDSCAPING COMPLETED

ALL SILT FENCING SHALL BE MAINTAINED IN A STABLE CONDITION FULLY BRACED AND STAKED TO PREVENT MOVEMENT BY RUNOFF UNTIL A DENSE TURF IS ESTABLISHED OVER ALL DISTURBED GROUND SURFACES. DURING OR AFTER EVERY STORM THEY SHALL BE CHECKED. ACCUMULATIONS OF SILT TOPSOIL AND ANY OTHER CONSTRUCTION DEBRIS SHALL BE ROUTINELY REMOVED.

AREA TO BE RESTORED WITH IMPORTED SCREENED AND SHREDDED TOPSOIL (MINIMUM 6" DEPTH) AFTER FOUNDATION AND FRAMING AS SOON AS POSSIBLE FOLLOWED WITH GRASS SEEDING AND MULCH. TO SUPPLEMENT RESPREAD OF SALVAGED TOPSOIL

PROJECT DOES NOT CHANGE GRADE
AND DOES NOT INCREASE IMPERVIOUS SURFACES

ZONING INFO

PARCEL NO.:	ZCE 00010	ER-1	STANDARD LOT
ZONING DISTRICT:	CITY OF LAKE GENEVA - SR-4	CONDITIONAL USE PER SEC. 98-407 CITY OF LAKE GENEVA ZONING ORDINANCE.	
LOT AREA:	; 0.341 ACRES = ; 14,854 S.F.		
SETBACKS:			
FRONT OR STREET	40 FT		
INTERIOR SIDE	6 FT (MIN.)		
SHORE (EX. STRUCTURE TO OHWM)	15 FT (TOTAL)		
MAXIMUM BUILDING HEIGHT:	; 57'-6" FT		
PROPOSED BUILDING (= EXIST.)	35 FT		
LOT COVERAGE RATIO:			
50% MINIMUM LANDSCAPE SURFACE RATIO	7,427 SF		
40% MAXIMUM BUILDING COVERAGE	5,942 SF		
EXISTING BUILDING & IMPERVIOUS SURFACE COVERAGE			
EX HOUSE & GARAGE FOOTPRINT	2,715 SF		
EX REAR COVERED TERRACE	172 SF		
EX DRIVE	2,170 SF		
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PROPOSED BUILDING ADDITION			
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LEGEND

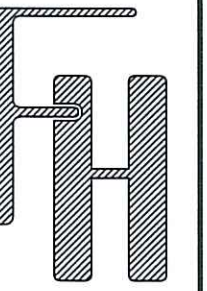
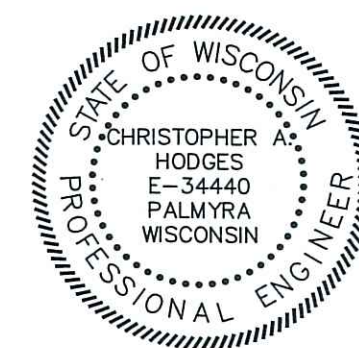
- = FOUND IRON PIPE STAKE
- = FOUND IRON REBAR STAKE
- ⊕ = UTILITY POLE LOCATED
- OH — = OVERHEAD WIRES
- {XXX} = RECORDED AS

NOTE: COPIES OF THIS MAP TO WHICH THE FOLLOWING CERTIFICATE WILL APPLY SHOW THE SURVEYOR'S ORIGINAL SEAL AND SIGNATURE IN RED INK. COPIES BY ANY OTHER MEANS MAY HAVE ALTERATIONS WHICH DO NOT REPRESENT THE SURVEYOR'S WORK PRODUCT.

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DATED: 10/6/2023

CHRISTOPHER A. HODGES
P.L.S. 2760



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890 MAYTAG ROAD
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